



**MEMORANDUM**

**To:** Mayor and City Council  
**From:** Michael Smith, Public Works Director  
**Date:** September 8, 2014  
**Subject** **4400 Ashford Dunwoody Road:** Request to waive right of way dedication and street improvement requirements of Sec. 16-222

**ITEM DESCRIPTION**

The applicant has submitted for a conceptual review to demolish the existing auto service center at Perimeter Mall and build a new Chick-Fil-A restaurant (application attached). The site is located between two entrances to the mall property on Hammond Drive. The applicant has requested a waiver of the right of way dedication and street improvements required by Section 16-222 of the city’s code of ordinances. The required street improvements include a bike lane, landscape buffer and sidewalk.

**BACKGROUND**

Development Code Review

Code section 16-222 applies to "...streets in subdivisions and in other projects requiring a development or land-disturbance permit from the city." Subsection (j) of 16-222 states that all streets must be designed and constructed in accordance with the regulations of the following table:

Type of Road	Travel Lanes	Bike Lanes	Curb and Gutter	Sidewalks	Shoulder [1]
Arterial and collector streets	11'	2 @ 4'	2 @ 2'	2 @ 5'	13'

[1] Shoulder width includes a minimum six foot planting strip, minimum five foot sidewalk and space for underground utilities (cable, TV, water, telephone, electric and natural gas)

Figure 14-2 of the code (attached) provides a visual depiction of the typical street cross section that is required.

The requirements are further stated in 16-222.k.2:

- "For existing streets on which a proposed development or project requiring a land development permit has frontage, the applicant must:
- a. Dedicate a minimum of 50 percent of the required right of way width as measured from the centerline of the existing street right-of-way;
  - b. Install all required sidewalks, street trees, streetlights, and public utilities in accordance with the standards in subsection (j); and



- c. Provide a minimum of 50 percent of the roadway pavement required in subsection (j) and install it to the right-of-way centerline.”

Subsection k.5 empowers the Mayor and City Council to waive these development requirements after considering the following factors:

- a) Right-of-way dedication may be waived or modified if existing government plans for the roadway indicate lesser right-of-way would be required for dedication.
- b) Road improvements may be waived or modified if:
  1. Existing use of property not to be substantially changed (i.e., traffic generation and ingress/egress would remain the same);
  2. Governmental construction plans for the road indicate a pavement width less than city standards (only the planned pavement width shall be required);
  3. Widening would create a hazard to motorized or nonmotorized traffic.

#### Basis of Applicant’s Request

City staff has met and corresponded with the applicant on multiple occasions regarding the required street improvements. The applicant has provided the following reasons for requesting the waiver:

- The Chick-fil-A has entered a sub-lease with Macy’s. It is a small area surrounding the current building location and has a construction easement to upgrade the parking lot to accommodate the new building being erected in place of the auto center. The property between the sub-lease and easement area and the city right of way is owned by the Mall. Chick-fil-A does not currently have the legal rights to encroach into this area.
- There is a fire hydrant, sewer manhole and pedestrian signal pole that will need to be adjusted to accommodate the new sidewalk.
- A three to four foot high retaining wall will be required at the back of the sidewalk.
- An additional six trees would have to be removed.

#### Staff Analysis

##### *Applicable Plans and Standards*

In addition to being requirements of the city’s code, the street improvements outlined above are generally consistent with the following conceptual plans applicable to this area of the city:

1. Perimeter Community Improvement Districts (PCIDs) Public Space Standards (figure attached)
2. Concept plans (figure attached) developed specifically for the Hammond Drive corridor by the PCIDs and referenced as a planned project in Dunwoody’s Comprehensive Transportation Plan and the PCIDs Livable Communities Initiative (LCI) 2011 Update

Though the minimum dimensions of each of the proposed street elements vary in each of these plans, the overall concept for Hammond Drive in the city code and the applicable plans is to accommodate bicycles and provide a landscape buffer between the roadway and pedestrians. The only element currently present is a sidewalk without a buffer.



The addition of bike lanes on Hammond would also be consistent with Sandy Springs' draft Bicycle, Pedestrian & Trail Plan which recommends a side-path bicycle facility for Hammond Drive west of the Dunwoody city limits.

#### *Site Characteristics*

The site is located less 900 feet from the Dunwoody MARTA station which is well within the distance that a typical person would walk or bike to access transit. There are currently no bicycle facilities on Hammond Drive. Along the site frontage, there is an existing sidewalk approximately four feet wide with no landscape buffer and a short wall at the back of the sidewalk (picture attached). The relatively narrow sidewalk placed between a wall and the edge of the vehicle travel lanes is less than ideal for pedestrians and is not consistent with city or PCIDs goals of creating a pedestrian friendly street environment. Due to the slope between the roadway and the site parking lot, any widening of the roadway to better accommodate bicycles or pedestrians will necessitate construction of a new retaining wall and removal of six trees, only two of which appear mature and healthy.

#### **RECOMMENDATION**

Staff recommends **denial** of the applicant's request to waive the requirements for right of way dedication and the street improvements, as the request does not meet any of the criteria set forth in Section 16-222.k.5. Additionally, a waiver of the improvements would be inconsistent with the adopted plans for the area. Finally, a waiver of the right of way dedication would make it more difficult for the city to construct the recommended road improvements in the future. Recognizing the challenges with topography and utilities at the site, staff requests the ability to make minor adjustments to the required street cross section as necessary to minimize impacts while still meeting the intent of the code.



July 10, 2014

Drew Cutright  
City of Dunwoody  
41 Perimeter Center East  
Dunwoody, GA 30346

RE: Chick-fil-A at Perimeter Mall

Dear Ms. Cutright:

We have attached the items for a conceptual review per discussions with Rebecca Keefer. Enclosed are site plans, Landscape, application, letter of authorization from owner (Macy's) and a design intent package for building views. Please add us to the schedule for a review meeting at your earliest convenience.

Project Explanation Statement:

This site is currently the Macy's Auto Service Center located at 4300 Ashford Dunwoody Road. Chick-fil-A plans to demolish and rebuild a restaurant in its place. The zoning is C-1, it is one leased parcel of the overall mall and the site is approximately 0.58 acres.

Should you have questions please feel free to call me at your convenience.

Sincerely,  
Todd M. Rogers, P.E.  
Principal

# CONCEPTUAL REVIEW APPLICATION



41 Perimeter Center East | Dunwoody, GA 30346  
Phone: (678) 382-6800 | Fax: (770) 396-4828

**\* Applicant Information:**

Company Name:	<u>Greyden Engineering, LLC</u>		
Contact Name:	<u>Ralph Davia</u>		
Address:	<u>2106 Macy Drive, Roswell, GA 30076</u>	<u>tmrogers@greydenllc.com</u>	
Phone:	<u>770-571-4801</u>	Fax:	<u>678-302-6362</u>
Email:	<u>rdavia@greydenllc.com</u>		

**\* Owner Information:**  Check here if same as applicant

Owner's Name:	<u>Chick-fil-A, Inc.</u>		
Owner's Address:	<u>5200 Buffington Road, Atlanta, GA 30349</u>		
Phone:	<u>404-765-8000</u>	Fax:	<u>404-684-8550</u>
Email:	_____		

**\* Property Information:**

Property Address:	<u>4300 Ashford Dunwoody Rd, Atlanta, GA</u>	Parcel ID:	<u>18-348-01-009</u>
Description of Project:	<u>Removal of auto service center and construction of free-standing Chick-fil-A restaurant.</u>		

**\* Applicant Affidavit:**

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

Applicant's Name: Ralph Davia

Applicant's Signature: [Signature] Date: 7-10-14

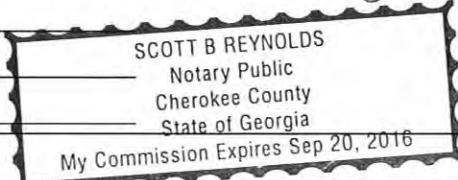
**\* Notary:**

Sworn to and subscribed before me this 10<sup>th</sup> Day of July, 2014

Notary Public: [Signature]

Signature: Scott B Reynolds

My Commission Expires: 9/20/16



**\* Owner Affidavit:**

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that the applicant(s) (if different) are authorized to act on my behalf, pursuant to this application and associated actions.

