

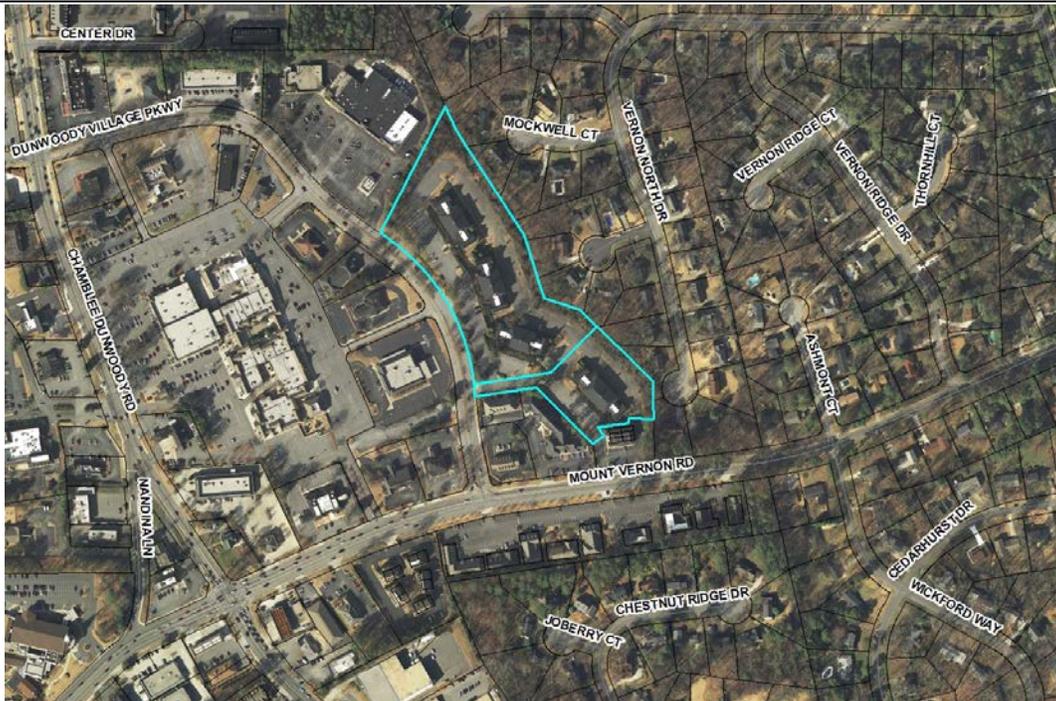
MEMORANDUM

To: Mayor & City Council

From: Steve Foote, AICP

Date: May 26, 2015

Subject: **RZ 15-021:** Pursuant to the City of Dunwoody Zoning Ordinance, §27-330, applicant, Cypress Communities, LLC, on behalf of CQ Dunwoody Village Court, LLC, seeks permission to rezone property currently zoned Office-Institution (O-I) District to Multi-dwelling Residential District (RM-100) to allow for construction of an 81-unit townhome development. The subject property consists of two parcels: tax parcel 18-366-060-61 located at 1530 Dunwoody Village Parkway, Dunwoody, GA 30338, and tax parcel 18-366-060-65 located at 1536 Dunwoody Village Parkway, Dunwoody, GA 30338.



BACKGROUND

The site is located on the eastern side of Dunwoody Village Parkway, just north of its intersection with Mount Vernon Road. The property consists of two parcels, 1530 and 1536 Dunwoody Village Parkway, both currently zoned Office-Institution (O-I). The site currently comprises four office buildings on an approximately 8.38 acre lot.

According to the site plan dated May 2, 2015 (Exhibit A), the developer proposes to construct 12 multi-unit buildings, containing a total of 81 townhome units, at 9.66 units per acre. The maximum density allowed in an RM-100 District is 12 dwelling units per acre. This



application has a companion application, CP 15-051, which seeks to amend the city's Comprehensive Plan Future Land Use Map for 1536 Dunwoody Village Parkway, the flag-lot shaped parcel at the south end of the property.

The typical dimensions of each townhome will be 20 feet wide and 48 feet deep with a 7 foot deep rear deck above the driveway. Buildings will be more than 35 feet (three-stories) in height above grade, "measured as the vertical distance from finished grade along the exterior building wall to the... average distance between the eaves and the ridge level for gable, hip, and gambrel roofs" (§ 27-577(2)).

The proposed Landscape Plan, (Exhibit B), dated May 4, 2015, calls for two "landscaped courtyard" areas. The May 2, 2015 Site Plan calls for 48.8 percent open space, equivalent to 4.09 acres. The Zoning Ordinance requires 20 percent open space with a maximum of 70 percent lot coverage (§27-58). The applicant has proposed a pedestrian circulation plan that complies with Sec. 27-209. The DVMP suggests circulation and open space initiatives specific to the Village area. The applicant plans to dedicate an additional 6 feet of right-of-way for a sidewalk/multi-use path along Dunwoody Village Parkway that when combined with existing improvements will function as a 12 foot wide multi-use path. The developer intends to provides a pedestrian access easement through the property to connect Dunwoody Village to the adjacent Vernon North neighborhood. A dedicated trail easement is shown on the applicant's site plan at the southeast end of the property.

The applicant has stated that all units will comply with the Dunwoody Village Overlay with regard to design, materials and color. Elevations will be substantially like those in (Exhibit C), which are included in the application, and all end units facing the Vernon north neighborhood to the east will be similar to the drawing found in the page titled "Front Elevation C" on page 3 of Exhibit C. All sides will be brick and identical units will be separated by a minimum of three other units. Traditional front, as advocated by the Overlay District, will be installed. The HVAC equipment will be under the deck next to the driveway of all units. The applicant has stated that all units will be constructed so that if requested, they could accommodate elevators. The applicant proposes to accomplish this through a stacked closet design. As the properties are in the Dunwoody Village Overlay, the development will require review by the Design Review Advisory Committee (DRAC) for consistency with the Dunwoody Village Overlay regulations, prior to any development activities.

The proposed internal street network consists of a private drive spanning 24 feet from back of curb to back of curb. Parking will consist of 2 side-by-side spaces in each garage and driveway, for a total of 324 spaces, plus 5 overflow parking lots consisting of 25 spaces—a total of 349 spaces. Driveways will be a minimum of 18 feet in depth, to prevent parked vehicles from sticking out into the private street. Parking areas will be separated from the road by a minimum distance of 30 feet and confined to the rear of structures, per Sec. 27-97(g).

Direction	Zoning	Use	Current Land Use
N	C-2	Commercial	Restaurant/Retail
S	O-1	Commercial	Office

E	R-100	Residential	Residential
W	O-I	Commercial	Office/Retail

Dunwoody's residential zoning districts are primarily intended to create, maintain and promote a variety of housing and living opportunities for individual households and to help ensure consistency with the comprehensive plan. When the zoning ordinance refers to "RM" zoning districts, it is referring to the multi-dwelling zoning districts: RM-150, RM-100, RM-85, RM-75 and RM-HD. The primary purposes of the RM, multi-dwelling zoning districts are as follows:

- a. To accommodate the development of multi-dwelling residential development in areas designated for such development by the comprehensive plan;
- b. To accommodate infill development that is in keeping with the physical character of existing neighborhoods; and
- c. To accommodate uses and structures designed to serve the housing, recreational, educational, religious and social needs of the neighborhood.

The applicant has stated that the number of rental units will be limited to eight units (10% of all units), and will be incorporated into Homeowners' Association documents and provided to the city before a certificate of occupancy is issued.

Zoning Board of Appeals

The Zoning Board of Appeals reviewed requests for encroachment into the stream buffer in April and approved the request with the following conditions:

- In the area where there will be stream buffer interference, other than the north or south ends, there will be pervious paving.
- An engineer will evaluate the integrity of the retaining wall prior to demolition.
- Stream bank restoration will be performed.
- An arborist will evaluate the trees inside the stream buffer on the applicant's property.
- The applicant will clean out the debris that has been dumped in the stream buffer on applicant's property.

ANALYSIS

Comprehensive Plan

The subject properties are located on the eastern periphery of an area that the Comprehensive Plan designates 'Dunwoody Village Character Area.' In 2011, the city adopted the Dunwoody Village Master Plan (DVMP), sub-area plan, as an amendment to the Comprehensive Land Use Plan. The DVMP divides the Village into two parts: Village Core area and Village Transition area.

The Land Use Framework Plan section of the DVMP is intended to guide future redevelopment in the Dunwoody Village Overlay. The Land Use Framework Plan seeks to do the following:

- Create a more vibrant Village Center including a focal point community green space

- Encourage more compact development forms that promote walkability, but are appropriately sized and scaled to maintain and enhance the area's unique character and identity
- Maintain and enhance convenience retail centers that provide daily goods and services for nearby residents
- "Prune" lower performing retail and office sites over time to improve the area's market fundamentals and visual appeal of the Village
- Allow for modest residential development to enhance walkability and enliven the Village, but in doing so, encourage high-quality, owner-occupied units targeted at empty nesters and active adults

The Land Use Framework Plan divides the Village into five future land use categories: Neighborhood & Convenience Retail, Small-Scale Office, Civic/Institutional, For-Sale Residential, and Village Center Mixed-Use. 1530 Dunwoody Village parkway to the north is designated "For-Sale Residential." 1536 Dunwoody Village Parkway to the south is designated "Small-Scale Office."

"Small-scale office" is characterized by the existing small-scale Williamsburg-esque office condos found around the Village. The DVMP says that maintaining opportunities for these offices is important to the unique local character of the Dunwoody Village, but also calls for the pruning of low-visibility, lower performing stand-alone office buildings.

"For-Sale Residential" is characterized by development that has a density of 10 to 12 units per acre, features for-sale 2 to 3 story units with private garages, units greater than 2,000 square feet, high-quality design and materials that keep in mind the Village's traditional architectural character, and that emphasizes the need for age-targeted housing options for empty nesters, that promote a more-active lifestyle and are in close proximity to goods and services. The DVMP calls for a variety of uses and warns against over-building. The plan, adopted in 2011, suggests that 120-160 residential units be built within the Village Center and adjacent areas over the following ten year period.

The Comprehensive Plan prioritizes the enhancement of buffers surrounding single-family neighborhoods adjacent to these more intense districts. Portions of both the Comprehensive Plan related to the Dunwoody Village Character Area and its addendum, the Dunwoody Village Master Plan, are attached for consideration.

Review and Approval Criteria

In accordance with Georgia and local law, the following review and approval criteria shall be used in reviewing the respective amendment applications:

Section 27-335. Review and approval criteria.

- b. *Zoning Map Amendments.* The following review and approval criteria must be used in reviewing and taking action on all zoning map amendments:
 1. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan;

The parcel at 1536 Dunwoody Village Parkway is designated as "For-Sale Residential," and is in conformity with the policy and intent of the Comprehensive Plan and DVMP sub-area plan.

As the DVMP calls for single-family attached townhomes on the periphery of the Village, and for the pruning of lower performing, low-visibility, stand-alone office condos as opportunities arise, the parcel at 1530 Dunwoody Village Parkway presents conformity with the policy and intent of the Comprehensive Plan in certain areas, however, as it is designated as "Small-Scale Off," it requires an amendment to the DVMP section of the city's Comprehensive Plan Future Land Use Map before rezoning can be considered. This amendment is being processed concurrently with this rezoning.

2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties;
The proposed use of both properties is suitable in view of the use and development of adjacent and nearby properties.
3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;
The property to be affected by the zoning proposal has a reasonable economic use as currently zoned.
4. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;
The zoning proposal will not adversely affect the existing use or usability of adjacent or nearby property.
5. Whether there are other existing or changing conditions affecting the use and development of the property that provide supporting grounds for either approval or disapproval of the zoning proposal;
There are not.
6. Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources; and
There are not.
7. Whether the zoning proposal will result in a use that will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.
The proposed land use is not likely to cause excessive or burdensome use of streets, transportation facilities, utilities or schools. DeKalb County School District's report, dated March 30, 2015, indicates that the development will result in an increase of eight students to the school system.

The applicant submitted a Trip Generation Study, dated December 4, 2014, performed by Marc R. Acampora, PE, LLC. The study, which relied upon calculations and models found in the Institution of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition, calculated trip generation of the existing office buildings if fully leased, and trip generation of the proposed 81-unit townhouse project. The study found a decrease of 874 two-way trips over a 24-

hour period for the proposed use vs. the existing use, as well as overall decreases in total trips generated at peak a.m. and p.m. hours. The proposed land use is not likely to cause excessive or burdensome use of streets, transportation facilities, utilities or schools.

RECOMMENDATION

Community Council

At their February 2015 meeting, the Community Council heard the applicant's request to rezone both properties currently zoned Office-Institution (O-I) District to Multi-dwelling Residential District (RM-100) to allow for construction of an 81-unit townhome development. After discussing the nature of the project and the proposed use of the subject property, with the applicant and staff, a motion was made to recommend approval of the request. The motion was voted and passed (5 – 0).

Planning Commission and Summary of Plan Revisions

The Planning Commission deferred consideration of this request during the April 21 special called meeting. Following this meeting staff and the applicant met and discussed Commission comments and additional information that was needed for the next Planning Commission meeting. The applicant then submitted the following revised plans:

1. Site plan dated May 2, 2015
2. Landscape plan dated May 4, 2015
3. Building elevations for a five unit building
4. Revised floor plan

Upon review of these plans staff has determined the following:

Site Plan

1. An additional sidewalk has been added per staff's request adjacent to Unit 72; however, it is located against the townhouse and narrows down severely to navigate around the unit.
2. A phasing line has been added left of the main entrance.
3. Guest parking adjacent to the two open spaces has been removed per a comment from a Planning Commission member.
4. The central loop driveway has been altered to create a larger open space and a gazebo provided.
5. Additional parking has been added along the driveway exit toward Mt. Vernon Road that will serve as guest parking and for the use of the adjacent office building.
6. The pedestrian trail note for the adjacent subdivision has been removed (and will be addressed through a condition of approval).

Landscape Plan

1. Has been modified to match the current site plan layout.

Building Elevations

1. New drawing showing five adjacent units has been provided to give a more accurate depiction of the aesthetics of the buildings. These front elevations are representative of all buildings.
2. A wider stoop/porch has been added to several of the units to improve the appearance of the units and interaction with the street/pedestrians.

Revised Floor Plan

1. The floor plan shows the addition of an elevator.

At their regularly scheduled May meeting, the Planning Commission heard the applicant's request on deferral. After discussing the nature of the project and the proposed use of the subject property, with the applicant and staff, a motion was made to recommend approval of the request. The motion was voted and passed (3 – 2) with the following conditions:

- The elevation of the front of the units along Dunwoody Village Parkway will be at grade.
- The areas adjacent to the two large open spaces will remain open space.
- An elevator will be included in the model unit.

Staff Recommendation

Based on the above analysis and findings, staff has determined that the requested amendments to the official zoning map **meet the requirements** of Chapter 27, §27-335, provided that the land use map amendment for 1530 Dunwoody Village Parkway is approved. With that approval, staff recommends the application be approved with the following exhibit(s) and conditions:

Exhibit A: Site plan produced by TerraBuild USA Inc., dated May 2, 2015.

Exhibit B: Landscape Plan dated produced by TerraBuild USA Inc., dated May 4, 2015.

Exhibit C: Building Elevations (undated)

Exhibit D: Floor Plan (undated)

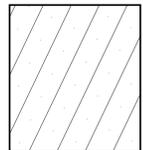
Development of the site shall be substantially consistent with the above Exhibits, Zoning Ordinance, Dunwoody Village Overlay District and the following conditions:

1. An easement for pedestrian passage through the development from the cul-de-sac on Vernon North Drive to Dunwoody Village Pkwy, shall be provided for the adjacent Mt. Vernon North subdivision.
2. Identical elevations shall be separated by a minimum of three other units
3. All sidewalks shall be spaced at least 3 feet from the any building.
4. All sidewalks shall be a minimum of five feet in width.
5. Covenants shall restrict rentals to a maximum of 10% of the number of units in this development.
6. Elevators as shown on Exhibit D shall be offered as an option.
7. The applicant is to work with staff to determine if a landscape strip can be provided adjacent to the northwest property line.
8. Asphalt shingle roofing shall be a minimum three-dimensional Architectural type.
9. Stairs and stoops shall be a minimum of three feet from sidewalk along Dunwoody Village Parkway.

Attachments

- Exhibits
- Planning Commission Meeting Minutes 5-12-15
- Community Council Meeting Minutes 2-11-15
- Aerial Map, Zoning Districts Map, Future Land Use Map, DVMP Map Excerpt
- DeKalb County Schools Report
- Comprehensive Plan excerpt, Dunwoody Village Master Plan excerpt, Overlay Zoning District excerpt
- Application packet

SIGNIFICANT TREES ON-SITE		
NO	TYPE	SIZE
1	PINE	22
2	SWEETGUM	22
3	SWEETGUM	18
4	PINE	16
5	SWEETGUM	22
6	POPLAR	30
7	WATER OAK	25
8	RED MAPLE	18/15/24/10/6
9	POPLAR	22
10	POPLAR	25
11	OAK	24
12	POPLAR	20
13	POPLAR	22
14	WATER OAK	18
15	SWEETGUM	18
16	OAK	26
17	RED MAPLE	27
18	RED MAPLE	22
19	POPLAR	18
20	HARDWOOD	20
21	POPLAR	23
22	POPLAR	20
23	RED MAPLE	28
24	RED MAPLE	24
25	POPLAR	27
26	OAK	33
27	POPLAR	19
28	PINE	25
29	PINE	18
30	PINE	20
31	SWEETGUM	23
32	PINE	21
33	PINE	20
34	WATER OAK	16
35	SWEETGUM	16
36	WATER OAK	18
37	PINE	24
38	PINE	19
39	PINE	28
40	PINE	27
41	PINE	20
42	RED MAPLE	22
43	RED MAPLE	22
44	POPLAR	19
45	RED MAPLE	19
46	RED MAPLE	13
47	RED MAPLE	24
48	POPLAR	20/18
49	POPLAR	23



HATCH DESIGNATES 75' BUFFER ENCROACHMENT
IMPACT 0.04 ACRE (1,670 SF)

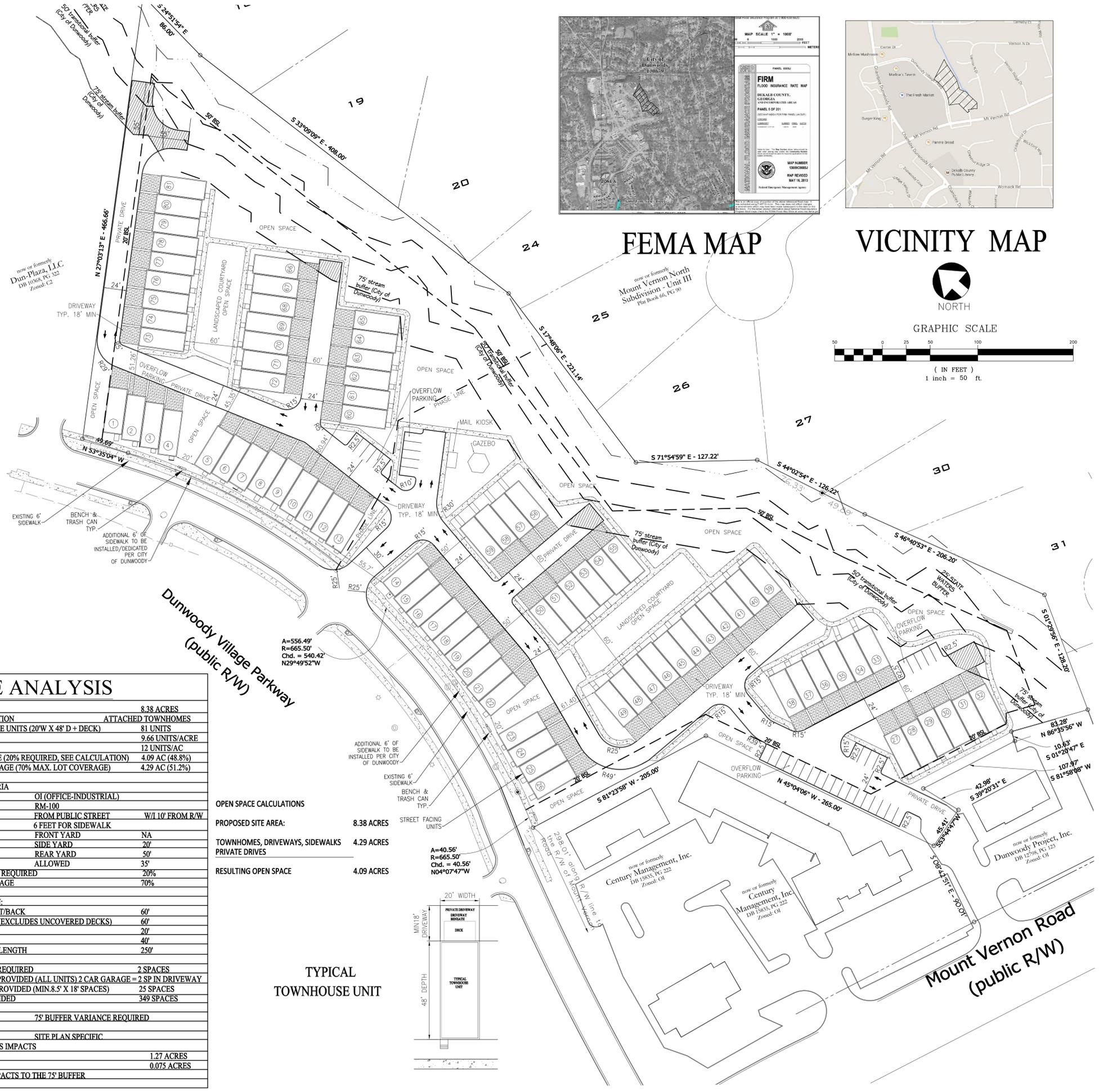
- PLAN NOTES:
1. SURVEY INFORMATION TAKEN FROM AS-BUILT SURVEY BY ESSENTIAL ENGINEERING SERVICES OCTOBER 2014, AS PROVIDED BY CLIENT. TREE INVENTORY PROVIDED BY TERRABUILD, USA, DATED 11-13-2014.
 2. CURRENT ZONING: O-1
PROPOSED ZONING: RM-100
 3. PROPERTY IS LOCATED ON DUNWOODY VILLAGE PARKWAY, JUST NORTH OF MT. VERNON ROAD, LAND LOT 366, 18TH DISTRICT, CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA.
TAX PARCEL ID: 1836606061 & 1836606065
EXISTING BUILDINGS ON-SITE WITH AT THE FOLLOWING ADDRESSES: 1530, 1532, 1536 VILLAGE PARKWAY, DUNWOODY GA 30338.

IT/DEVELOPER: CYPRESS COMMUNITIES, LLC
2970 PEACHTREE ROAD SUITE 850
ATLANTA, GA. 30305

OWNER INFORMATION: CO DUNWOODY VILLAGE COURT, LLC
7390 MCGINNIS FERRY ROAD, SUITE 200
SUWANEE, GA. 30024

ENGINEER: TERRABUILD USA, INC.
PO BOX 601
LILBURN, GA 30048

6. BY GRAPHIC PLOTTING ONLY, THIS SITE IS NOT WITHIN THE LIMITS OF A 100 YR FLOOD HAZARD AREA PER FIRM PANELS 13089C0012J LAST REVISED MAY 16, 2013. THIS SITE IS WITHIN ZONE "X".
7. THE SITE CURRENTLY CONTAINS 4 BUILDINGS WITH ASSOCIATED DRIVES/PARKING/ETC. ALL BUILDINGS/DRIVES/PARKING TO BE REMOVED TO CONSTRUCT THE PROPOSED SINGLE FAMILY TOWNHOUSE DEVELOPMENT.
8. PROPOSED SITE TO BE RE-DEVELOPED WITH SINGLE FAMILY TOWNHOUSE UNITS. TOWNHOMES TO BE SOLD IN FEE-SIMPLE (FOUNDATION OF EACH UNIT). ALL OTHER AREA TO BE OWNED/MAINTAINED BY MANDATORY HOMEOWNERS ASSOCIATION.
9. ALL ON-SITE PRIVATE DRIVES TO BE 24' BACK OF CURB TO BACK OF CURB AS DELINEATED ON PLANS. ALL DRIVEWAYS TO TOWNHOUSE UNITS TO BE A MIN. OF 18 FEET IN LENGTH FROM BACK OF PROPOSED CURB TO FACE OF GARAGE DOORS. SUBDIVISION WILL NOT BE GATED AND WILL HAVE TWO MAIN ENTRANCES FOR ACCESS. PEDESTRIAN ACCESS TO BE ACCOMMODATED AT BOTH ENTRANCES.
10. DEVELOPER TO REMOVE (1.27 AC) OF EXISTING CURBING, ASPHALT THAT IS PRESENTLY WITHIN THE 75' UNDISTURBED BUFFER. THE DEVELOPMENT WILL IMPACT (0.075 AC) OF THE 75' UNDISTURBED BUFFER. THIS WILL RESULT IN A 94% DECREASE IN IMPACTS TO THE 75' UNDISTURBED BUFFER.
11. SIDEWALKS TO BE PROVIDED AS FOLLOWS:
 - a. 5' SIDEWALK TO BE LOCATED WITHIN THE TOWNHOME DEVELOPMENT.
 - b. 6' OF ADDITIONAL SIDEWALK ALONG THE FRONTAGE OF DUNWOODY VILLAGE PARKWAY. THIS SIDEWALK WILL BE ADJACENT TO AN EXISTING 6' SIDEWALK THAT WAS RECENTLY INSTALLED BY THE CITY OF DUNWOODY. THE TOTAL SIDEWALK WIDTH WILL BE 12 FEET.
12. THERE ARE BUFFERED STATE WATERS ALONG THE NORTHEAST PROPERTY BOUNDARY. THE STREAM IS AN UN-NAMED TRIBUTARY THAT FLOWS INTO BALL MILL CREEK.
13. WATER & SEWER SERVICE TO BE PROVIDED BY DEKALB COUNTY. EXISTING UTILITIES TO BE MODIFIED SUBJECT TO FINAL LAYOUT/DESIGN.
14. ALL UTILITIES TO BE UNDERGROUND.
15. NO STORMWATER MANAGEMENT IS PROVIDED FOR THE EXISTING DEVELOPMENT. THE PROPOSED RE-DEVELOPMENT OF THE PROPERTY WILL REQUIRE COMPLIANCE WITH THE CITY OF DUNWOODY STORMWATER REGULATIONS AND WILL LIKELY INCLUDE, ON-SITE UNDERGROUND STORAGE TO PROVIDE CHANNEL PROTECTION VOLUME/ROUTING, PROPRIETARY AND OTHER POTENTIAL STRUCTURAL/NON-STRUCTURAL WATER QUALITY CONTROLS. THE CITY OF DUNWOODY AND CYPRESS COMMUNITIES ARE IN DISCUSSIONS TO COME UP WITH A JOINT PLAN WHERE THE CITY OF DUNWOODY WOULD PROVIDE AN OFF-SITE DETENTION FACILITY TO ACCOMMODATE THE NECESSARY STORMWATER REQUIREMENTS.
16. NO PARKING ANTICIPATED IN SETBACKS (SEE PLAN FOR PARKING LOCATIONS)
17. 81 TOWNHOMES TO BE FEE SIMPLE OWNERSHIP WITH MANDATORY HOA.
18. TRASH TO BE COLLECTED WITH HERBIE CURBIE CANS.
19. CENTRAL MAIL KIOSK TO BE PROVIDED.
20. ALL OPEN SPACE AREAS ARE TO BE SODDED.



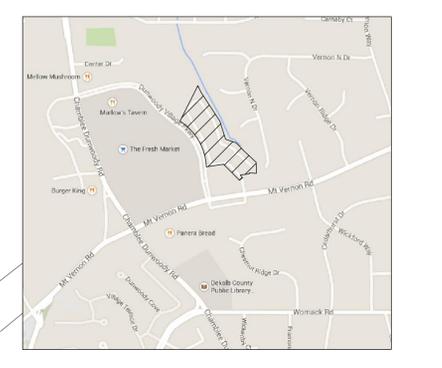
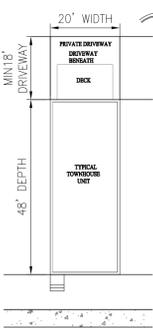
SITE ANALYSIS	
SITE AREA:	8.38 ACRES
PROPOSED CONSTRUCTION	ATTACHED TOWNHOMES
PROPOSED TOWNHOUSE UNITS (20'W X 48' D + DECK)	81 UNITS
DENSITY:	9.66 UNITS/ACRE
MAXIMUM DENSITY	12 UNITS/AC
PROPOSED OPEN SPACE (20% REQUIRED, SEE CALCULATION)	4.09 AC (48.8%)
PROPOSED LOT COVERAGE (70% MAX. LOT COVERAGE)	4.29 AC (51.2%)
RM-100 ZONING CRITERIA	
EXISTING ZONING:	O1 (OFFICE-INDUSTRIAL)
PROPOSED ZONING	RM-100
SETBACKS:	FROM PUBLIC STREET W/10' FROM R/W 6 FEET FOR SIDEWALK
	FRONT YARD NA
	SIDE YARD 20'
	REAR YARD 50'
HEIGHT OF BUILDING:	ALLOWED 35'
MINIMUM OPEN SPACE REQUIRED	20%
MAXIMUM LOT COVERAGE	70%
BUILDING SEPERATION:	
FRONT TO FRONT/BACK	60'
BACK TO BACK (EXCLUDES UNCOVERED DECKS)	60'
SIDE TO SIDE	20'
FRONT TO SIDE	40'
MAX BUILDING LENGTH	250'
OFF STREET PARKING REQUIRED	
OFF STREET PARKING PROVIDED (ALL UNITS) 2 CAR GARAGE = 2 SP IN DRIVEWAY	2 SPACES
ON-STREET PARKING PROVIDED (MIN. 8.5' X 18' SPACES)	25 SPACES
TOTAL PARKING PROVIDED	349 SPACES
VARIANCES:	75' BUFFER VARIANCE REQUIRED
STREAM BUFFER SITE PLAN SPECIFIC	
75' BUFFER IMPERVIOUS IMPACTS	
EXISTING:	1.27 ACRES
PROPOSED (3,300 SF)	0.075 ACRES
95% REDUCTION IN IMPACTS TO THE 75' BUFFER	

OPEN SPACE CALCULATIONS

PROPOSED SITE AREA: 8.38 ACRES

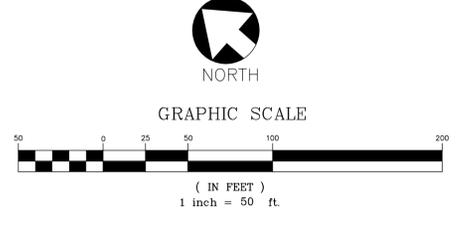
TOWNHOMES, DRIVEWAYS, SIDEWALKS PRIVATE DRIVES: 4.29 ACRES

RESULTING OPEN SPACE: 4.09 ACRES



FEMA MAP

VICINITY MAP



CLIENT
CYPRESS COMMUNITIES, LLC
2970 PEACHTREE ROAD, SUITE 850 ATLANTA, GEORGIA 30305

PROJECT
DUNWOODY VILLAGE TOWNHOMES
LL 366, 18TH DISTRICT, CITY OF DUNWOODY, DEKALB COUNTY, GA

TerraBuild PROJECT NO. E14026

TerraBuild USA, INC.
P.O. BOX 601
Lilburn, Georgia 30048
Office: 770.900.7619, Fax: 770.783.5856
www.TerraBuildUSA.com

SEAL
GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 57848
SUNJEEV Y. IRMAL

NOT VALID WITHOUT SIGNATURE AND DATE
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DESIGNED BY
DRAWN BY
CHECKED BY
APPROVED BY

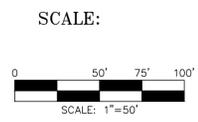
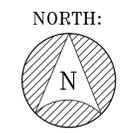
MAR 10, 2015

REVISIONS
02-08-2015 REV. DW LENGTH
02-19-2015 STAFF COMMENTS
03-09-2015 STAFF COMMENTS
03-25-2015 STAFF COMMENTS
05-02-2015 STAFF COMMENTS

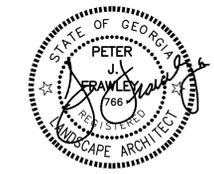
DRAWING TITLE
SITE PLAN

DRAWING NUMBER
C-1

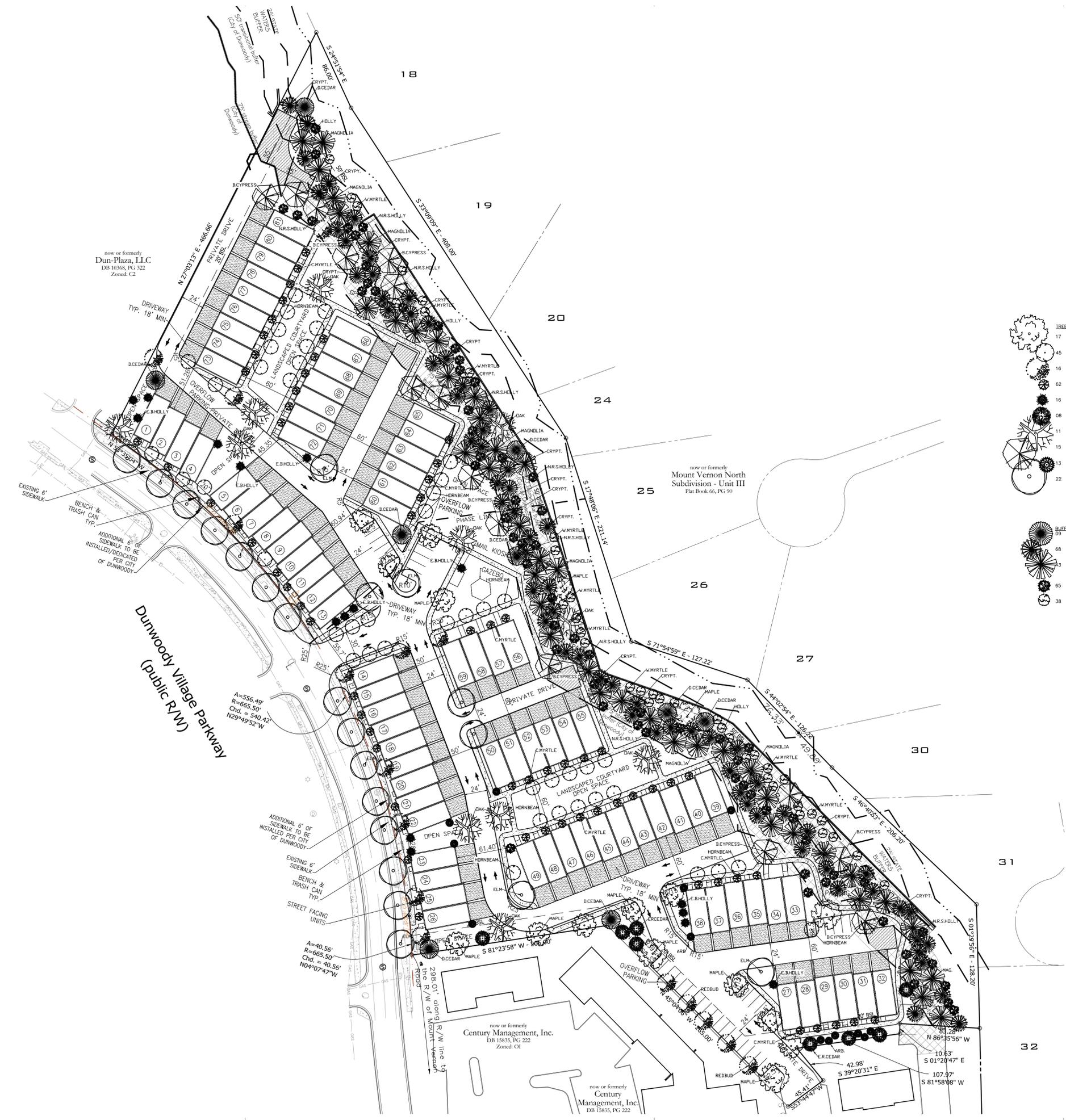
TerraBuild USA, Inc. MANAGE BUILD DESIGN PLAN NOISE #3.