Property Owner's Name: Getra Sanders

Property Owner's Signature: [Signature] Date: 6.23.14


**\* Notary:**

Sworn to and subscribed before me this 23<sup>rd</sup> Day of June, 2014

Notary Public: [Signature]

Signature: Alison Kelley

My Commission Expires: 5.22.18





July 9, 2014

Alex Dominguez  
Chick-fil-A, Inc.  
5200 Bullington Road  
Atlanta, GA 30349

Re: Perimeter Mall – Atlanta, GA

Dear Alex:

This letter confirms that Macy's Retail Holdings, Inc. ("Macy's") and Chick-fil-A, Inc. ("CFA") are currently negotiating the terms of a Ground Lease (the "Lease") in which CFA intends to lease from Macy's a portion of the real property at Perimeter Mall owned by Macy's for a new CFA restaurant (the "Project").

While the Lease is not yet final, Macy's desires to assist CFA's efforts to begin the permitting process for the Project. As an accommodation to CFA, Macy's hereby authorizes CFA to submit its plans for the Project to the City of Atlanta and to pursue securing the required governmental approvals and permits from the various governmental agencies as they pertain to the Project.

Notwithstanding the foregoing, pending completion of the Lease, Macy's authorization hereunder, is limited to the submittal of the plans and CFA has no further authority on behalf of Macy's with respect to either (i) any requested changes to the plans or (ii) any capacity in any other matters other than the Project.

Sincerely,

Macy's Retail Holdings, Inc.

By: 

Carl L. Goertmoeller  
Senior Vice President

CC: Mark Gambill  
Doug Pyne

Doc No 1000594

**SURVEYORS CERTIFICATE**

\* To: Chick-fil-A, Inc. and Fidelity National Title Insurance Company  
 This is to certify that this map or plat or survey on which it is based was made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-6a, 8, 10, 11a, 13, 14 and 16 of Table A thereof. The field work was completed on 9/28/11.

Michael S. Perdue PLS #2776 Date

**UTILITY CONTACTS**

**Water**  
 DeKalb County Dept. of Watershed Mng. 1580 Roadhaven Dr. Stone Mt., GA 30083 Ramesh Gehi (770) 621-47208

**Gas**  
 Atlanta Gas Light Thomas Park (404) 584-4214

**Power**  
 Georgia Power David Stallworth (404) 506-2127

**Phone**  
 AT&T Glenn Hall (404) 532-7741

**Traffic Engineer**  
 City of Dunwoody Public Works 41 Perimeter Center East Dunwoody, GA 30346 Rich Edinger (678) 382-6801

**Storm Water**  
 City of Dunwoody Public Works 41 Perimeter Center East Dunwoody, GA 30346 Rich Edinger (678) 382-6801

**GENERAL NOTES**

Subject Property is not located within 100 yr Flood Plain (Zone X) according to Federal Emergency Management Agency, Flood Insurance Rate Map 13089C 0012H with an effective date of May 2, 2001.

Elevations based on GPS Observation using COBS Stations "EAST COBB COOP COBS", "SOUTH COBB COOP COBS", and "NORTH COBB COOP COBS". Vertical Datum NAVD 88.

Contact proper Authorities Before building near utility lines, for easement width and restrictions. Utilities are approximate and should be verified prior to any construction.

This survey has been prepared for the exclusive use of the person or entities named hereon. No express or implied warranties with respect to the information shown hereon is to be extended to any persons or entities other than those shown hereon.

A Topcon Hiper RTK GPS unit was used to collect boundary control. A Topcon 802A was used to collect boundary data from set control. Boundary control points were collected and re-collected on two separate days. The positional tolerance was within 0.07" and was not adjusted.

Areas calculated by coordinate method.

Property Zoned C-1

Setbacks:  
 Front: 75'  
 Left: 50'  
 Right: 50'  
 Rear: 30'

Setbacks need to be verified by Site Engineer.

Property Tax #18-348-01-009

This Plat Has Been Calculated For Closure And Is Found To Be Accurate Within One Foot in 147244 Feet.

**Survey References**

1) DB. 6216, PG. 286

**TITLE EXCEPTIONS**

Schedule B--Section II Title Exceptions  
 Fidelity National Title Insurance Company  
 Commitment #H096.1702; Effective Date: April 30, 2011

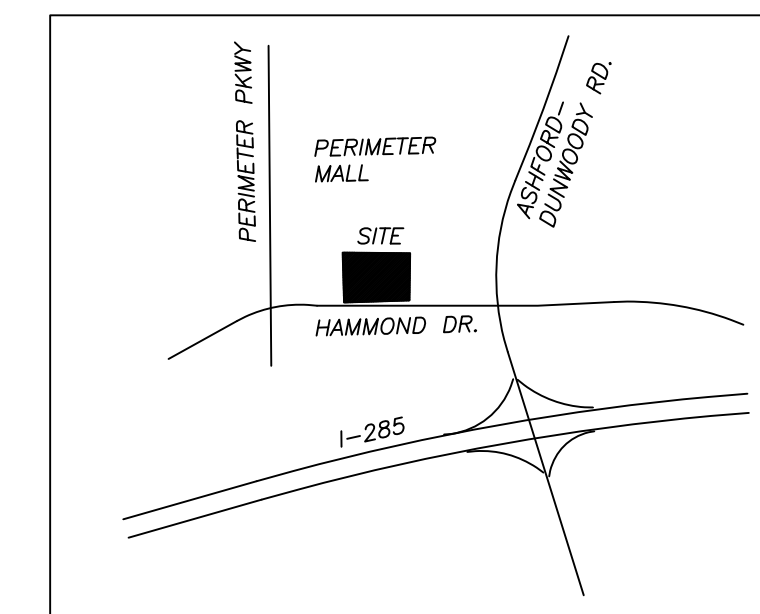
9) Agreement and easement for underground gasoline and oil tanks by and between Perimeter Mall, Inc., a Maryland corporation and Rich's Inc., a Delaware corporation, dated February 23, 1972, filed February 23, 1972 and recorded in Deed Book 2776, Page 55, records of the Superior Court of DeKalb County, Georgia. (AFFECTS SITE AS PLOTTED)

10) Construction, Operation and Reciprocal Easement Agreement (Amended and REstated) for Perimeter Mall among Federated Department Stores, Inc., J. C. Penney Company, Inc., R. H. Macy & Co., Inc., Perimeter Mall, Inc. and Hexlon Real Estate, Inc., dated July 31, 1981, filed August 3, 1981 and recorded in Deed Book 4513, Page 87, aforesaid records; as further amended by First Amendment to Amended and Restated Construction, Operation and Reciprocal Easement Agreement among Perimeter Mall, Inc., HRE Perimeter, Inc., J. C. Penney Company, Inc., Rich's Department Stores, Inc. and Macy's Primary Real Estate, Inc. and Nordstrom, Inc., dated as of April 1, 1989, filed April 19, 1989 and recorded in Deed Book 10589, Page 510, aforesaid records; as further amended by Second Amendment to Amended and Restated Construction, Operation and Reciprocal Easement Agreement among Perimeter Mall, Inc., HRE Perimeter, Inc., J. C. Penney Company, Inc., Rich's Department Stores, Inc., Macy's Primary Real Estate, Inc. and Nordstrom, Inc., dated as of April 29, 1989, filed July 9, 1989 and recorded in Deed Book 10726, Page 554, aforesaid records. (AFFECTS SITE)

11) Easements as contained in that certain Warranty Deed from Rich's, Inc., a Delaware corporation and Perimeter Mall, Inc., a Maryland corporation, dated June 15, 1970, filed June 16, 1970 and recorded in Deed Book 2539, Page 680, aforesaid records. (AFFECTS SITE)

12) Assignment and Assumption of Operating Agreement from Federated Department Stores, Inc., a Delaware corporation to Rich's Real Estate, Inc., a Delaware corporation, dated as of July 29, 1988, filed August 18, 1988 and recorded in Deed Book 6216, Page 289, aforesaid records. (AFFECTS SITE)

**VICINITY MAP**



**LEGAL DESCRIPTION**

All that tract or parcel of land lying and being in Land Lot 348, 18th District, DeKalb County, Georgia and being more particularly described as follows;

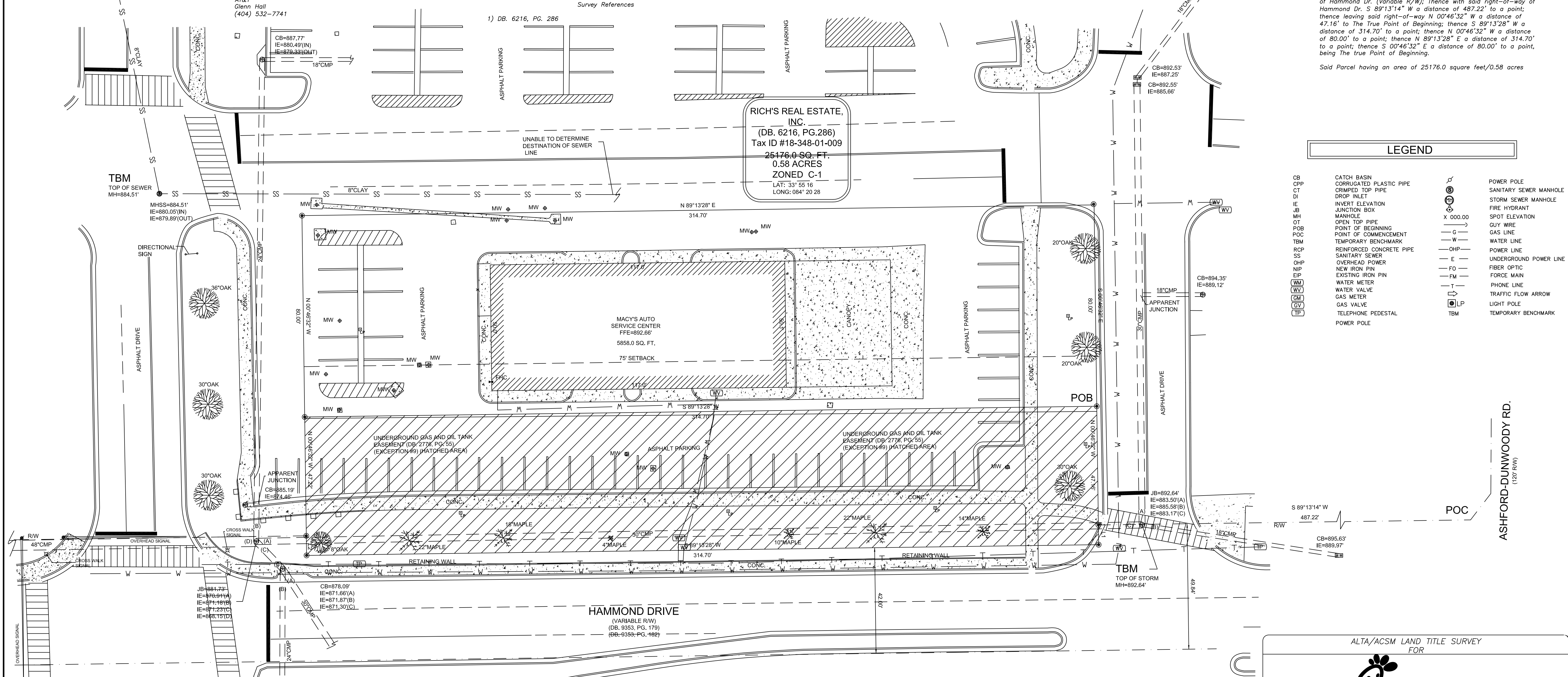
Commencing from the intersection of the western right-of-way of Ashford-Dunwoody Rd. (120' R/W) and the northern right-of-way of Hammond Dr. (Variable R/W); Thence with said right-of-way of Hammond Dr. S 89°13'14" W a distance of 487.22' to a point; thence leaving said right-of-way N 00°46'32" W a distance of 47.16' to the True Point of Beginning; thence S 89°13'28" W a distance of 314.70' to a point; thence N 00°46'32" W a distance of 80.00' to a point; thence N 89°13'28" E a distance of 314.70' to a point; thence S 00°46'32" E a distance of 80.00' to a point, being the True Point of Beginning.

Said Parcel having an area of 25176.0 square feet/0.58 acres

**LEGEND**

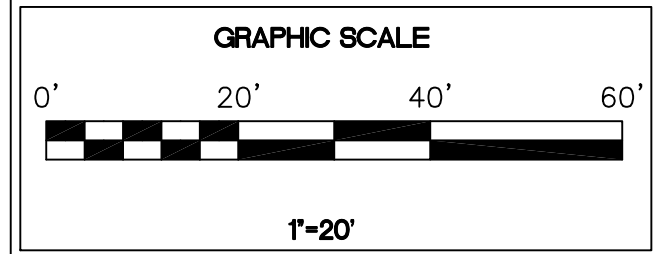
- CB CATCH BASIN
- CPT CORRUGATED PLASTIC PIPE
- CT CRIMPED TOP PIPE
- DI DROP INLET
- IE INVERT ELEVATION
- JB JUNCTION BOX
- MH MANHOLE
- OT OPEN TOP PIPE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- TBM TEMPORARY BENCHMARK
- RCP REINFORCED CONCRETE PIPE
- SS SANITARY SEWER
- OHP OVERHEAD POWER
- NIP NEW IRON PIN
- EIP EXISTING IRON PIN
- WM WATER METER
- GV GAS VALVE
- TP TELEPHONE PEDESTAL
- PP POWER POLE
- SM SANITARY SEWER MANHOLE
- FM FIRE HYDRANT
- SE SPOT ELEVATION
- GL GUY WIRE
- GL GAS LINE
- WL WATER LINE
- OH POWER LINE
- EP UNDERGROUND POWER LINE
- FO FIBER OPTIC
- FM FORCE MAIN
- FM PHONE LINE
- T TRAFFIC FLOW ARROW
- LP LIGHT POLE
- TBM TEMPORARY BENCHMARK

-116-



**RICH'S REAL ESTATE, INC.**  
 (DB. 6216, PG.286)  
 Tax ID #18-348-01-009  
 25176.0 SQ. FT.  
 0.58 ACRES  
 ZONED C-1  
 LAT: 33° 55' 16"  
 LONG: 084° 20' 28"

LINE	BEARING	DISTANCE
L1	S 00°46'32" E	7.84'
L2	N 00°46'32" W	7.78'



**PLEASE NOTE**  
 INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND PLANS AND MAPS PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON.