DATE	REVISION #
-	3



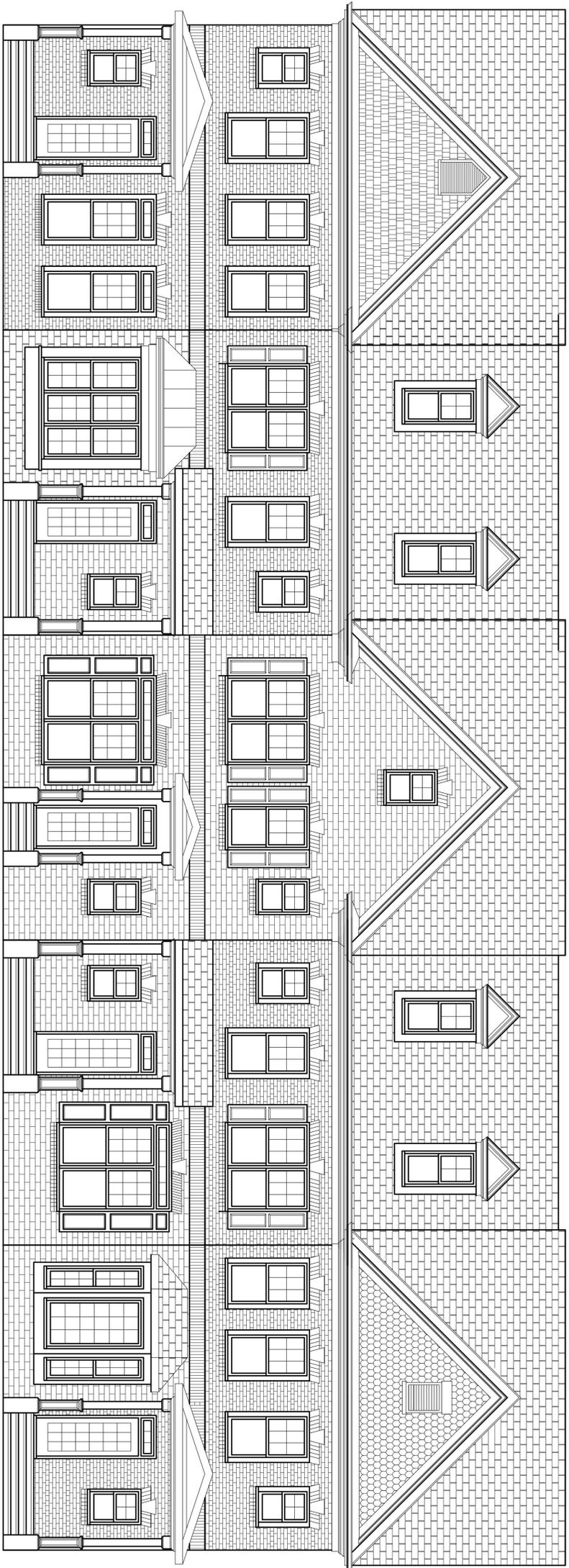
FRAWLEY ASSOCIATES, LLC.
 LANDSCAPE ARCHITECTS
 675 SEMINOLE AVE (SUITE 101)
 ATLANTA, GA 30307 (404) 874-5091
 landscaper@pellsouth.net
 www.frawleyassociates.com



- TREE LIST**
- 17 RED MAPLE - ACER rubrum v. Red Sunset 2.5" CAL.
 - 45 EUROPEAN HORNBEAM - CARPINUS betulus 'Fastigiata' 2.5" CAL.
 - 16 REDBUD - CERIS canadensis 2.0" CAL.
 - 62 HOPI CRAPE MYRTLE - Log. indica 2.5" CAL.
 - 16 EMILY BRUNER HOLLY - Ilex Emily Bruner 6" HT.
 - 08 EASTERN REDCEDAR - JUNIPERUS virginiana 2.5" CAL.
 - 11 SHUMARD OAK - QUERCUS shumardi 2.5" CAL.
 - 15 BALD CYPRESS - TAXODIUM distichum 2.5" CAL.
 - 13 GREEN EMERALD ARBORVITAE - TUJGA occidentalis 'Emerald Green' 2.5" CAL.
 - 22 LACEBARK ELM - ULMUS parvifolia 2.5" CAL.
- BUFFER SCREENING PLANT LIST EVERGREEN TREES**
- 09 LINDHUR CEDAR - Cedrus deodora 6" HT.
 - 68 CRYPTOMERIA - CRYPTOMERIA japonica 10' HT.
 - 03 SOUTHERN MAGNOLIA - MAGNOLIA grandiflora 10' HT.
 - 65 NELLIE R. STEVENS HOLLY - Ilex x Nellie R. Stevens 6" HT.
 - 38 WAX MYRTLE - Myrica cerifera 4" HT.

DUNWOODY VILLAGE TOWNHOMES
 LL 366 18TH DISTRICT
 CITY OF DUNWOODY, GEORGIA

CONCEPT LANDSCAPE/BUFFER
 SCALE: AS SHOWN
 DATE: 05/04/15
 PROJECT: FA-15000
 SHEET
L-1
 SHEET 1 OF 1

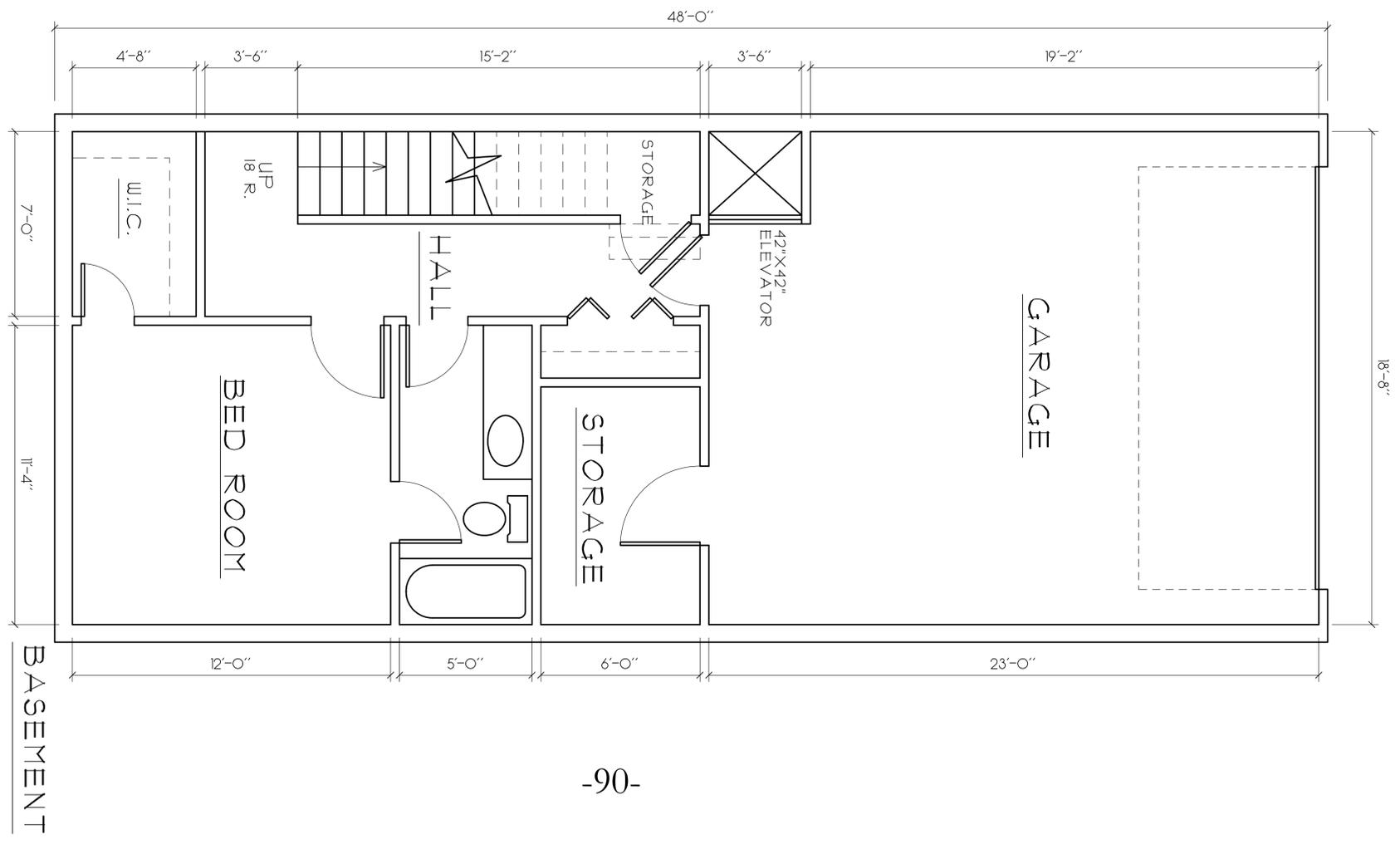
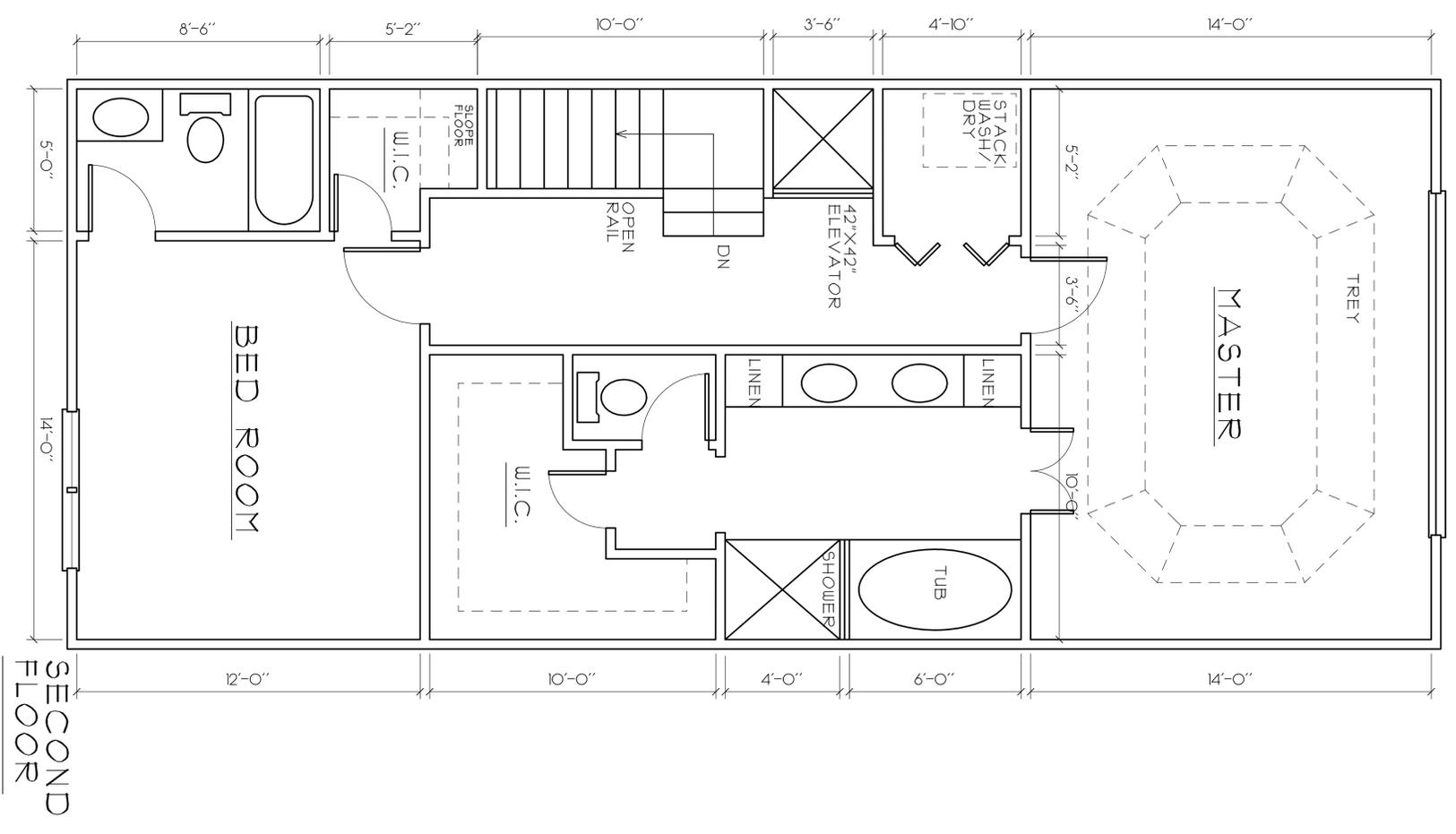
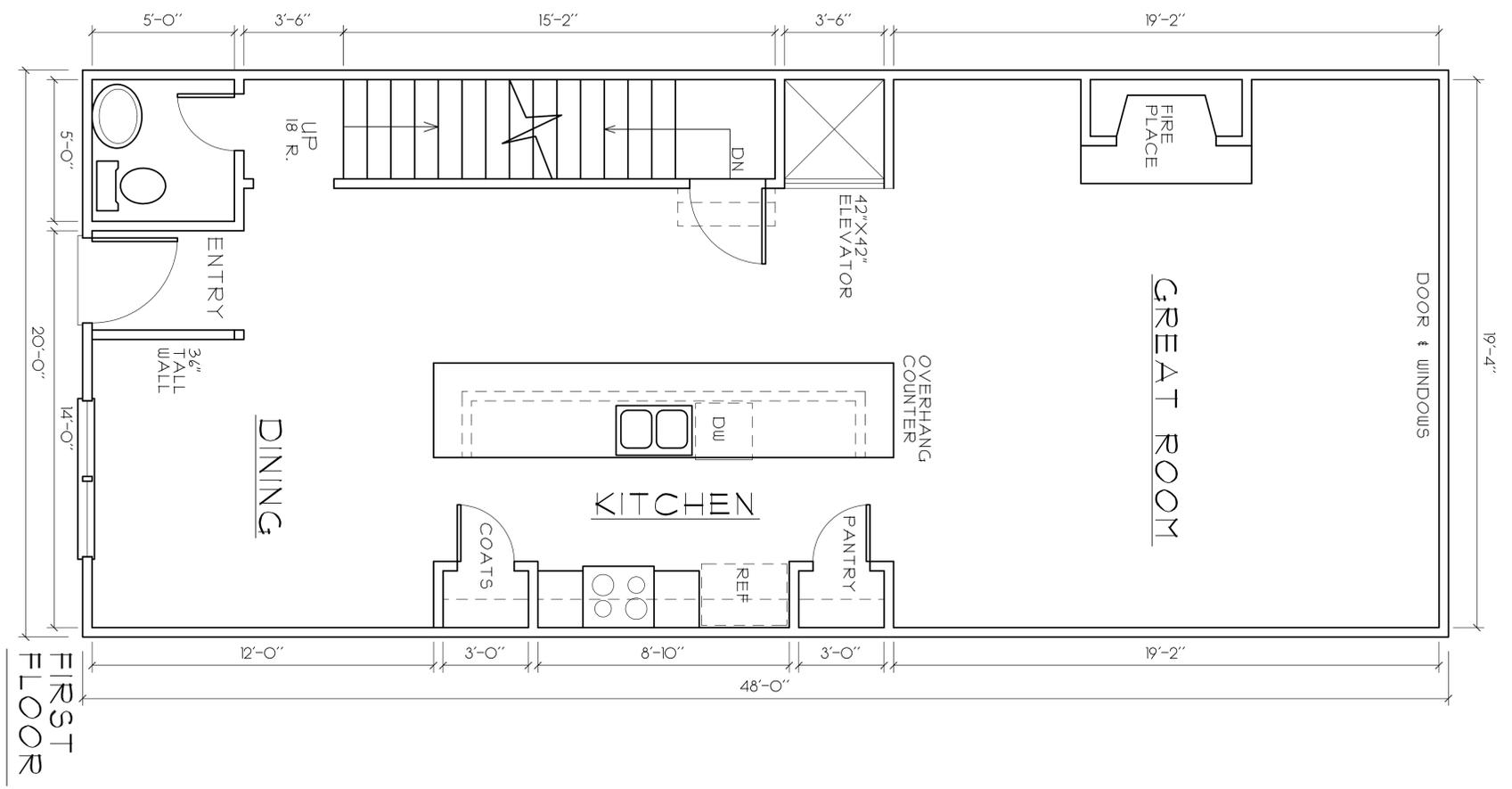


DUNWOODY VILLAGE TOWNHOMES

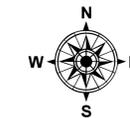
Cypress Communities
2970 Peachtree Road
Suite 850
Atlanta, GA 30305

#3.

DUNWOODY VILLAGE TOWNHOMES



Cypress Communities
 2970 Peachtree Road
 Suite 850
 Atlanta, GA 30305



Dunwoody*
 *Smart people - Smart city
City of Dunwoody
 Community Development
 41 Perimeter Center East, Suite 250
 Dunwoody, Georgia 30346-1902
 678-382-6800 - www.dunwoodyga.gov

**City of Dunwoody
 Official Zoning Map**

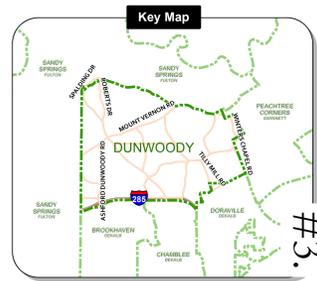
Map Publication Date:
 June 8, 2015

Legend

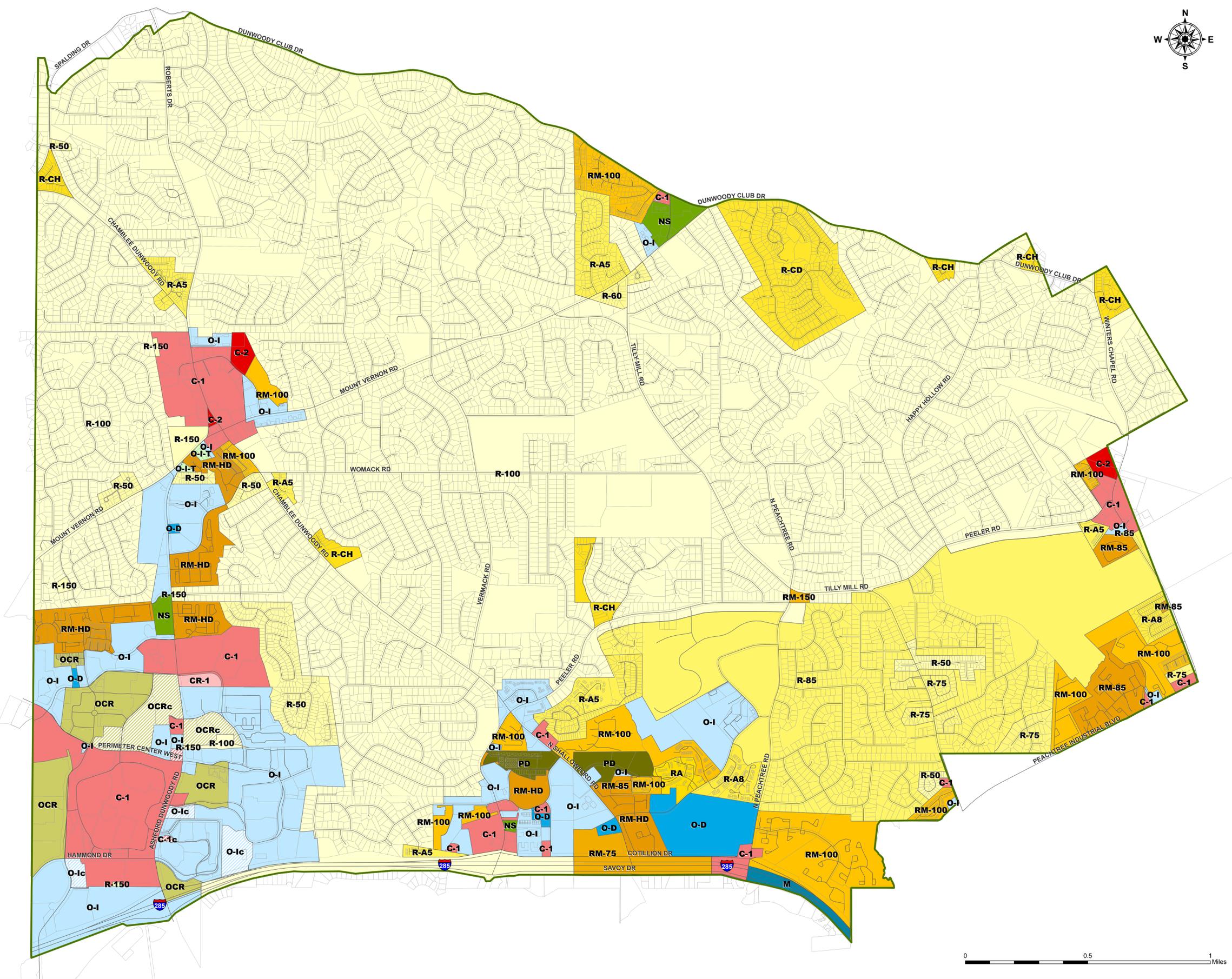
- Street
 - Parcel
 - ▭ City Limit
- Zoning Districts**
- Local Commercial (C-1)
 - Local Commercial (C-1c)
 - General Commercial (C-2)
 - Commercial-Residential Mixed-Use (CR-1)
 - Industrial (M)
 - Neighborhood Shopping (NS)
 - Office-Distribution (O-D)
 - Office-Institution (O-I)
 - Office-Institution-Transitional (O-I-T)
 - Office-Institution (O-Ic)
 - Office-Commercial Residential (OCR)
 - Office-Commercial Residential (OCRc)
 - Planned Development (PD)
 - Single-dwelling Residential (R-100)
 - Single-dwelling Residential (R-150)
 - Single-dwelling Residential (R-50)
 - Single-dwelling Residential (R-60)
 - Single-dwelling Residential (R-75)
 - Single-dwelling Residential (R-85)
 - Single-dwelling Residential (R-A5)
 - Single-dwelling Residential (R-A8)
 - Residential Community Development (R-CD)
 - Single-family Cluster Residential (R-CH)
 - RA
 - Multi-dwelling Residential (RM-100)
 - Multi-dwelling Residential (RM-150)
 - Multi-dwelling Residential (RM-75)
 - Multi-dwelling Residential (RM-85)
 - Multi-dwelling Residential (RM-HD)

Michael G. Davis,
 Mayor

Sharon Lowery,
 City Clerk



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Zoning:

This map does not serve as the official record of zoning.
 City of Dunwoody Zoning Files take precedence over any errors or omissions that are observed on this map.

Production Notes:

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Data Source:
 City of Dunwoody, DeKalb County

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#3.

**CITY OF DUNWOODY
MAY 12, 2015
PLANNING COMMISSION MINUTES**

The Planning Commission of the City of Dunwoody held a Meeting on May 12, 2015 at 6:00 PM. The meeting was held in the City of Dunwoody City Hall, 41 Perimeter Center East, Dunwoody, Georgia 30346. Present for the meeting were the following:

Voting Members: Bob Dallas, Commission Member
 Bill Grossman, Commission Member
 Paul Player, Commission Member
 Heyward Wescott, Commission Member
 Rick Callihan, Commission Member

Also Present: Steve Foote, Community Development Director
 Rebecca Keefer, City Planner
 Andrew Russell, Planning Coordinator

A. CALL TO ORDER

B. ROLL CALL

Kirk Anders and Renate Herod were absent.

C. MINUTES

1. Approval of Minutes from the April 21, 2015 Planning Commission Special Called Meeting

Commission Member Heyward Wescott motioned to approve Commission Member Bill Grossman seconded.

The motion was voted and passed (3 -0 -2). Paul Player and Rick Callihan abstained.

D. ORGANIZATIONAL AND PROCEDURAL ITEMS

Bob Dallas stated the Planning Commission's preferred start time is 7:00 pm and that the Commission voted 7-0 last month to keep a 7:00 pm start time.

Steve Foote responded to the Commission's questions regarding the scheduling of the meeting time for tonight's meeting. Steve stated that the City prefers that Planning Commission meetings be held at 6:00 pm.

Paul Player, Bill Grossman, Heyward Wescott and Rick Callihan stated they would prefer a 7:00 pm meeting start time. The Commission addressed questions to the public. Robert Wittenstein stated he would prefer a 7:00 pm start time.

E. UNFINISHED BUSINESS

1. RZ 15-021: Cypress Communities, LLC, applicant, on behalf of owner, CQ Dunwoody Village Court, LLC, seeks permission to rezone property currently zoned Office-Institution (O-I) District to Multi-dwelling Residential District (RM-100) to allow for construction of an 81-unit townhome development. The subject property consists of two parcels: tax parcel 18-366-060-61 located at 1530 Dunwoody Village Parkway, Dunwoody, GA 30338, and tax parcel 18-366-060-65 located at 1536 Dunwoody Village Parkway, Dunwoody, GA 30338.

Bob Dallas introduced the item and opened the public hearing.

Rebecca Keefer presented on behalf of staff and recommended approval with exhibits and conditions.

Steve Foote spoke on behalf of staff and made additional clarifications.

Carl Westmoreland, representative of the applicant, spoke on behalf of the application. Carl addressed the changes that were made to the site plan and landscape plan since the April Planning Commission meeting. Carl addressed pending agreements with adjacent property owners. Carl responded to the Commission's questions and to comments made by the public. Carl stated he is in communication with DHA regarding their agreement.

Robert Wittenstein spoke on behalf of the Dunwoody Homeowner's Association as their President, in support of the application. Robert stated the DHA believes the proposed project is good for Dunwoody, that the applicant has worked very hard to accommodate the neighbors' requests, and that the proposed development is in line with the Dunwoody Village Master Plan was put together. Robert clarified his comment at the April Planning Commission meeting regarding the obligations the applicant has for following recommendations of the Design Review Advisory Committee.

Richard Krohn, 1422 Mockwell Ct, spoke in opposition to the application. Richard stated that he opposes multi-family housing in the proposed location.

Robert Miller, 1332 Martina Drive, spoke in opposition to the application. Robert stated that he objects to these proceedings because believes they are not in compliance with procedural due process requirements, the proposed site plan does not meet the policy and intent of the Comprehensive Plan, and that the floor plans do not meet the Comprehensive Plan's goal of providing housing options targeted at empty nesters. Robert proposed that 90% of units should have the master bedroom and kitchen on the same floor, one bathroom that is framed to ADA standards with a zero entry shower, kitchen layout and wider hallways designed to ADA standards, and doorways on main level to have a minimum clear opening of 32".

Bill Grossman asked questions of the applicant related to whether there will be a model unit, the installation and code requirements of elevators, and what the minimum spacing between any sidewalk and a building is, and pointed to the sidewalk along building 72. Bill asked

whether the applicant is willing to include an elevator in the model unit, and whether the elevator cost he anticipated took into account the city's code requirements for elevators that open into a garage.

Heyward Wescott asked questions of the applicant and staff regarding phasing, issues with the dumpster and neighboring office properties, and code issues pertaining to having an elevator in a garage. Heyward stated he would like to see green space between units 72 and 73 instead of parking spaces. Heyward commended the changes that the applicant has made to the site plan around the mail kiosk.

Rick Callihan asked staff about the Comprehensive Plan calling for 2 story units as a transitional buffer toward the back of the property.

Bob Dallas asked the applicant whether any units accommodate master bedroom, living room and kitchen on the same floor, and whether he could build some larger units there that could accommodate that. Bob asked questions of grading at the townhomes proposed along Dunwoody Village Parkway. Bob commended the applicant for removing the parking from the area in front of the open space between units 72 and 73.

Lonnie Moss, applicant, responded to the Commission's questions. Lonnie stated that having the kitchen, living room and master bedroom on the same floor would not be possible with these units. Lonnie stated that he envisions three or four steps down to the sidewalk along Dunwoody Village Parkway. Lonnie stated the foundations can be adjusted to make sure there are a few steps down to the sidewalk at those units.

Bill Grossman motioned to deny. Rick Callihan seconded.

The motion was voted and failed (2 - 3). Heyward Wescott, Bob Dallas and Paul Player dissented.

Heyward Wescott motioned to approve with the following conditions:

- 1. The elevation of the front of the units along Dunwoody Village Parkway shall be at grade.**
- 2. The area along the private drive between units 72 and 73 will remain open space.**
- 3. An elevator will be included in the model unit.**

Paul Player seconded.

The motion was voted and passed (3 - 2). Bill Grossman and Rick Callihan dissented.

- 2. Text Amendments City of Dunwoody City Code Chapter 27 Related to Meeting Process.**

Bob Dallas introduced the item and opened the public hearing.

Steve Foote presented on behalf of staff and recommended approval of the text amendment. Steve responded to the Commission's questions.

Robert Wittenstein, 1146 Bordeaux Court, spoke in support of the application.

Bill Grossman asked questions of staff. Bill proposed that a single staff member attend the initial applicant-initiated meeting.

Rick Callihan asked staff who initiated the amendment. Rick stated the Community Council serves as a farm system for filling other Board seats.

Bob Dallas stated that the dialogue that takes place in formal meetings is critical and questioned whether a developer-led meeting can achieve that goal. Bob suggested that the applicant be required to publish notice of the applicant-initiated meeting in the legal organ of the city, so interested parties who may not live within the 500 foot radius would be informed.

Paul Player voiced concern that less reputable developers or attorneys could mislead the public at the developer-initiated meetings.

Bob Dallas called Robert Wittenstein up to speak. Robert suggested that the DHA be the appropriate venue for developer-led meetings. He pointed to the example of the Dunwoody Village Townhome application which came before the DHA and worked out issues early on in the process.

Heyward Wescott motioned to approve with the addition that the applicant advertise the applicant-initiated meeting in the city's legal organ. Bill Grossman seconded.

The motion was voted and passed (4 - 1). Rick Callihan dissented.

F. NEW BUSINESS

- 1. Text amendments to the City of Dunwoody City Code Chapter 27 to Change the Classification of Massage Activities.**

Bob Dallas introduced the item and opened the public hearing.

Steve Foote presented on behalf of staff and recommended approval of the text amendment.

Wendy Pearson, the owner of Escentual Body, spoke in favor of the proposed text amendment, and responded to questions from the Commission. Sherise Law, the owner of Pure Aesthetics and Skincare, 1745 Old Spring House Lane, spoke in favor of the application. Sherise stated the Board of Cosmetology is the group who inspects her business.

Robert Wittenstein, 1146 Bordeaux Court, spoke in support of the application, and stated the current model is outdated.

Heyward Wescott motioned to approve. Bill Grossman seconded.

The motion was voted and passed (4 - 1). Rick Callihan dissented.

G. OTHER BUSINESS

H. PUBLIC COMMENT

I. COMMISSION COMMENT

Bob Dallas asked procedural questions of staff regarding scheduling.

Bob Dallas welcomed new Planning Commission Member Rick Callihan.

Heyward Wescott thanked City Council Members Jim Riticher, Terry Nall and Denny Shortal for attending.

J. ADJOURN

DRAFT

**CITY OF DUNWOODY
FEBRUARY 11, 2015
COMMUNITY COUNCIL MINUTES**

The Community Council of the City of Dunwoody held a Special Called Meeting on February 11, 2015 at 7:00 PM. The meeting was held in the City of Dunwoody City Hall, 41 Perimeter Center East, Dunwoody, Georgia 30346. Present for the meeting were the following:

Voting Members: Norb Leahy, Chair
 Richard Grove, Community Council Member
 Deborah G. Shendelman, Community Council Member
 Brian Sims, Community Council Member
 Sam Verniero, Community Council Member

Also Present: Steve Foote, Community Development Director
 Rebecca Keefer, City Planner
 Andrew Russell, Planning Coordinator

A. CALL TO ORDER

B. ROLL CALL

Council Member Rick Callihan was absent.

C. MINUTES

1. Approval of Meeting Minutes from the January 8, 2015 Community Council Meeting

Deborah G. Shendelman motioned to approve. Richard Grove seconded.

The motion was voted and passed (5 – 0).

D. ORGANIZATIONAL AND PROCEDURAL ITEMS

Rebecca Keefer announced that iPad training for the Community Council will be held on Friday, February 13, 2015 at 11:00 AM.

Rebecca Keefer introduced the new motion sheets to the Community Council and explained how the sheets will be used going forward.

E. UNFINISHED BUSINESS

1. RZ 15-021: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Cypress Communities, on behalf of CQ Dunwoody Village Court, LLC, seeks permission to rezone property currently zoned Office-Institution (O-I) District to Multi-dwelling Residential District (RM-100) to allow for construction of a 81-unit townhome development. The subject property consists of two parcels: tax parcel 18 366 060 61 located at 1530 Dunwoody Village Parkway, Dunwoody, GA 30338, and tax parcel 18 366 060 65 located at 1536 Dunwoody Village Parkway, Dunwoody, GA 30338.

Norb Leahy opened the public meeting.

Rebecca Keefer presented on behalf of staff, and responded to the Council's questions.

Carl Westmoreland, representative of Morris, Manning & Martin, LLP, presented on behalf of applicant Cypress Communities. The condition that no more than two adjacent units will share a certain area, as was a condition encouraged by the DHA. Lighting will not be cast on adjacent properties. Carl responded to concerns over easements with neighboring properties, and clarified that access of service, delivery, and emergency vehicles is the main concern and that the applicant is in talks with representatives of that neighboring property, 1742 Mt. Vernon.

Robert Wittenstein, 1146 Bordeaux Court, presented as a representative of the DHA, and recommended approval. He stated that this is the sort of development the Village needs. He stated the DHA has agreed to enter into an agreement with the developer. He stated rental units will be confined to 8, just under 10%.

Robert Miller, spoke and suggested that certain conditions be added to the application: real balconies be required on the unit fronts to encourage connectivity with the city and with people, materials be high quality, outside stairs should be bull-nosed brick, hvac units should be out of sight, shutters should be real-wood operating shutters, 1x4 brick band around the windows should be required, exterior designs should not repeat more than three times, there should be active at least 1.5 acres of active green space and use of which should be encouraged from the parkway, there should be the potential for single-floor living, half of all the units should have the kitchen and master bedroom on the same level. Robert suggested that DHA's rental condition, confining rental units to 8 total units, would be unenforceable.

Lonnie Moss, representative of applicant, Cypress Communities, spoke. He clarified that the front doors of the units located on Dunwoody Parkway would face the parkway. He stated the homeowners would be responsible for repaving all surfaces internal to the complex. He stated that closets will be stacked so that any unit can be adjusted to have an elevator.

Sam Verniero motioned to approve. Brian Sims seconded.

The motion was voted and passed (5 – 0).

F. NEW BUSINESS

1. RZ 15-042: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Metropolitan Atlanta Rapid Transit Authority, on behalf of owner, Atlanta Office Investments Phase I, L.L.C. c/o KDC Real Estate, seeks permission to rezone property currently zoned Office-Institution (O-I) Conditional District to Local Commercial (C-1) District to allow MARTA to own and operate a new connection to the Dunwoody MARTA station. The subject property is located at 236 Perimeter Center Parkway, Dunwoody, GA, 30346. The tax parcel ID is 18 348 02 015.

Norb Leahy opened the public meeting.

Rebecca Keefer presented on behalf of staff, and responded to the Council's questions.

Doug Dillard, representative of Pursley Friese Torgrimson, presented on behalf of applicant, MARTA.

Jim George, representative of KDC, and Stan Williams, representative of Cooper Carry, responded to the Council's questions regarding the design and layout of the proposed structure.

Greg Floyd, representative of applicant, MARTA, responded to the Council's questions.

The Council commended the enhanced connectivity and viability this project will bring to the city.

Sam Verniero motioned to approve. Richard Grove seconded.

The motion was voted and passed (5 – 0).