**811** Know what's below  
 Call before you dig.  
 Dial 811  
 Or Call 800-282-7411

ALTA/ACSM LAND TITLE SURVEY FOR

CITY: DUNWOODY COUNTY: DEKALB STATE: GEORGIA  
 LAND LOT 348, 18th DISTRICT

DATE: 9/28/11 SCALE: 1:20  
 FIELD WORK: MSP DRAWN BY: MSP REVIEWED BY: MSP  
 MSP FILE: CFAPERMALL MSP JOB#: 11617

**MSP & ASSOCIATES**  
 LAND SURVEYING, INC.  
 301 E. HILLCREST DR.  
 804-370-2232 2869  
 WWW.MSPSURVEYING.COM

SHEET TITLE: ALTA/ACSM SURVEY  
 DWG EDITION: 04.6  
 Preliminary  
 80% Submittal  
 For Construction

Job No.: \_\_\_\_\_  
 Store: #3049  
 Date: \_\_\_\_\_  
 Drawn By: MSP  
 Checked By: MSP

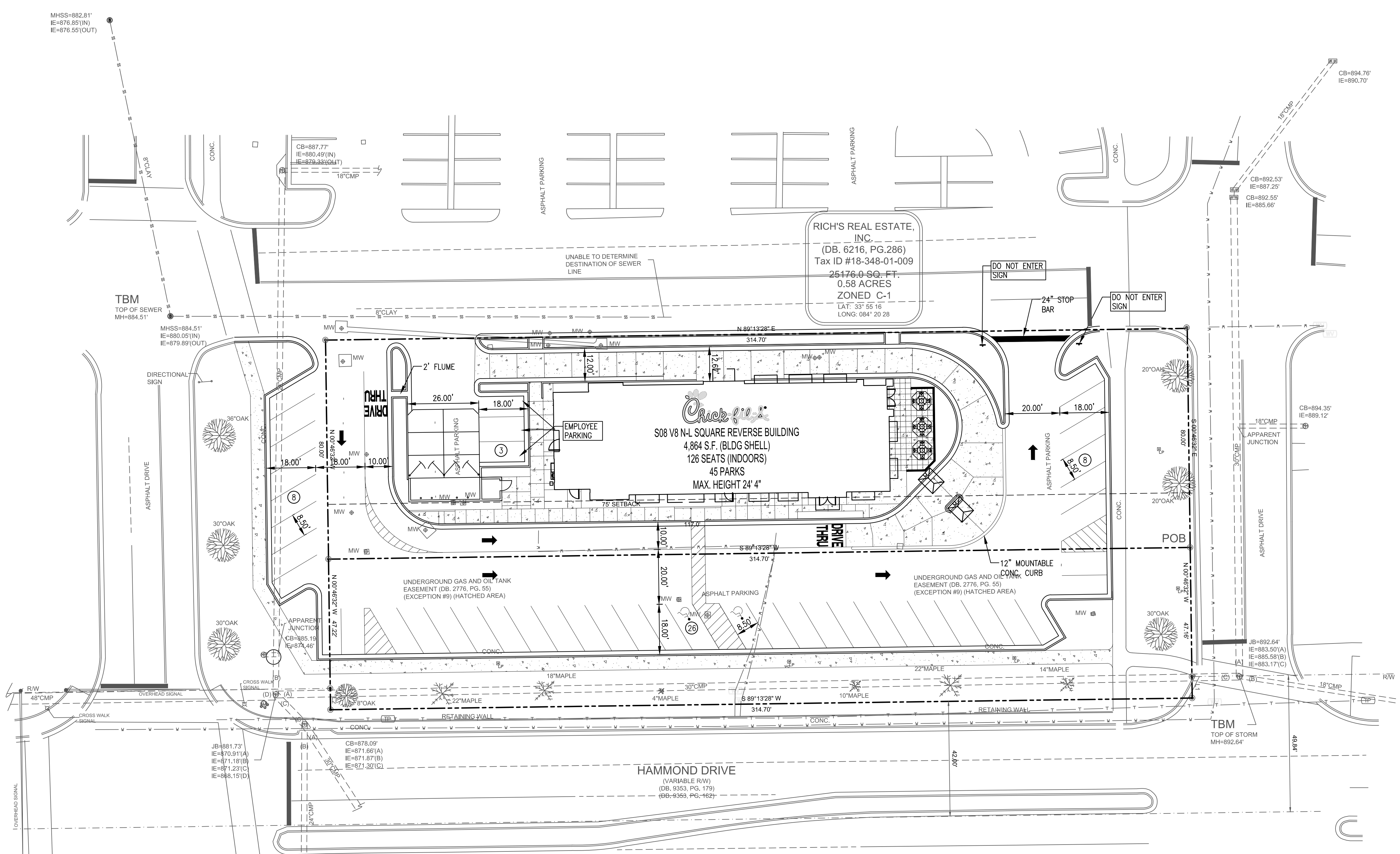
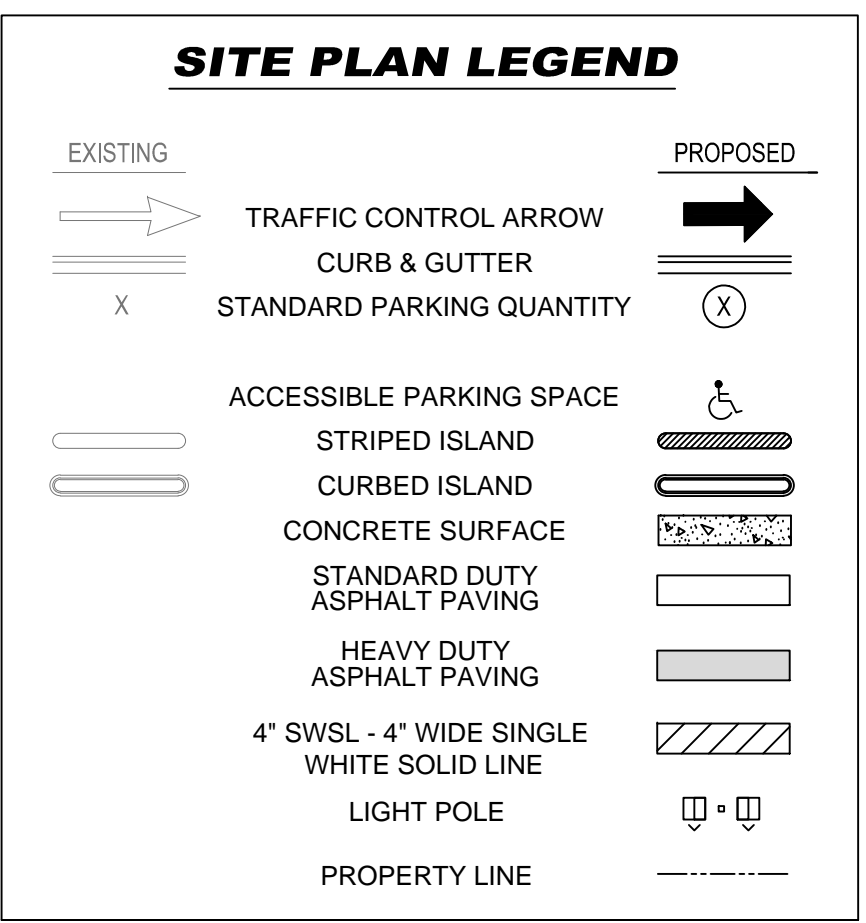
Sheet: **C-11**