G. OTHER BUSINESS

H. PUBLIC COMMENT

I. COMMUNITY COUNCIL COMMENT

J. ADJOURN

**DeKalb County School District
Zoning Review Comments**

Analysis Date: 3/30/2015

Submitted to: Andrew Russell **Case #:** RZ-15-021

Name of Development: Dunwoody Village Townhomes
Location: 1530 & 1536 Dunwoody Village Pkwy

Description: Demolition of Office Buildings to to be replaced by 81 townhomes.

Impact of Development: The proposed rezoning, if approved, will add approximately 8 students to the local schools. (4 at Vanderlyn ES, 1 at Peachtree Charter MS and 3 at Dunwoody HS. This will increase overcrowding at all schools, all of which are projected to be at least 20% over capacity and are projected to grow in enrollment and overcrowding in the next 5 years. This development will have a negative - yet minor - effect on all three schools.

Current Condition of Schools	Vanderlyn ES	Peachtree MS	Dunwoody HS	Other DSCD Schools	Private Schools	Total
Capacity	576	1,212	1,403			
Portables (Capacity)	11	8	0			
Portables (Construction)	0	0	0			
Enrollment (Oct. 2015)	697	1,485	1,700			
Seats Available	-121	-273	-297			
Utilization (%)	121.0%	122.5%	121.2%			
New students from development	4	1	3	0	0	8

New Enrollment	701	1,486	1,703
New Seats Available	-125	-274	-300
New Utilization	121.7%	122.6%	121.4%

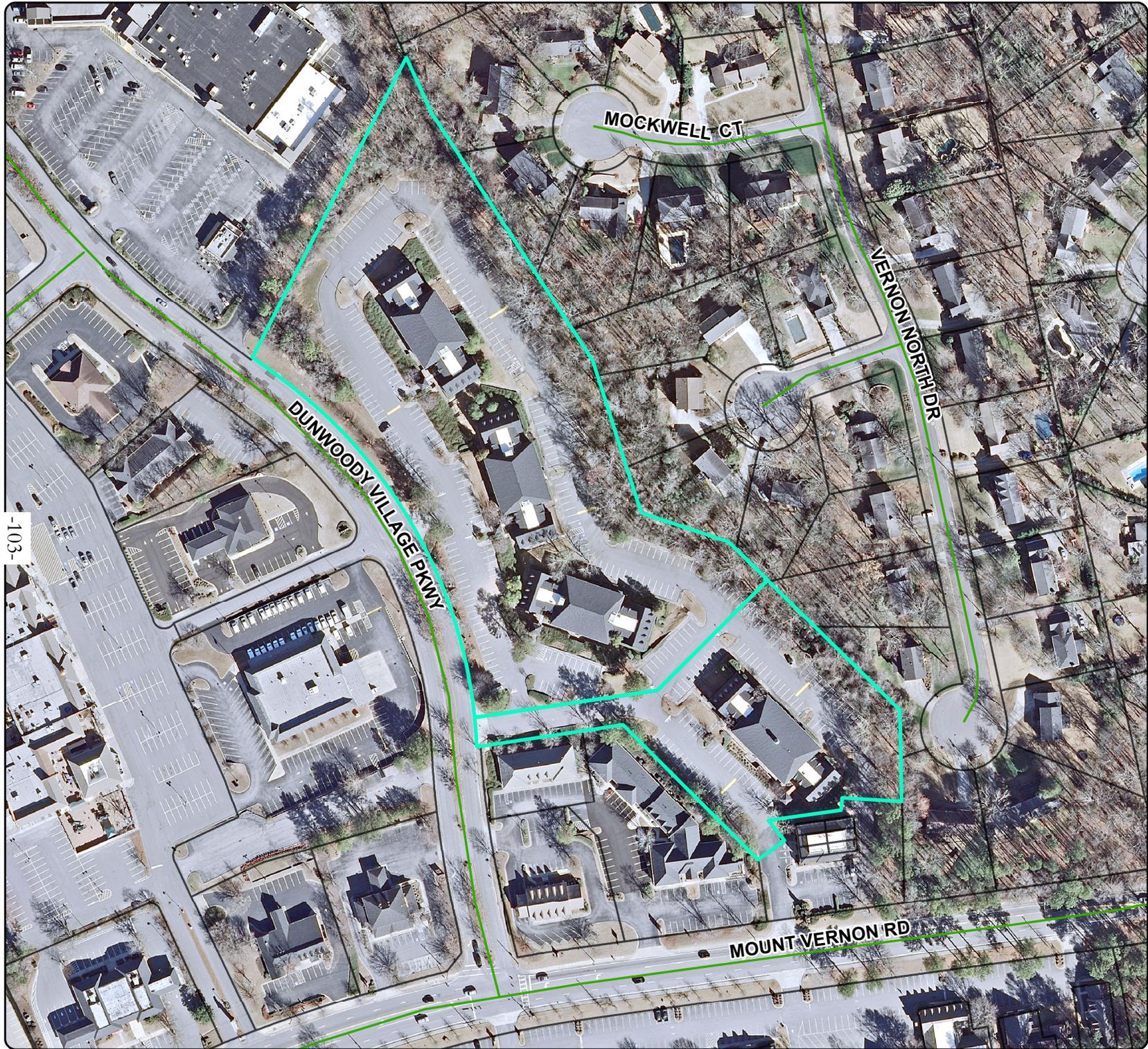
Yield Rates	Attend Home School	Attend other DCSD School	Private School	Total
Elementary	0.0446	0.0015	0.0010	0.0471
Middle	0.0136	0.0005	0.0040	0.0181
High	0.0330	0.0015	0.0020	0.0364
Total	0.0912	0.0034	0.0070	0.1016

Student Calculations

Proposed Units **81**

Units x Yield	Attend Home School	Attend other DCSD School	Private School	Total
Elementary	3.61	0.12	0.08	3.81
Middle	1.10	0.04	0.32	1.46
High	2.67	0.12	0.16	2.95
Total	7.38	0.28	0.56	8.22

Anticipated Students	Attend Home School	Attend other DCSD School	Private School	Total
Vanderlyn ES	4	0	0	4
Peachtree MS	1	0	0	1
Dunwoody HS	3	0	0	3
Total	8	0	0	8



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Community Development
 41 Perimeter Center East | Dunwoody, Georgia
 Suite 250 | 30346-1902
 678-382-6800 ~ www.dunwoodyga.gov

**1530 & 1536 Dunwoody
 Village Parkway**

**RZ 15-021
 Aerial Map**

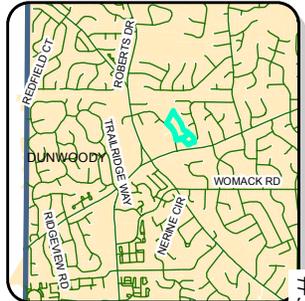
April 2015

Legend

-  Parcel
-  Street Centerline



Scale:
 1 in = 183 ft



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1530 & 1536 Dunwoody Village Parkway

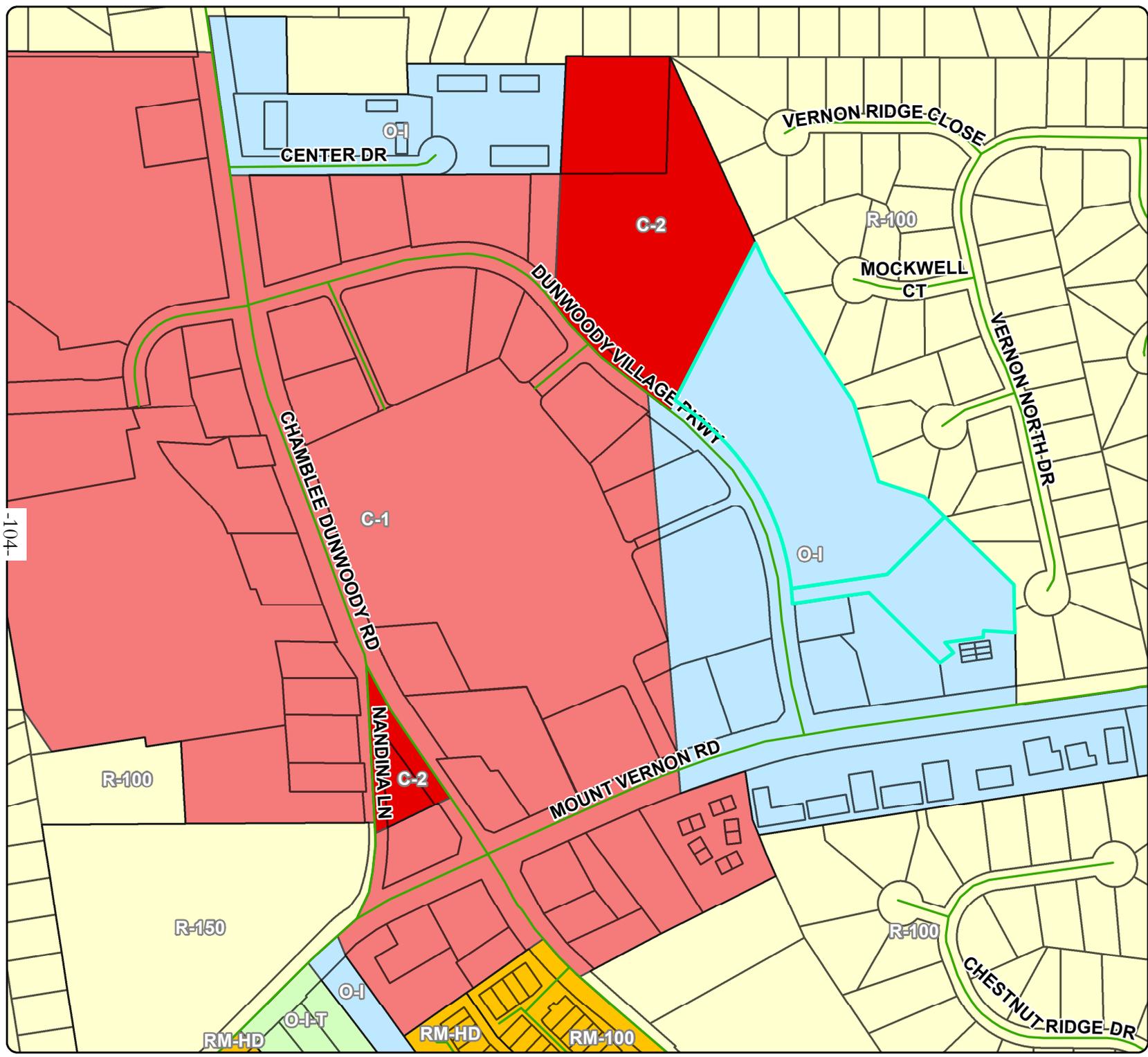
**RZ 15-021
Zoning Map**

April 2015

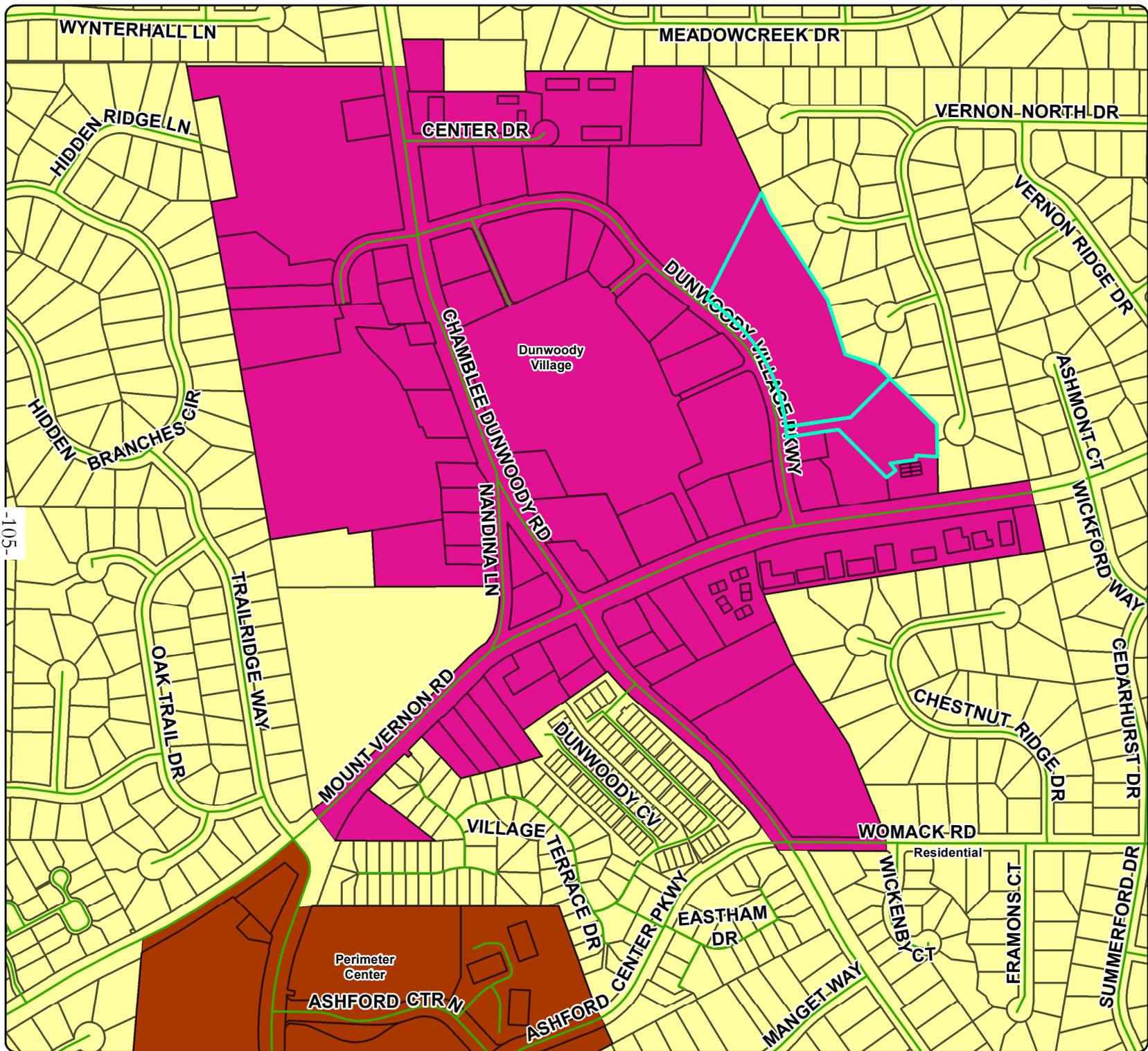
Legend

-  Parcel
-  Street Centerline
- Zoning District**
-  Local Commercial
-  General Commercial
-  Commercial-Residential Mixed-Use
-  Industrial
-  Neighborhood Shopping
-  Office-Distribution
-  Office-Institution-Transitional
-  Office-Institution
-  Office-Commercial Residential
-  Planned Development
-  Detached Single-dwelling Residential
-  Attached Single-dwelling Residential
-  Residential Community Development
-  Single-family Cluster Residential
-  Multi-dwelling Residential

Scale:
1 in = 350 ft

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1530 & 1536 Dunwoody Village Parkway
RZ 15-021
Future Land Use Map
 April 2015

Legend

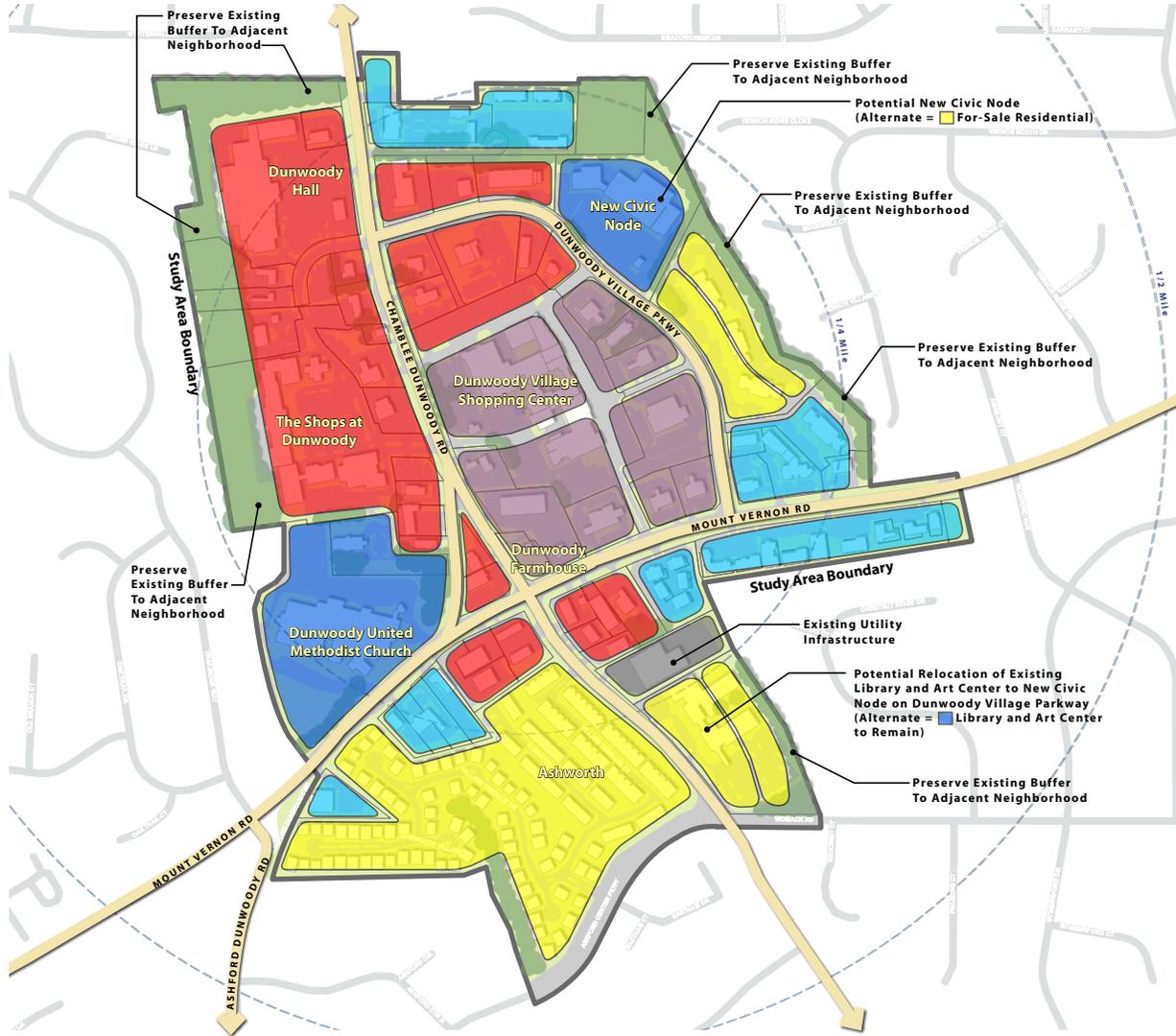
- Parcel
- Street Centerline
- Character Area**
- Perimeter Center
- Community Facility/Water Treatment
- Dunwoody Village
- Georgetown-Shallowford Road
- Institutional/Campus
- Office
- Jett Ferry Gateway
- Tilly Mill Gateway
- Winters Chapel Redevelopment Area
- Multi-Family/Mixed-Use
- Residential

Scale:
 1 in = 517 ft



-105-

Land Use Framework Plan



DUNWOODY VILLAGE DISTRICTS

- NEIGHBORHOOD & CONVENIENCE RETAIL:**
 - Primarily existing retail/commercial
 - Limited professional office
 - Limited opportunity for new development
 - Facade / tenant upgrades over time
 - Internal landscape / pedestrian / site improvements over time (private)
 - Generally 1-2 story development

- SMALL-SCALE OFFICE:**
 - Existing office space
 - Limited opportunity for new development
 - Facade / tenant upgrades over time
 - Internal landscape / pedestrian / site improvements over time (private)
 - Primarily 1-2 story development (third level of occupied space in some existing buildings)

- CIVIC / INSTITUTIONAL:**
 - Existing civic / institutional uses (Dunwoody United Methodist Church)
 - Opportunity for new Civic Node
 - New "town green / plaza" (0.5-1.0 acres)
 - Potential new Municipal Complex
 - Potential relocation of existing Library & Arts Center (from Chamblee Dunwoody Road)
 - Potential new civic uses
 - 1-3 story development
 - Potential supporting retail / office (small-scale 1-2 stories)
 - NOTE: See separate detailed site concept

- FOR-SALE RESIDENTIAL:**
 - Existing townhomes and small-lot single-family (Ashworth)
 - Opportunity for new development (Chamblee Dunwoody Road site & Dunwoody Village Parkway site)
 - 10 to 12 units per acre
 - 2 to 3 stories with private garages
 - Age-targeted (empty nesters)
 - Large units (greater than 2,000 sq. ft.)
 - For-sale product
 - Preserve existing buffers
 - High-quality design / materials

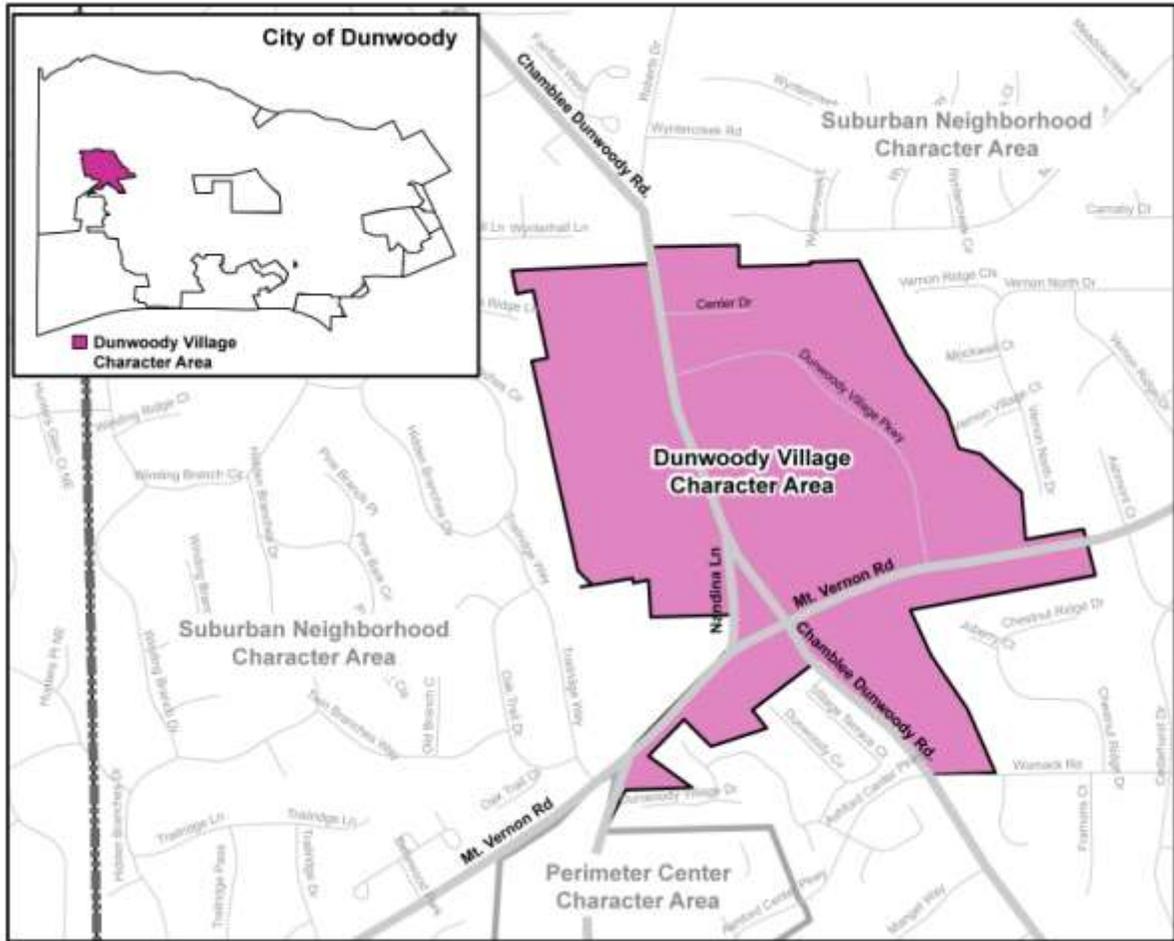
- VILLAGE CENTER MIXED-USE:**
 - Existing Village commercial
 - Preservation of Cheek-Spruill Farmhouse
 - Preservation of Fresh Market and Walgreens
 - Significant opportunity for redevelopment (multiple sites)
 - New "town green" (1.5-2.0 acres)
 - New internal street grid
 - "Walkable" storefront character
 - Potential new storefront retail / office
 - Potential for-sale loft housing over ground-floor commercial (40-80 units)
 - Age-targeted housing (empty nesters)
 - Large units (greater than 2,000 sq. ft.)
 - Generally for-sale product
 - Primarily 2-3 story development
 - High-quality design / materials (compatible with Village aesthetic)
 - NOTE: See separate detailed site concepts

- Study Area Boundary
- Major Streets
- Parcels
- Building Footprint
- Natural Tree Cover (approximate)

-106-



Dunwoody Village



Vision/Intent

Dunwoody Village has historically been the “heart” of Dunwoody. A master planning process will have established a detailed vision for this center of the community, focused on pedestrian and bicycle amenities, public functional green space, traffic calming, architectural controls, connectivity and place making. A sense of history will add to the charm and sense of place. This area will offer a “village green” with civic activities and amenities, and redevelopment will draw community members to shopping, dining and entertainment. Furthermore, redevelopment should have a residential component for day and evening activity to foster community. The design should embody the unique character of Dunwoody. The marker or unifying signifier (whether a “logo” or other identifier) that the City creates for itself and employs at gateways should be hallmarked in the Dunwoody Village in a distinctive, prominent way.



Future Development

- Height:** Up to 3 stories, but allow potentially up to 5 at intersections if and only if a unique project is proposed with architecturally distinct features, innovative parking solutions (covered decks, underground parking, or alternatives) and functional spaces for public use. A 5-story building would only be considered at the core of the Village; the boundary properties of the Dunwoody Character Area will not be appropriate if greater than two stories
- Form:** Master planned design, high quality building materials, civic amenities, integrated open space and appropriate transitions from greater to less intense uses. The periphery of the character area will include an exceptional, large transitional area to adequately protect single-family residential and other residential homes in the area
- Use:** Mixed-Use (combined office, retail and residential where residential is located only on the second floor or above) up to 12 units to the acre, although age-restricted projects would be granted consideration for additional densities; live-work units, civic institutional, community retail (not greater than 50,000 square feet), local and unique business, boutique retail, public assembly and entertainment. Additional density is allowable, if and only if, the nature of the mixed-use development provides exceptional opportunities for creating a high quality community



FIGURE 7: Dunwoody Village will feature buildings close to the street, an active pedestrian zone with bicycle options that are safe and inviting.



Goals

- Land use
 - Create an active community center with public places to gather, following a master planning process that potentially supports a redevelopment investment program
 - Through the Master Plan process, establish way-finding or landmark features that unify the Village and can be used across the City, if a way-finding or gateway plan does not already exist for the greater City as a whole
 - Master Plan should consider shadowing effects of taller buildings and appropriately regulate to not visually impose on adjacent single-family residents
 - Implement the Dunwoody Village Overlay and review regularly to ensure enforcement meets intent of overlay and Character Area vision
- Transportation and circulation
 - Creatively address the parking and congestion that new local activity may generate
 - Master Plan process will identify solutions for structural parking
 - Establish bicycle network for new connectivity throughout the City so that “all roads lead to the Village”
 - Establish infrastructure thresholds that new development must meet
- Community Facilities
 - Pursue site location evaluation and financing plan locating City Hall, Police and other civic functions, including options for joint public-private partnership
 - Create venues for cultural events like music and create programs for public uses of City Hall and library

Several regional examples of **redevelopment with open space** were referenced during Community Meeting discussions about Dunwoody Village. The City of Smyrna allows higher buildings adjacent to the plaza at the Market Village shown. The City of Dunwoody envisions similar development and rules whereby densities may increase, contingent upon the provision of amenities (open space, plazas, etc) or development features.



City of Duluth



City of Smyrna



City of Suwanee



2 VISION & FRAMEWORK PLAN

OVERALL VISION

In 2010 the City of Dunwoody adopted its first Comprehensive Land Use Plan. The Comprehensive Land Use Plan laid the foundation for this more detailed master plan effort:

Dunwoody Village has historically been the “heart” of Dunwoody. A master planning process will have established a detailed vision for this center of the community, focused on pedestrian and bicycle amenities, public functional green space, traffic calming, architectural controls, connectivity and place making. A sense of history will add to the charm and sense of place.

This area will offer a “village green” with civic activities and amenities, and redevelopment will draw community members to shopping, dining and entertainment. Furthermore, redevelopment should have a residential component for day and evening activity to foster community. The design should embody the unique character of Dunwoody. The marker or unifying signifier (whether a “logo” or other identifier) that the City creates for itself and employs at gateways should be hallmarked in the Dunwoody Village in a distinctive, prominent way.

The Dunwoody Village Master Plan was developed to create a more detailed vision for the District based upon the area’s unique character and identity, the desire to create a great sense of place, underlying real estate market fundamentals, and public input. The resultant master plan include land use and circulation framework plans and short-term and long-term action plans to guide City of Dunwoody initiatives and investments in this area over the next 10-20 years.

Throughout the planning process, public involvement was a vital element of developing a community driven plan. The process included:

- +/- 20 Stakeholder Interviews in August 2010
- 4 Sounding Board Meetings- a committee of 14 community members identified by City Council to serve as a focus group for the planning effort
- 4 Public Workshops (the 4th workshop was held twice on consecutive evenings)
- An Interactive Project Website
- A Community Preference Survey
- 3 Public Open Houses
- City Councilmember Interviews/Small Group Sessions

The first phase of community involvement in September and October of 2010 included stakeholder interviews, one Sounding Board Meeting, one public workshop, and the online community preference survey to clarify community goals and objectives for Dunwoody Village. While there are many perspectives and viewpoints in the community, the following community consensus points emerged through the public participation process and guided development of the Master Plan.

- Reinforce Dunwoody Village as a focal point of the community and a City of Dunwoody destination
- Maintain the area's unique identity including the concentration of local businesses
- Make the Village more walkable
- Create community green space and maintain mature tree cover
- Preserve and enhance the Farmhouse as a community icon
- Maintain a consistent architectural character in the Village
- Maintain and enhance buffers to surrounding single-family neighborhoods
- Determine potential for a civic presence in the Village
- Recognize community preferences to limit residential densities and rental properties

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FUTURE CHARACTER

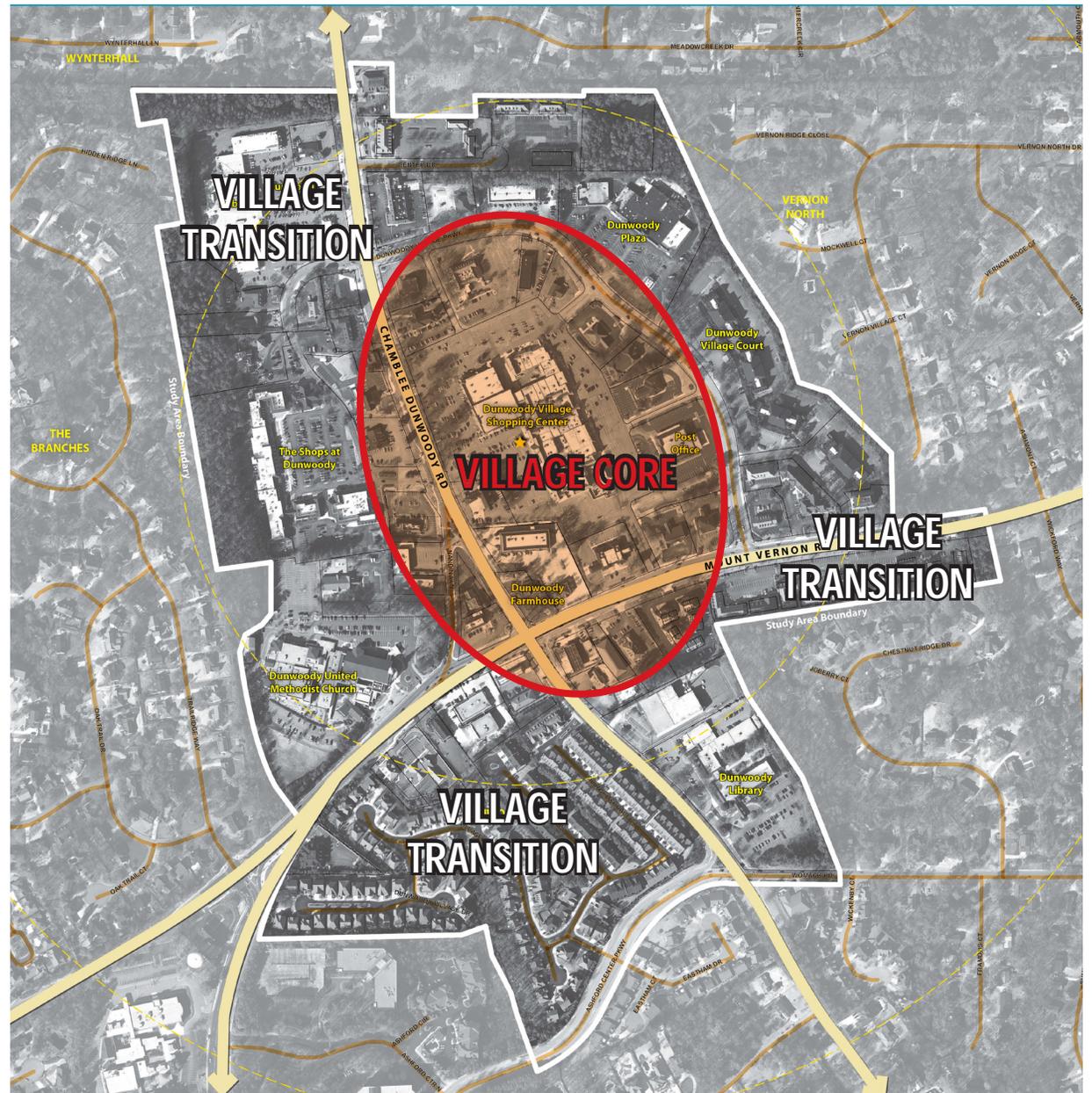
In September 2010, a Community Preference Survey was conducted at the first public meeting and online into early October to gather stakeholder input regarding the future of the Dunwoody Village. While over 270 stakeholders participated in the survey, the pool of respondents was not a scientific sample of the community as a whole. The community preference survey was not intended to be a voting mechanism, but rather one of many tools utilized during the planning process to provide greater insight into community issues and general preferences between various segments of the community.

The survey included two parts. First, a series of images were ranked by survey participants based upon their appropriateness for the future of the Dunwoody Village. Images were divided into two subareas: Village Transition areas adjacent to surrounding single-family neighborhoods and the Village Core roughly bounded by Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway. An additional set of images included circulation and open space images. The second half of the survey included a series of multiple choice questions and short-answer questions regarding land use, transportation/circulation, sense of place, and implementation.

Visual images that ranked most highly for Village Transition areas included a variety of low-scale buildings including retail, townhomes, and institutions. Almost all highly ranked images were brick buildings with somewhat contemporary versions of traditional architectural styles.

Within the Village Core, the most highly ranked images were a mix of retail and mixed-use images.

Within the circulation and open space images, hardscape plazas bordered by grass and trees, sidewalks, and bicycle paths rated most highly.