**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED ACCESSIBILITY SYMBOL
- 5 STANDARD PARKING STALL & STRIPING DETAIL, NEUTRAL AREAS SHALL BE MARKED WITH 4" WIDE STRIPES AT 48" O.C. UNLESS NOTED OTHERWISE.
- 6 DIRECTIONAL SIGNAGE (REFER TO SIGN PACKAGE FOR MORE DETAILS)
- 7 SIDEWALK ACCESSIBLE RAMP
- 8 CURB RAMP w/ FLARED SIDES
- 8A CURB RAMP w/ SHORT FLARED SIDES
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES
- 11 TYPICAL CONCRETE SIDEWALK
- 12 SIDEWALK WITH CURB & GUTTER SECTION
- 13 DRIVE-THRU PLAN VIEW
- 14 DRIVE-THRU ISOMETRIC VIEW
- 15 SOLID PLASTIC WHEEL STOP
- 16 LANDSCAPE & IRRIGATION PROTECTOR
- 17 24" CONCRETE CURB & GUTTER - CATCHING & SPILLING
- 18 ROLLOVER/MOUNTABLE CURB
- 19 REFUSE ENCLOSURE FOUNDATION PLAN
- 19A REFUSE ENCLOSURE FOUNDATION PLAN (ALT)
- 19B REFUSE ENCLOSURE ALTERNATE DRAINAGE PLAN
- 20 CONCRETE BOLLARD
- 21 TYPICAL PAVEMENT SECTION
- 21A PAVEMENT EDGE DETAIL
- 22 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- 23 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING @ DRIVE THRU LANE
- 26 ALUMINUM HANDRAIL
- 27 TYPICAL ADA RAMP AND HANDRAIL
- 28 CONTRACTION JOINT
- 29 KEVED CONSTRUCTION JOINT
- 30 LONGITUDINAL BUTT JOINT
- 31 EXPANSION JOINT
- 32 MULTI-ORDER POINT DIRECTIONAL ARROW DETAILS
- 33 CROSSWALK DETAIL
- 34 DRIVE-THRU ORDER POINT ISLAND CURB
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 ENTRY DOOR FROST SLAB DETAIL
- 37 SAN. C.O. OUTSIDE BUILDING
- 38 BUILDING DOWNSPOUT CONNECTION DETAIL
- 39 TYPICAL SECTION AT INLET/CATCH BASIN DETAIL
- 40 STORM WEEP HOLE DETAIL
- 41 CHICK-FIL-A PYLON SIGN (REFER TO SIGN PACKAGE)
- 42 PRE-SELL MENU BOARD (REFER TO SIGN PACKAGE)
- 43 MENU BOARD & CANOPY ORDERING STATION (REFER TO SIGN PACKAGE)
- 44 CHICK-FIL-A "ENTER" SIGN (REFER TO SIGN PACKAGE)
- 45 CHICK-FIL-A "EXIT" SIGN (REFER TO SIGN PACKAGE)
- 46 50' FLAG POLE (REFER TO SIGN PACKAGE)
- 47 CLEARANCE BARS
- 48 LIGHT POLE & BASE
- 49 BITUMASTIC EXPANSION JOINT, TYP. INSTALL EXPANSION JOINT BETWEEN ALL CONCRETE PAVEMENT INTERFACE WITH BUILDINGS, CURB & GUTTER, AND OTHER CONSTRAINED OBJECTS, TYPICAL.
- 50 SITE CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING AND THE LOCATION OF DOORWAYS, UTILITIES, ETC.
- 51 GATES TO BE INSTALLED BY BUILDING CONTRACTOR WITH DUMPSTER STRUCTURE. COORDINATE WITH PAVEMENT INSTALLATION
- 52 SAWCUT EXISTING CURB & GUTTER AS NECESSARY TO COMPLETE NEW CURB & GUTTER CONNECTION. PROVIDE EXPANSION JOINT BETWEEN INTERFACE.
- 53 THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL, SAFETY BARRICADES, LIGHTING, AND OTHER REQUIRED CONTROL MEASURES TO SECURE THE WORK AREA FROM EXISTING TRAFFIC AND TO ENSURE PUBLIC SAFETY.
- 54 TRANSFORMER PAD
- 55 SINGLE WHITE SOLID LINE

- 1 C-4.0
- 2 C-4.0
- 3 C-4.0
- 4 C-4.0
- 5 C-4.0
- 6 C-4.0
- 7 C-4.0
- 8 C-4.0
- 8A C-4.0
- 9 C-4.0
- 10 C-4.0
- 11 C-4.0
- 12 C-4.0
- 13 C-4.1
- 14 C-4.1
- 15 C-4.1
- 16 C-4.1
- 17 C-4.1
- 18 C-4.1
- 19 C-4.1
- 19A C-4.1
- 19B C-4.1
- 20 C-4.1
- 21 C-4.2
- 21A C-4.2
- 22 C-4.2
- 23 C-4.2
- 24 C-4.2
- 25 C-4.2
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- 37 C-4.3
- 38 C-4.3
- 39 C-4.3
- 40 C-4.3

AREA SUMMARY		PARKING REQUIREMENTS	
<b>EXISTING AREA TABULATION</b>		PARKING RATIO = 1 SPACE PER 100 SF OF GFA	
IMPERVIOUS AREA BUILDING PAD, ASPHALT PAVEMENT, CONCRETE, GRAVEL	0.533 ACRES (92.2%)	TOTAL LEASABLE SPACE = 4,864 SF BUILDING	
PERVIOUS AREA GRASS/LANDSCAPE	0.045 ACRES (7.8%)	PARKING SPACES REQUIRED = 49	
<b>TOTAL AREA</b>	<b>0.578 ACRES (100%)</b>	STANDARD SPACES PROVIDED = 43 SPACES HANDICAP SPACES PROVIDED = 2 SPACES TOTAL SPACES PROVIDED = 45	
PROPOSED AREA TABULATION		DEVELOPMENT DATA	
<b>EXISTING AREA TABULATION</b>		SITE ZONING: C-1	
IMPERVIOUS AREA BUILDING PAD, ASPHALT PAVEMENT, CONCRETE, GRAVEL	0.482 ACRES (83.3%)	SETBACKS FRONT (SOUTH) - 75 FEET RIGHT SIDE (EAST) - 50 FEET LEFT SIDE (WEST) - 50 FEET REAR (NORTH) - 30 FEET	
PERVIOUS AREA GRASS/LANDSCAPE	0.097 ACRES (16.7%)		
<b>TOTAL AREA</b>	<b>0.578 ACRES (100%)</b>		



Revisions:

Mark	Date	By
△		
△		
△		

Seal: GEORGIA REGISTERED PROFESSIONAL ENGINEER ALPHONSE J. DAVIN

**GREYDEN**  
ENGINEERING • PLANNING

2801 Macy Drive  
Roswell, GA 30076  
PH: 770-573-4801 FAX: 678-302-6362

STORE  
"PERIMETER AT HAMMOND DRIVE"

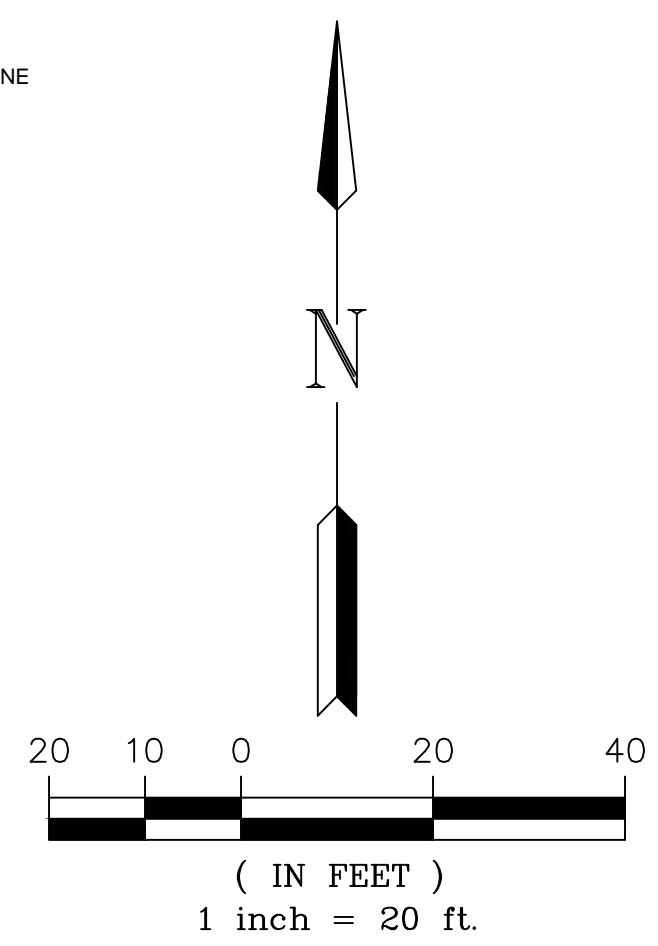
4300 ASHFORD  
DUNWOODY ROAD,  
ATLANTA, GA 30346