Village Transition Areas

Village Core

Circulation and Open Space

Notable results from multiple choice and short-answer questions:

- 74% of survey respondents reported that the Dunwoody Village needs some or extensive improvement and redevelopment. 22% reported that the area needs landscaping/general improvements and 3% reported that the area looks fine as it is.
- The retail goods and services most desired in Dunwoody Village by survey respondents included casual restaurants, grocery, pharmacy, gifts and specialty shops, and book/ music shops.
- If residential units were added to the Village in the future, survey respondents reported that the most appropriate target markets are empty nesters/early retirees and young professionals.
- There is strong community desire for more open spaces, particularly small scale parks and plazas.
- The lack of sidewalks and uninviting pedestrian environment is viewed as a significant issue in the Village
- The highest implementation priorities from survey respondents were:
 - Create open space/parks
 - Make the area more walkable/bikable



Highly ranked survey images



LAND USE FRAMEWORK PLAN

The Land Use Framework Plan is intended to guide future redevelopment and community improvements within the Master Plan area over the next 10-20 years. The Dunwoody Village encompasses over 150 acres of property. Based upon current real estate market conditions and the significant amount of existing retail and office space within the Dunwoody Village, it is unlikely that large portions of the Village could experience redevelopment in the short-term (next 3-5 years).

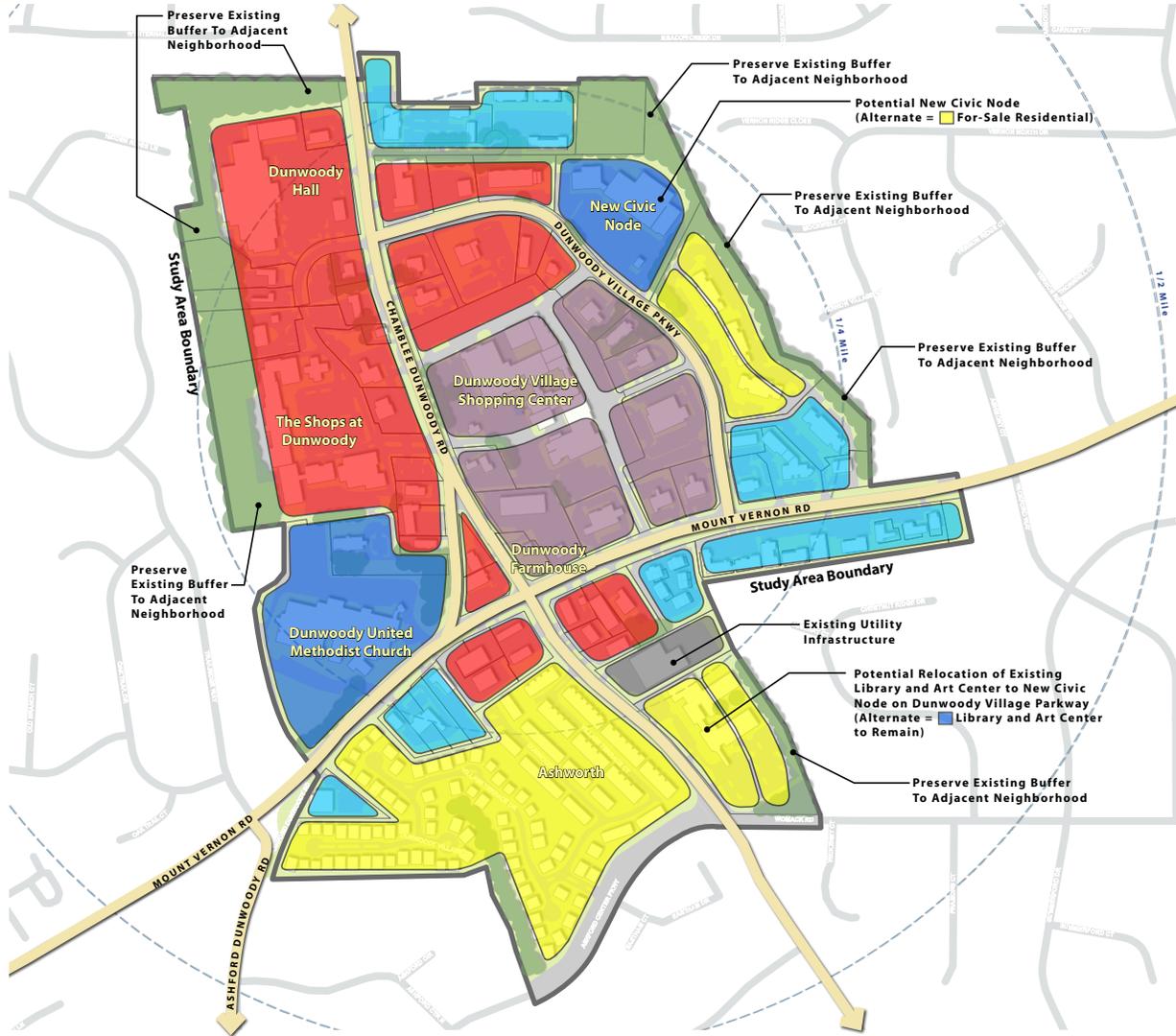
Additionally, a number of properties have multiple owners (office condominiums), are stable institutions or are higher performing retail properties and are unlikely to change in the short- to mid-term. These properties include the Ashworth neighborhood, Dunwoody United Methodist Church, The Shops at Dunwoody, Dunwoody Hall, and a series of office condos on the north side of the study area and along Mount Vernon Road. While some of these properties may need some upkeep and improvement, other areas within the Village exhibit lower levels of activity, rents, and occupancies. These areas are outlined in previous sections of this report related to Activity and Redevelopment Potential.

The land use framework plan seeks to create a 20-year vision for community improvement and redevelopment in areas that are most likely or most susceptible to change. Consistent with the community consensus points the Land Use Framework Plan seeks to:

- Create a more vibrant Village Center including a focal point community green space
- Encourage more compact development forms that promote walkability, but are appropriately sized and scaled to maintain and enhance the area's unique character and identity
- Maintain and enhance convenience retail centers that provide daily goods and services for nearby residents
- "Prune" lower performing retail and office sites over time to improve the area's market fundamentals and visual appeal of the Village
- Allow for modest residential development to enhance walkability and enliven the Village, but in doing so, encourage high-quality, owner-occupied units targeted at empty nesters and active adults

The following sections outline key strategies and recommendations for various districts within the Dunwoody Village Land Use Framework Plan.

Land Use Framework Plan



DUNWOODY VILLAGE DISTRICTS

- NEIGHBORHOOD & CONVENIENCE RETAIL:**
 - Primarily existing retail/commercial
 - Limited professional office
 - Limited opportunity for new development
 - Facade / tenant upgrades over time
 - Internal landscape / pedestrian / site improvements over time (private)
 - Generally 1-2 story development

- SMALL-SCALE OFFICE:**
 - Existing office space
 - Limited opportunity for new development
 - Facade / tenant upgrades over time
 - Internal landscape / pedestrian / site improvements over time (private)
 - Primarily 1-2 story development (third level of occupied space in some existing buildings)

- CIVIC / INSTITUTIONAL:**
 - Existing civic / institutional uses (Dunwoody United Methodist Church)
 - Opportunity for new Civic Node
 - New "town green / plaza" (0.5-1.0 acres)
 - Potential new Municipal Complex
 - Potential relocation of existing Library & Arts Center (from Chamblee Dunwoody Road)
 - Potential new civic uses
 - 1-3 story development
 - Potential supporting retail / office (small-scale 1-2 stories)
 - NOTE: See separate detailed site concept

- FOR-SALE RESIDENTIAL:**
 - Existing townhomes and small-lot single-family (Ashworth)
 - Opportunity for new development (Chamblee Dunwoody Road site & Dunwoody Village Parkway site)
 - 10 to 12 units per acre
 - 2 to 3 stories with private garages
 - Age-targeted (empty nesters)
 - Large units (greater than 2,000 sq. ft.)
 - For-sale product
 - Preserve existing buffers
 - High-quality design / materials

- VILLAGE CENTER MIXED-USE:**
 - Existing Village commercial
 - Preservation of Cheek-Spruill Farmhouse
 - Preservation of Fresh Market and Walgreens
 - Significant opportunity for redevelopment (multiple sites)
 - New "town green" (1.5-2.0 acres)
 - New internal street grid
 - "Walkable" storefront character
 - Potential new storefront retail / office
 - Potential for-sale loft housing over ground-floor commercial (40-80 units)
 - Age-targeted housing (empty nesters)
 - Large units (greater than 2,000 sq. ft.)
 - Generally for-sale product
 - Primarily 2-3 story development
 - High-quality design / materials (compatible with Village aesthetic)
 - NOTE: See separate detailed site concepts

- Study Area Boundary
- Major Streets
- Parcels
- Building Footprint
- Natural Tree Cover (approximate)

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Potential short-, mid-, and long-term Dunwoody Village build-out



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VILLAGE CENTER

The proposed Dunwoody Village Center incorporates a significant public open space surrounded by a mix of uses in keeping with Dunwoody Village's traditional architectural style. The Village Center is proposed for the southern portion of the superblock bounded by Chamblee Dunwoody Road, Mount Vernon Road, and Dunwoody Village Parkway. The area today is occupied by a collection of commercial properties including the Dunwoody Village Shopping Center and several outparcels (banks, US Post Office, real estate offices, and others), and the Farmhouse at the corner of Chamblee Dunwoody Road and Mount Vernon Road. The Farmhouse is intended to remain as an important community icon, but be re-integrated into the surrounding area through landscaping and pedestrian walkways.

The primary focus of the Village Center is to:

- Create a central community gathering space within the Village
- Encourage high-quality redevelopment of underutilized areas, primarily the east, "back" side of the Dunwoody Village Shopping Center and underutilized surface parking areas
- Foster greater connectivity and accessibility by creating an internal street grid within the superblock
- Create a more walkable, vibrant Village Center with area appropriate goods and services
- Provide an opportunity for a modest number of high-end residential units to foster greater livability, activity during evening and weekend hours, and security (more "eyes on the street")

The central green space should be surrounded by high-quality, multi-story redevelopment. While there are community concerns regarding the impact of multi-story buildings on the Village's traditional character, it is necessary to have the area surrounding the green space of sufficient height and uses to create a focal point of activity, enhance the area's walkability, and provide the proper proportion to visually frame the green space. While multi-story, these new buildings should be designed in keeping with the Village's traditional architectural style and should be largely red brick.

Based upon the local real estate market fundamentals, the most likely uses for buildings surrounding the central green space are retail and professional office on the ground floor with residential units above. A limited number of buildings surrounding the green space could be commercial with retail on the ground floor and office space above. However, some existing office facilities within the Village would need to be eliminated to provide a market for new office space to be leased.



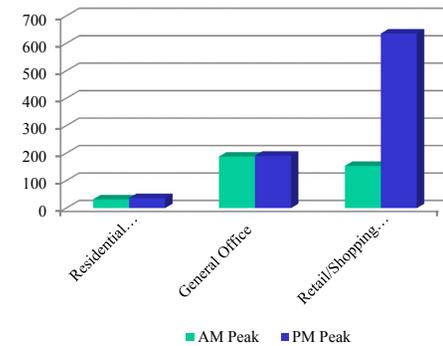
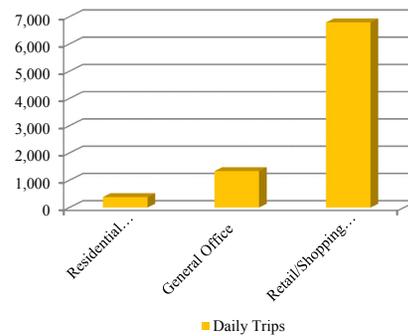


There is significant concern from some area residents regarding the integration of residential units into the Dunwoody Village. Future residential units within the Village are intended to reinforce and add to the traditional character of the Village and are not intended to be high density (over 12 units/acre) or apartment uses. The greatest opportunity to meet community needs and goals and promote “lifelong community” principles is to incorporate a variety of residential units within the Village (residential over retail (flats and stacked units), townhomes, and nearby single-family homes). Residential uses should focus on aging residents and empty nesters that are looking for lower-maintenance residences within a walkable environment and easy access to restaurants, local goods, and area services. Multi-story units should consider elevators to meet the needs to this market and reinforce “lifelong community” principles. Within the Dunwoody Village, residential products should focus on for-sale units, larger than 2,000 square feet, and constructed of high-quality building materials in keeping with the Village’s traditional architectural style.

Integrating residential units in the Dunwoody Village would help foster a multi-modal transportation network and minimize traffic generation within the district. Residential uses generate lower daily trips compared to office and retail uses and significantly lower trips during AM and PM peak periods. Residential uses in close proximity to commercial areas also allow residents and visitors to walk or utilize other modes of transportation limiting the number of necessary vehicular trips. For additional information regarding residential uses, please see “Residential” at the conclusion of this section.

Traffic Generation by Land Use

Land Use Category	Example Intensity		Daily Trips	AM Peak Hour	PM Peak Hour
Residential Condo/Townhouse	55	d.u. (assumed 1,800 s.f./d.u = 100,000 s.f.)	382	32	37
General Office	100,000	s.f.	1,334	188	191
Retail/Shopping Center	100,000	s.f. gross leasable area	6,791	154	636





To meet these and other area circulation and access needs, an internal street grid should be instituted within the superblock of Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway as opportunities allow. Ideally, two new east-west routes would be provided and one new north-south roadway. East-west roadways would link the traffic signal at Chamblee Dunwoody Road and The Shops at Dunwoody to Dunwoody Village Parkway, and the main entry of Dunwoody Plaza shopping center on Dunwoody Village Parkway to Chamblee Dunwoody Road between the existing Walgreen's Pharmacy and Starbucks. A new north-south roadway should begin at the main entry to the Dunwoody Village off of Mount Vernon Road (between existing Wells Fargo and BB&T banks) and end at the proposed northern east-west road and Dunwoody Village Parkway as it turns toward Chamblee Dunwoody Road. Each of these internal streets should include landscape buffers with trees and lights and pedestrian sidewalks. Bicycle lanes/paths should be incorporated into the roadways as well. These internal roadways should be constructed as a part of redevelopment efforts in coordination with local property owners.

Successful retailers are vital to the vision of a more vibrant Village Center. The current and projected Dunwoody Village environment supports unique, local retailers, and boutiques. Retail storefronts should be designed in a traditional manner along the back of sidewalks facility the central green space and internal roadways.



CIVIC / INSTITUTIONAL

Many traditional town centers include a civic facility and/or icon as an attraction and sociological focal point. Determining whether Dunwoody City Hall belongs in the Dunwoody Village is a larger, city-wide conversation that requires additional study. However, part of the goal of the Dunwoody Village Master Plan was to consider whether a civic presence was desired, necessary, and could be accommodated within the Dunwoody Village if it was determined to be appropriate in the future.

In terms of desire, community feedback included both pros and cons to locating City Hall within the Village. Many residents view the Village as the traditional focal point of the city and see a natural connection between a City Hall and the emotional center of the community. Others were less enthusiastic of repositioning commercial property for a public (non-taxable) facility.

From a community design perspective, a civic presence or public facility is helpful as a community focal point and generator of visitors and activity to the area. However, in the case of Dunwoody Village, that facility could be a City Hall, relocation of the Dunwoody Library into the Village Core, relocation of some of the City's arts facilities into the Village Core, another public facility being developed within the Village, or all of the above.

One possible scenario would be to cluster a future City Hall (with the administrative functions of the police department), Dunwoody Library, and Spruill Arts Center into a single municipal complex within the Dunwoody Village. This opportunity would consolidate several city facilities into a single location with potential greater efficiency. One of the only single properties large enough to accommodate a municipal center of this scale is the Dunwoody Plaza Shopping Center. The concept on the following page illustrates the site's potential to anchor the northeast end of the Village with a range of daytime, nighttime, and evening activities based upon the mix of facilities. The concept would also provide a secondary community green space at ½ to 1 acres in size and maintain and/or enhance the buffer between the parcel and adjacent neighborhood. This concept may include some supporting retail, but would reduce the total amount of retail uses on the perimeter of the Village in favor of enhancing the quality and potential quantity of retail in the Village Center.

A second option for a civic presence within the Dunwoody Village would be adjacent to the Village Green proposed within the Village Center. If there is not a desire to create a larger municipal complex, one side of the community gathering space could be utilized as a site for a civic anchor, similar to concept on page 35.



ILLUSTRATIVE CONCEPTS
NOT AN ACTUAL DEVELOPMENT
PROPOSAL



Dunwoody Village Master Plan

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NEIGHBORHOOD/CONVENIENCE RETAIL

Neighborhood retail centers that meet the daily needs of nearby residents and workers are one of the mainstays of the Dunwoody Village. Under this plan there should be incentives for façade, landscape, and streetscape enhancements to improve the appearance and accessibility of commercial properties primarily along the west side of Chamblee Dunwoody Road and the north end of Dunwoody Village Parkway. However, these shopping areas including Dunwoody Hall, the Shops at Dunwoody, and smaller parcels at the intersection of Chamblee Dunwoody Road and Mount Vernon Road will likely remain retail uses with some limited, storefront offices. Neighborhood/convenience retail areas should maintain consistency with the Dunwoody Village's traditional architectural character.

To enhance neighborhood retail areas the City of Dunwoody should consider:

- A façade and landscape improvement program
- Updating Chamblee Dunwoody Road, Mount Vernon Road, and Dunwoody Village Parkway streetscape requirements to be consistent with those planned in the Circulation and Open Space Framework Plan
- Reviewing the City's site design standards to encourage any redevelopment to address the street by placing buildings at the back of sidewalk and placing parking behind or to the side, screened from public right-of-way
- Enhancing the pedestrian environment by requiring pedestrian sidewalks/paths from major roadways to developments and enhancing parking lot landscaping where appropriate
- Encouraging (or requiring) inter-parcel connectivity and limit curb cuts to major roadways (Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway) as part of significant development or redevelopment efforts
- Reviewing the City's sign ordinance to ensure that it promotes the installation of low, traditionally styled, high-quality signage and does not serve as a disincentive that results in older, deteriorating signage remaining in place

SMALL-SCALE OFFICE

One of the unique features of the Dunwoody Village is a collection of smaller-scale, Williamsburg-esq office condos. These small scale office facilities are located along the southern edge of Mount Vernon Road between Ashford Dunwoody Road and Wickford Way, at the intersection of Mount Vernon Road and Dunwoody Village Parkway, and along Center Drive at the northernmost end of the Village. As office condos with multiple owners that reinforce the traditional character of the Village, these facilities are unlikely to change over the short- and mid-term. Similar to neighborhood/convenience retail areas, façade and landscape improvements should be undertaken as opportunities arise in keeping with the Village's traditional architectural character.