SHEET TITLE  
**SITE PLAN**

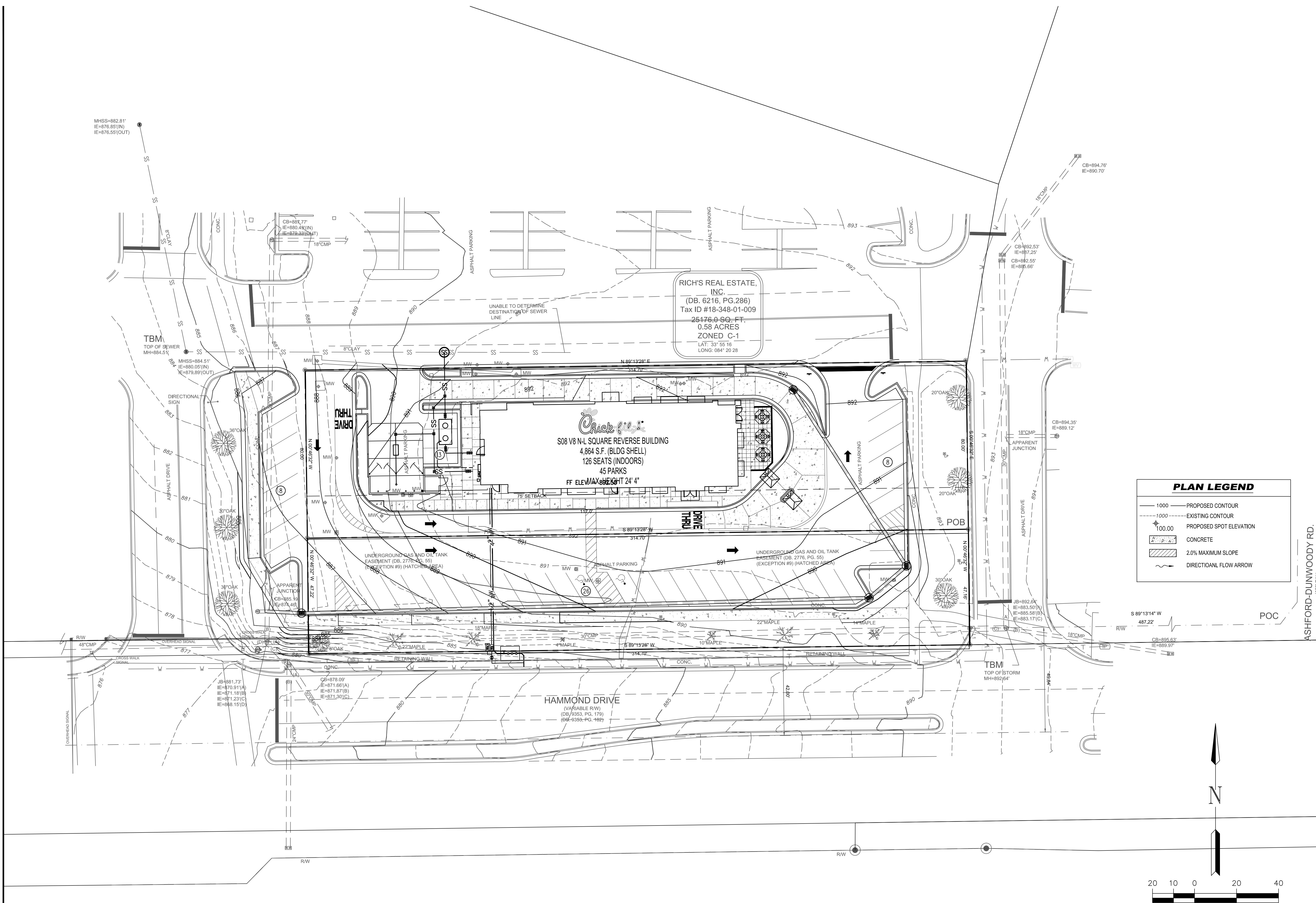
VERSION: 8  
ISSUE DATE: 8-2012

Job No. : 11-034  
Store : 03049  
Date : 01/22/14  
Drawn By : RAD  
Checked By : TMR

Sheet # **C-2** of **M.4**







RICH'S REAL ESTATE, INC.  
 (DB. 6216, PG.286)  
 Tax ID #18-348-01-009  
 25476.0 SQ. FT.  
 0.58 ACRES  
 ZONED C-1  
 LAT: 33° 55' 16"  
 LONG: 084° 20' 28"

**PLAN LEGEND**

- 1000 — PROPOSED CONTOUR
- 1000 - - - EXISTING CONTOUR
- 100.00 — PROPOSED SPOT ELEVATION
- [Hatched Box] CONCRETE
- [Hatched Box] 2.0% MAXIMUM SLOPE
- [Arrow] DIRECTIONAL FLOW ARROW

N

( IN FEET )  
 1 inch = 20 ft.

5200 Buffington Rd.  
 Atlanta Georgia,  
 30349-2998  
 Getra Thomason

Revisions:

Mark	Date	By
△		
△		
△		

Seal

7/10/14

**GREYDEN**  
 ENGINEERING • PLANNING

2801 Macy Drive  
 Roswell, GA 30076  
 PH: 770-573-4801 FAX: 678-302-6362

STORE "PERIMETER AT HAMMOND DRIVE"

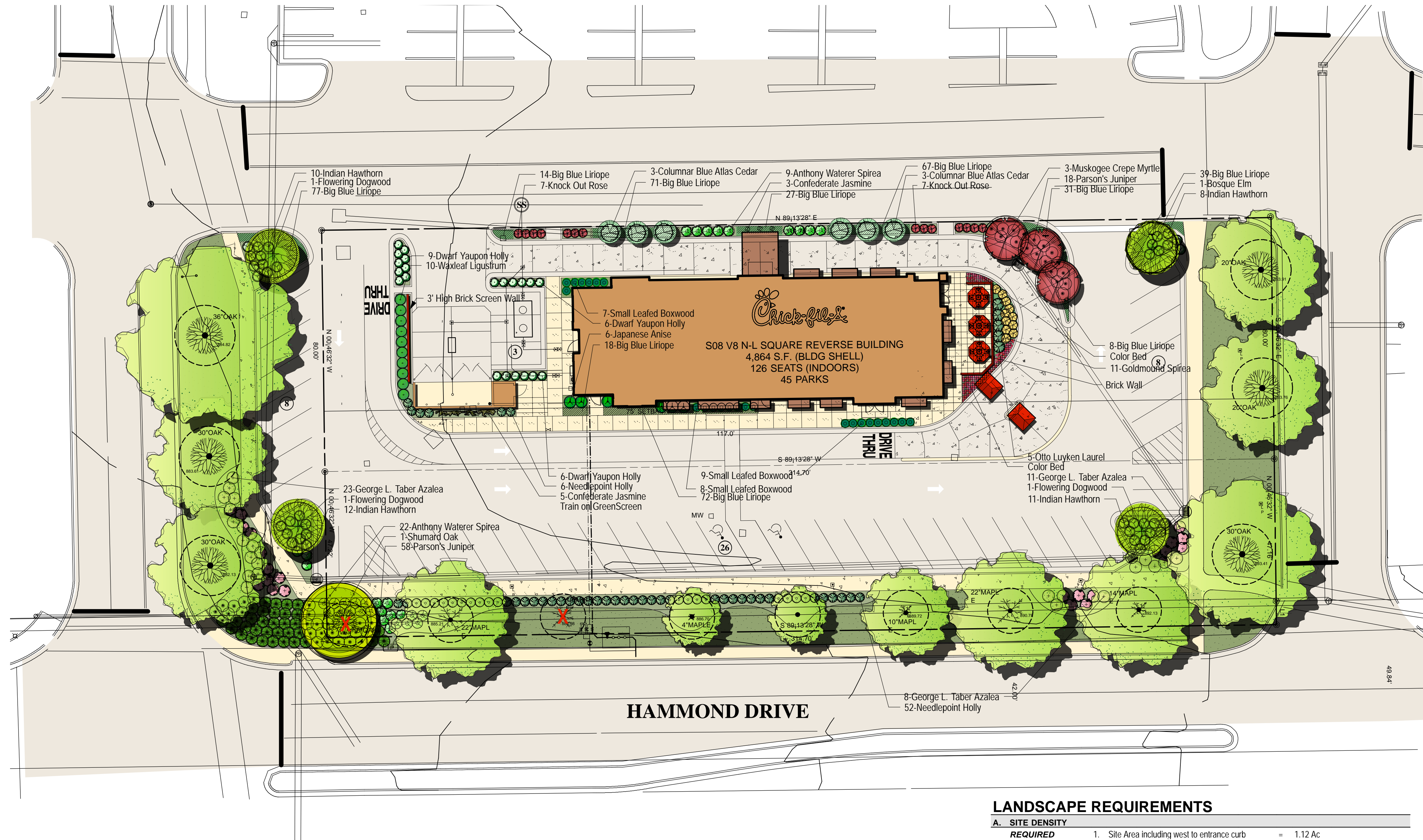
4300 ASHFORD DUNWOODY ROAD, ATLANTA, GA 30346

SHEET TITLE  
**GRADING, DRAINAGE AND UTILITY PLAN**

VERSION: 8  
 ISSUE DATE: 8-2012

Job No. : 11-034  
 Store : 03049  
 Date : 01/22/14  
 Drawn By : RAD  
 Checked By: TMR

Sheet  
**C-3.0**



**PLANT LIST**

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Trees</b>				
6	Cedrus atlantica 'Glauca Fastigiata'	Columnar Blue Atlas Cedar	10' Hgt.	
3	Cornus florida	Flowering Dogwood	8'-10' Hgt. x 3'-4' Spd.	B & B
3	Lagerstroemia indica 'Muskogee'	Muskogee Crepe Myrtle	8'-10' Hgt.	Multi-trunked
1	Quercus shumardii	Shumard Oak	3' Cal.; 12'-14' Hgt	B & B
1	Ulmus parvifolia 'Bosque'	Bosque Elm	3' Cal.; 12'-14' Hgt	Single, Straight Leader
<b>Shrubs</b>				
24	Buxus microphylla	Small Leafed Boxwood	3 Gal.	
58	Ilex cornuta 'Needlepoint'	Needlepoint Holly	3 Gal.	
21	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3 Gal.	
6	Illicium anisatum	Japanese Anise	3 Gal.	
76	Juniperus davurica 'Parsonii'	Parson's Juniper	3 Gal.	
10	Ligustrum japonicum	Waxleaf Ligustrum	7 Gal.	
5	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3 Gal.	
41	Raphiolepis indica	Indian Hawthorn	3 Gal.	
14	Rosa x 'Knock Out'	Knock Out Rose	3 Gal.	
11	Spiraea japonica 'Goldmound'	Goldmound Spirea	3 Gal.	
31	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3 Gal.	
<b>Groundcovers</b>				
424	Liriope muscari 'Big Blue'	Big Blue Liriope	4" Pot	Plant 15" O.C.
8	Trachelospermum jasminoides	Confederate Jasmine	3 Gal.; 4" Runner	
83	Color Bed	Annual Color Bed	SF: Prep & Plant	

**LANDSCAPE REQUIREMENTS**

**A. SITE DENSITY**

- REQUIRED**
1. Site Area including west to entrance curb = 1.12 Ac
  2. 1.12 Ac @ 20 DU per Ac = 22.4 DU
  3. Max 25% understorey
  4. Special and Specimen Trees get 1.5x credit; if arborist Rx then 2x credit
  5. Min 75% of CRZ undisturbed to receive credit

**PROVIDED**

EDF	#	Special/Specimen	*CRZ Impact
101	Oak 36" DBH @	7.1 1.5x =	10.65 7%
102	Oak 30" DBH @	4.9 1.5x =	7.35 10%
103	Oak 30" DBH @	4.9 1.5x =	7.35 6%
104	Oak 8" DBH @	Remove poor quality	
105	Maple 22" DBH @	Remove poor quality	
106	Maple 18" DBH @	2.2 1.5x =	3.3 0%
107	Maple 4" DBH @	0.1	= 0.1 20%
108	Maple 10" DBH @	0.7	= 0.7 0%
109	Maple 22" DBH @	2.6 1.5x =	3.9 0%
110	Maple 14" DBH @	1.1 1.5x =	1.65 3%
111	Oak 30" DBH @	4.9 1.5x =	7.35 18%
112	Oak 20" DBH @	2.2 1.5x =	3.3 0%
113	Oak 20" DBH @	2.2 1.5x =	3.3 0%
TOTAL EDF			41.6

\* Impact on CRZ over and above existing impact into CRZ

**B. INTERIOR PARKING LANDSCAPE**

**REQUIRED**

1. End Islands and interior island required min 10 spaces in a row.
2. Each island min 400 SF for double bay and 200 SF for single bay
3. One canopy tree per island and 4 shrubs per canopy tree = 4 Trees and 16 shrubs
4. No turf in islands and shrubs not to exceed 3' hgt

**PROVIDED**

1. End Islands provided
2. See plan for island square footage
3. 4 Bosque Elm 40 Indian Hawthorn
4. No turf in islands

**C. PARKING PERIMETER LANDSCAPE**

**REQUIRED**

1. 7.5' Landscape Strip along street frontage to include dense shrubs or hedge min 3' above level of parking lot
2. 295 LF @ 30 shrubs per 100 LF = 89 Shrubs

**PROVIDED**

1. 13' Landscape Strip provided along Hammond Drive
2. 140 Shrubs - not continuous due to existing large trees
- 4 Existing Maple
- 2 Existing Oak
- 1 Proposed Oak

5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal

landscape architecture  
51 old canton street  
alpharetta, ga 30009  
ph: 770-442-8171  
fx: 770-442-1123

STORE  
Perimeter at Hammond

4300 Ashford-Dunwoody Rd  
Dunwoody, GA

SHEET TITLE  
Conceptual  
Landscape Plan

VERSION:  
ISSUE DATE:

Job No. : 2014031  
Store : 3049  
Date : 6.26.14  
Drawn By : SLM  
Checked By : SLM

Sheet  
#M.4.  
L-1

# Building Overview Package

S08 V8 Building N-L-Square-Reverse

Perimeter at Hammond FSU  
Dunwoody, GA  
Store #03049

Tier 3

-120-

## Contents:

- Perspective Elevations
- Site Plan
- Building Elevations
- Building Plan
- Outdoor Dining/Patio Layout
- Exterior Messaging Plan
- Executive Summary

06/13/14





-121-

S08 V8 Building N-L-Square-Reverse

Perimeter at Hammond FSU, Dunwoody, GA – Store #03049

Projected Open Date: 05/07/15





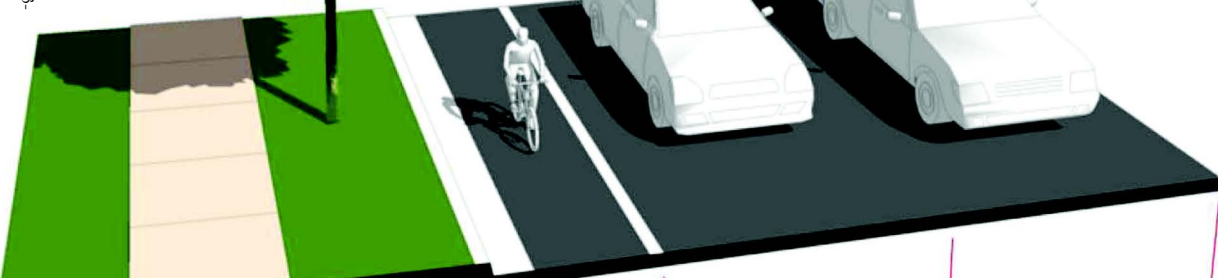
-122-

S08 V8 Building N-L-Square-Reverse

Perimeter at Hammond FSU, Dunwoody, GA – Store #03049



-123-



5' Min.  
Sidewalk

6' Min.  
Planting Strip

2' Curb  
and Gutter

4' Bike  
Lane

11' Travel  
Lane

11' Travel  
Lane

13' Min.  
Shoulder

#N1.4.



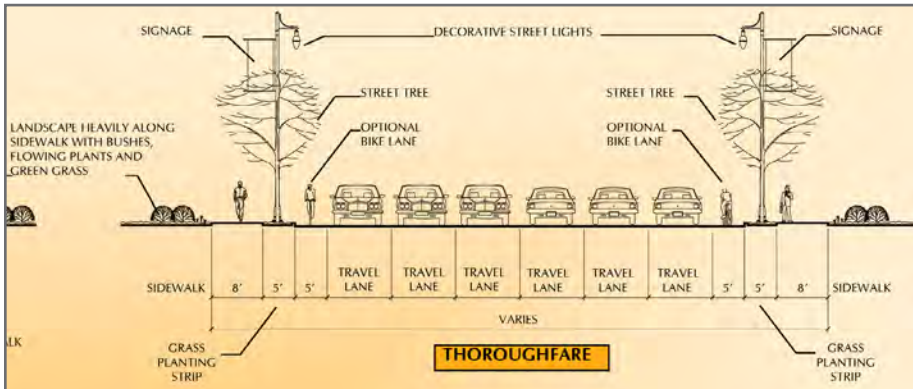
**PUBLIC SPACE STANDARDS**

# LIVE.WORK.WALK.PLAY

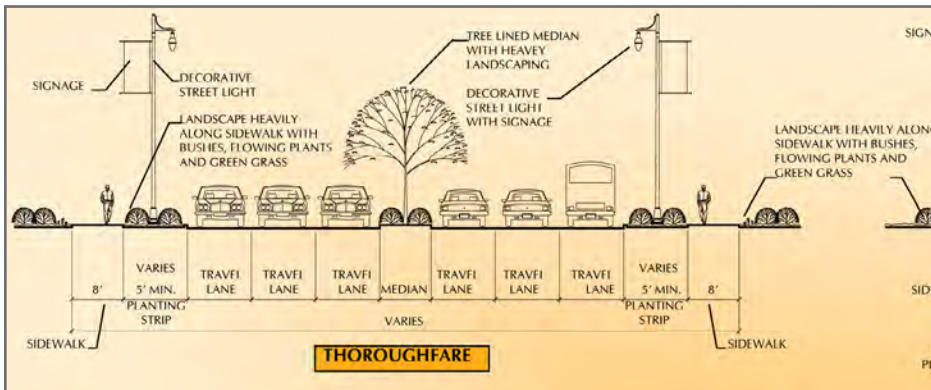
## Thoroughfare

- Primary route for commuters (heavy traffic)
- Existing or planned connection to interstate system
- Primary connections to other regions outside of the Perimeter area
- May have a median
- Less traveled by pedestrians
- Bicycle lanes or Share the Road lanes
- Connections to Shuttle Connector/Bicycle Path

- Characteristics:**
- Heavy landscaping
  - Tree-lined medians
  - \*8 to 10-foot minimum sidewalks separated from travel lanes by
  - \*5-foot minimum planting strip
  - Decorative street lights
  - Median lights
  - Pedestrian lights
  - Street trees
  - Fenced Tree Planters
  - Pedestrian signage
  - Bicycle lanes or "Share the Road" lanes
- Examples within the PCID:**
- Abernathy Road
  - Ashford Dunwoody Road
  - Perimeter Center West
  - Glennridge Drive
  - Hammond Drive
  - Johnson Ferry Road
  - Mt. Vernon Road (portion)
  - Peachtree Dunwoody Road



*Thoroughfare without median*



*Thoroughfare with median*

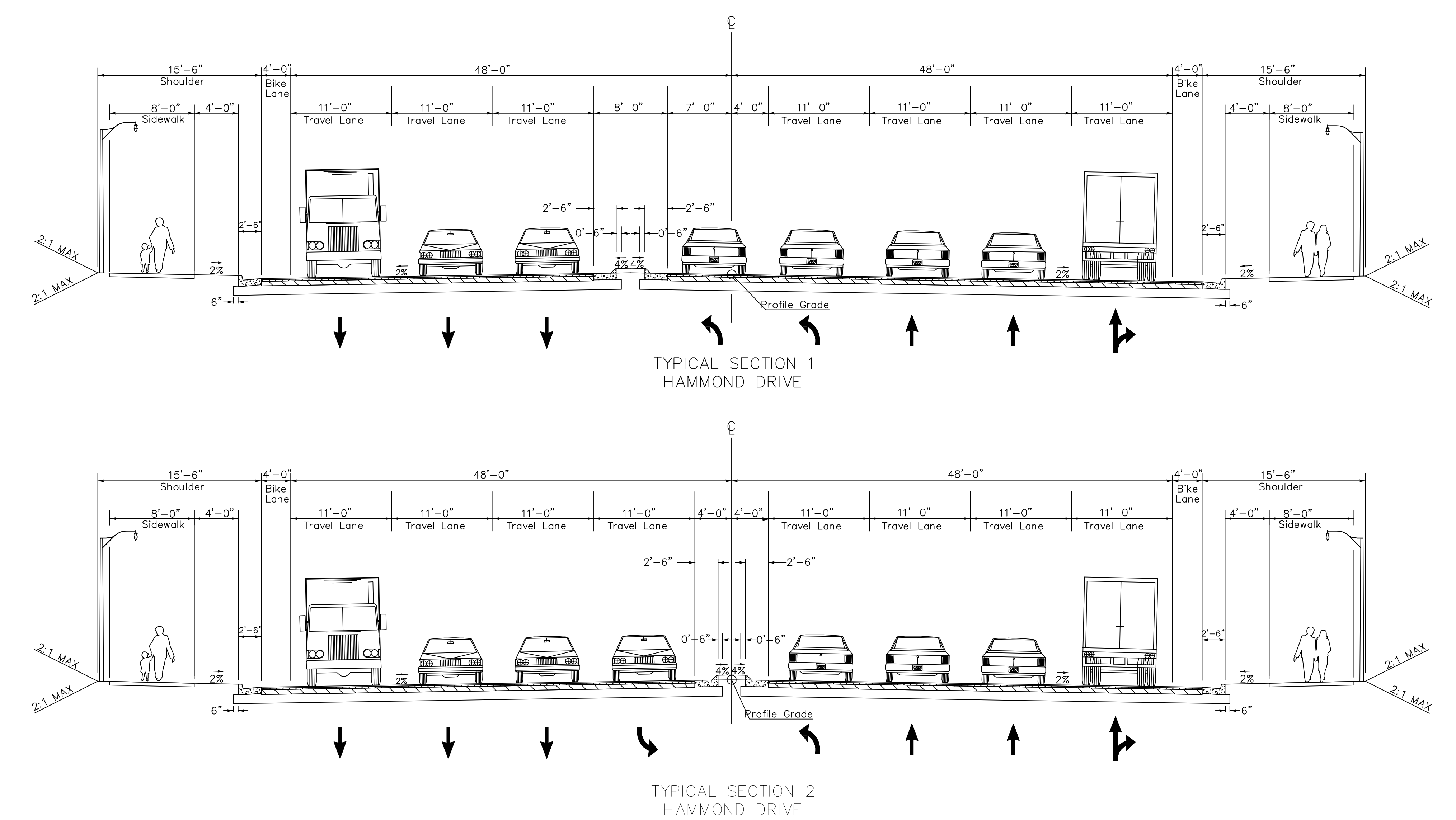
**NOTE:**  
 \*Widths are the desired minimum. Adjustments to these widths can occur where there are conflicts with utilities, right-of-way or other unforeseen challenges. Adjustments will be approved on a case by case basis.

-127-

GA 400

CONCOURSE PKWY

CONCOURSE PKWY



PUBLIX

PEACHTREE DUNWOODY RD

CORPORATE CAMPUS

CONCOURSE

PEACHTREE DUNWOODY RD

CITY OF SANDY SPRINGS

CITY OF DUNWOODY

245 PERIMETER CENTER

PERIMETER CENTER PARKWAY

GOLDKIST ROAD

236 PERIMETER MIXED-USE

MARTA - DUNWOODY STATION

PERIMETER MALL

#M.4.