Maintaining small scale office opportunities is important to maintaining the unique, local character of the Dunwoody Village. However, pruning lower performing office buildings over time will help the Village Center be a more viable location for local businesses. As opportunities arise, low visibility, lower performing, stand-alone office (marked by lower rental rates and higher vacancies) should be removed from inventory over modest reinvestments that will only prolong consolidation and redevelopment.

RESIDENTIAL

As outlined in the Village Center description on previous pages, integration of a modest number of for-sale residential units into the Dunwoody Village can:

- Provide an opportunity for aging residents to remain in Dunwoody, reinforcing lifelong community principles
- Enhance walkability and open space opportunities and the pedestrian environment
- Enhance the market for desired restaurants and boutiques
- Reduce and/or minimize traffic generation

Residential uses in the Dunwoody Village should seek to provide a variety of housing types (flats, stacked, lofts, etc.) to limit opportunities to overbuild, reinforce the area's unique character and broaden the area's appeal. Opportunities include flats over retail/office within the Village Center, stacked units (2-story with garage) over retail/office in the Village Center, and single-family attached townhomes on the periphery of the Village.

There are significant concerns by some in the community regarding the character, quality, and potential impact of residential uses in the Village. The community's vision for Dunwoody Village is a small-scale "town center" in a walkable format with a variety of uses that will enhance the character, livability, viability, and economic value of the area. To meet that vision residential uses considered for the Dunwoody Village should be:

- For-sale units with limits on the number of potential leased units
- 10-12 units/acre
- 2-3 stories, 2 stories at neighborhood edges
- Age-targeted, designed and marketed toward empty-nesters and early retirees who seek a lower-maintenance, more-active lifestyle in close proximity to goods and services
- High-quality materials and design in keeping with Dunwoody Village's traditional architectural character

Geographic factors, market limitations, and community aspirations suggest that the appropriate number of residential units within the Village Center and adjacent areas would be no more than 120-160 units over the next 10 years.



Circulation and Open Space Framework Plan



DUNWOODY VILLAGE CIRCULATION & OPEN SPACE INITIATIVES

-  **OPEN SPACES:**
 - "Town Green" - 1.5 to 2.0 acres (NOTE: location and layout TBD)
 - "Civic Green" - 0.5 to 1.0 acres
 - Farmhouse Green
 - Chamblee Dunwoody Road & Womack Pocket Park (if property is renovated/redeveloped)
 - The Shops at Dunwoody Plaza (private)

-  **PEDESTRIAN PATHS / TRAILS:**
 - 12-15 feet wide
 - Multi-use for pedestrians and recreational bikers (not bicycle commuters)
 - Some in public right of way, some on private property (with easements)
 - Potential trailheads connecting to adjacent neighborhoods (secured access to be further explored) (NOTE: Will require detailed discussions with affected neighborhoods and existing property owners to determine feasibility and exact locations)

-  **STREETScape IMPROVEMENTS:**
 - Sidewalks, decorative lighting, street trees, mast arms, access management, landscaping, and on-street bike routes (dedicated lane on Dunwoody Village Parkway)
 - Chamblee Dunwoody Road
 - Mount Vernon Road
 - Dunwoody Village Parkway
 - Ashford Center Parkway

-  **INTERSECTION IMPROVEMENTS:**
 - Decorative Pedestrian Crossings
 - Pedestrian Signalization if warranted
 - Operational Improvements (Chamblee Dunwoody Road signalization changes associated with change to Nandina Lane)

-  **NEW VILLAGE CENTER STREET GRID:**
 - New roads to break up super block (associated with new development) (NOTE: location and layout TBD)
 - Roads may be public or private (TBD)
 - Pedestrian oriented streets
 - Operational Improvements

-  **ACCESS MANAGEMENT IMPROVEMENTS:**
 - Operational & access improvements to Chamblee Dunwoody Road north of Mount Vernon Road
 - Potential signal timing, reduced / consolidated curb-cuts, interparcel connectivity enhancements, etc. (requires additional detailed study)

-  **NANDINA LANE RECONFIGURATION:**
 - Conversion of Nandina to one-way (southbound)
 - Requires adjustments to operation of Chamblee Dunwoody Road & Mount Vernon Road intersection (requires additional detailed study)
 - Consider long-term removal

Dunwoody Village Master Plan

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-128- **OPEN SPACE**

As detailed in the Village Center description in the last section, the centerpiece of the proposed, walkable Village Center is a Village Green Space. The primary goal is to create an appropriately scaled community gathering space as a focal point of the Village Center. The Planning Team’s recommended 1.5 to 2 acre open space would accommodate community gatherings of up to 10,000 or more if adjacent streets are designed in a manner that they can be closed for larger events.

The Village Green should be visible from and/or linked to each of the Village’s major streets (Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway) through sidewalks, multi-use trails, and significant landscaping. The Green should also be linked to the Farmhouse via a pedestrian path and enhanced landscaping.

The most significant design challenge for the space is to create an open space that is large enough to accommodate community gatherings without feeling oversized and empty when not in use. To best meet this challenge, the green space must be designed in conjunction with surrounding redevelopment and utilize a variety of materials to create sub-areas. The space should include a combination of hardscape plazas and open green spaces to provide variety and flexibility to comfortably accommodate a variety of groups (from small gatherings to large events). The space is intended to be passive in nature and not a location for active recreation (playgrounds, athletics, etc.).

Other open space opportunities within the Dunwoody Village include maintaining and enhancing green spaces and mature trees that surround the Farmhouse, a more formal “civic green space” of ½ to 1 acre that should accompany the development or relocation of any civic facility into the Dunwoody Village, and encouraging enhanced community green space as a part of major, private redevelopment/improvement projects.

Any public or private redevelopment or major improvement property improvement project should be accompanied with landscape and green space improvements. The Planning Team recommends that the district’s zoning classification be reviewed to encourage the creation and enhancement of smaller green spaces, provide street trees along major roadways and entries, and provide landscape islands and trees within surface parking areas. Generally these smaller open spaces should be used to create focal points within redevelopment projects and be bordered on at least one side by a public roadway where reasonable to enhance visibility and safety. If the City were to reposition the current Library/Arts Center site at Chamblee Dunwoody Road and Womack/Ashford Center Parkway, a landscaped area or pocket park should be considered on the northeast corner of the intersection as a gateway into the Dunwoody Village.

NEW ROADWAYS

Integral to enhancing the character of and enhancing walkability in the Dunwoody Village is breaking up the superblock bounded by Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway. The Dunwoody Village Master Plan calls for two new east-west connections between Chamblee Dunwoody Road and Dunwoody Village Parkway and one north-south connection through the block. These internal roadways should be local, low-speed streets with shared bicycle lanes on-street, on-street parking, landscape buffers (4-6 feet recommended), street trees, lighting and wide pedestrian sidewalks (8-12 feet in width recommended).

The internal street grid is proposed to enhance access, visibility, and walkability providing multiple options for cars, bicycles, and pedestrians alike. These roadways would also alleviate some pressure on the Mount Vernon Road/Chamblee Dunwoody Road intersection and Chamblee Dunwoody Road between Mount Vernon Road and Dunwoody Village Parkway as they would provide options for low circulation. Internal streets will reduce the opportunity to have the “back side” of buildings exposed to public right-of-way and reduce expanses of surface parking lots.





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TRAFFIC ENHANCEMENTS

Congestion at the Mount Vernon Road and Chamblee Dunwoody Road intersection, in combination with Nandina Lane, inhibits travel to and through the Village on a daily basis. Particularly during afternoon peak hours, delay at the intersection can back traffic for expansive distances in all directions. Roadway expansions to improve capacity are not supported by the community and would not reinforce the character of the Dunwoody Village. Adjustments are necessary however, to better manage the intersection and enhance safety.

While some inventive concepts have been proposed for the intersection (two-lane roundabouts, bypasses, etc.), the Planning Team recommends a series of more modest improvements including modifications to Nandina Lane and enhanced traffic signal timing of this and all nearby traffic signals.

Left-turn movements onto and out of Nandina Lane create operational and safety conflicts due to their close proximity to the major intersection of Chamblee Dunwoody Road and Mount Vernon Road. This project would involve operationally changing

the intersections at both ends of Nandina Lane to become right-in-right-out only. This may result in needing turn lane reconfigurations at the primary intersection (to be determined by a future traffic study); however, the net result will yield better efficiency and safety within the proximity of this area. This project will also include replacing the existing span wire signals with decorative mast arms and utilizing countdown pedestrian signals and well-marked crosswalks. Over the long-term, Nandina Lane should be further studied as a one-way southbound street or eliminated.

One of the largest challenges for the Dunwoody Village is the high volume of traffic passing through the area along the major corridors of Mount Vernon Road and Chamblee Dunwoody Road. Much of this traffic is regional in nature resulting from traffic patterns that extend well beyond the district. It is unlikely that this traffic can be rerouted, so improving operational efficiency along the major corridors is paramount. Operational improvements can be made by evaluating signal timings and linking signals together to coordinate timings and achieve positive progression. This effort would involve a more detailed traffic study that evaluates the network of signals in and around the Dunwoody Village.

As part of any improvement project, access management along Chamblee Dunwoody Road and all major roadways in the Dunwoody Village area should be considered. Part of the traffic congestion problem in the area is the number of curb cuts and potential conflict points along major roadways. Any future redevelopment and/or streetscape project should consider reducing the number of curb cuts and directing as many turning movements as possible into a limited number of intersections and access points.



STREETSCAPE IMPROVEMENTS

To enhance walkability within Dunwoody Village pedestrian facilities (sidewalks, ramps, crossings) and the pedestrian environment (storefronts, lighting, benches, trash receptacles, etc.) must both be improved. Four significant streetscape (sidewalk, landscape, and lighting) projects are recommended for the Dunwoody Village.



Enhancements to Dunwoody Village Parkway are under design as part of a Transportation Enhancement Grant awarded to the City. Elements of the plan include:

- Reduction in the number of travel lanes from 2 in each direction to 1 northbound and 1 southbound lane
- On-street bicycle lanes
- Landscape buffers 6-feet in width between travel lanes and sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- 6-foot wide sidewalks in the short-term with potential to widen to 12-feet as part of future improvements and/or redevelopment
- Flexibility to add on-street parking on the west side of Dunwoody Village Parkway as part of future park development and/or private redevelopment

With future enhancements, efforts should be made to reduce the number of curb cuts along the roadway to limit potential conflict points between motorized vehicles, bicycles, and pedestrians.

Streetscape improvements should be undertaken for Chamblee Dunwoody Road in two phases. The first phase would improve the roadway from Mount Vernon Road to Roberts Drive (approximately 2,700 linear feet). Elements should include:

- Landscape buffers no less than 4 feet in width and preferably 6 feet in width between the roadway and pedestrian sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- Wider sidewalks no less than 8 feet in width, preferably 10-12 feet wide
- Off-street bicycle facility on one side of the street (5-foot dedicated path or as part of a 12-foot multi-use path)
- Intersection enhancements including new mast arm traffic signals, pedestrian signals, high visibility crosswalks, and ADA Ramp improvements where necessary
- Removal of overhead utility lines and replace with underground utility lines
- Access management considerations to reduce and limit curb cuts and potential conflict areas along the corridor



The second phase of streetscape improvements along Chamblee Dunwoody Road (approximately 1,300 linear feet) should include the area from Mount Vernon Road south to Ashford Center Parkway.

- Landscape buffers no less than 4 feet in width between the roadway and pedestrian sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- Wider sidewalks no less than 8 feet in width,
- Off-street bicycle facility on one side of the street as part of a 12-foot multi-use path
- Intersection enhancements including new mast arm traffic signals, pedestrian signals, high visibility crosswalks, and ADA Ramp improvements where necessary
- Removal of overhead utility lines and replace with underground utility lines

Multi-modal improvements along Mount Vernon Road from Ashford Dunwoody Road to Wickford Way (approximately 3,500 linear feet) should include:

- Landscape buffers no less than 4 feet in width and preferably 6 feet in width between the roadway and pedestrian sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- Wider sidewalks no less than 8 feet in width, preferably 10-12 feet wide adjacent to the proposed Village Center
- Off-street bicycle facility on one side of the street (5-foot dedicated path or as part of a 12-foot multi-use path on the north side of Mount Vernon Road)
- Intersection enhancements including new mast arm traffic signals, pedestrian signals, high visibility crosswalks, and ADA Ramp improvements where necessary
- Removal of overhead utility lines and replace with underground utility lines
- Access management considerations to reduce and limit curb cuts and potential conflict areas along the corridor

Finally, pedestrian and bicycle enhancements on Ashford Center Parkway and/or Womack Road should consider:

- On-street bicycle lanes or shared lanes
- Landscape buffers no less than 4 feet in width between the roadway and pedestrian sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- Wider sidewalks along both sides of major roadways no less than 6 feet in width
- Intersection enhancements including new mast arm traffic signals, pedestrian signals, high visibility crosswalks, and ADA Ramp improvements where necessary
- Extension of the Ashford Center Parkway median when and where feasible

BICYCLE ROUTES

A combination of on-street and off-street bicycle routes will be necessary to enhance the ability of bicycles to traverse the area more easily. On-street bicycle routes should be included on Dunwoody Village Parkway and as part of new internal street grid through the Village Center. On-street bicycle lanes should be 5 feet in width to meet AASHTO standards.

Off-street bicycle lanes should be considered as part of multi-use trails on one side of Mount Vernon Road and Chamblee Dunwoody Road due to high traffic volumes, the number of conflicts, and other safety concerns. Multi-use paths are typically 12-15 feet in width on one side of a street and accommodate pedestrians (runners/joggers), recreational bicyclists, and sometimes electric carts and/or other devices. Alternatively, dedicated off-street bicycle lanes between landscape buffers and pedestrian sidewalks should be 8 feet or greater in width.

These bicycle routes should be tied into a Citywide network of bicycle facilities in coordination with the City's Comprehensive Transportation Plan.

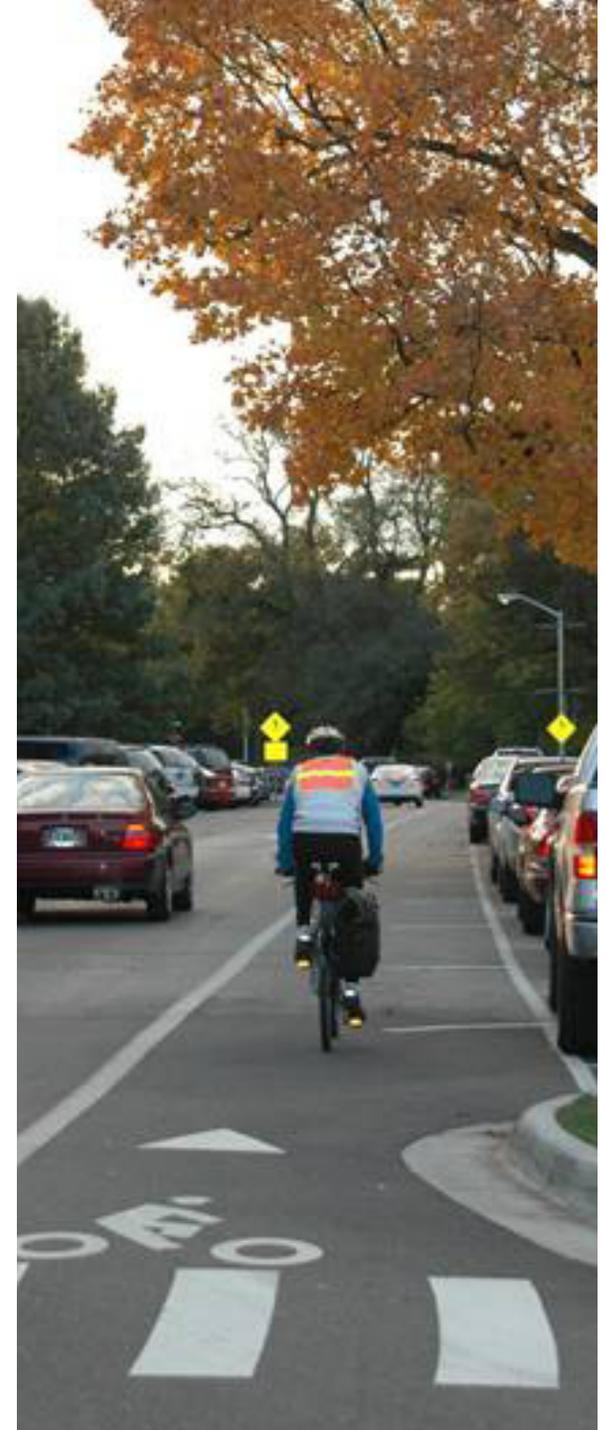


MULTI-USE PATHS/TRAILS

To further enhance connectivity to and from the Dunwoody Village, multi-use paths and trails should be considered, if desired by adjacent neighborhoods, to connect surrounding single-family neighborhoods to the Village. These paths would be 12-15 feet wide to accommodate pedestrians, bicycles, and potentially electric-carts (golf carts) or other devices. Trails would require cooperation within the neighborhoods to determine a proper location and property easements for the City to assist with construction of the path. The City of Dunwoody should consider a policy regarding these paths if individual neighborhoods desire their implementation.

Based upon public involvement in the Dunwoody Village Master Plan, potential priority locations for off-street multi-use trails include:

- A dedicated east-west path through the Village Center in conjunction with the realization of one of the recommended east-west roadways
- Potential links to adjacent neighborhoods (if the neighborhoods desire them and assist in defining the appropriate path):
 - The Branches,
 - Wynterhall,
 - Wyntercreek, and
 - Vernon North.



CHAPTER 27 – ZONING ORDINANCE

ARTICLE II. – ZONING DISTRICTS

DIVISION 4. - OVERLAY ZONING DISTRICTS

Sec. 27-96. - General.

- (a) *Establishment.* Overlay zoning district regulations and overlay zoning district boundaries may be established or amended only in accordance with the amendment procedures of article V, division 2.
- (b) *Interpretation.* Overlay zoning district regulations apply in combination with underlying (base) zoning district regulations and all other applicable regulations of this zoning ordinance. When overlay district standards conflict with standards that would otherwise apply under this zoning ordinance, the regulations of the overlay zoning district govern. Otherwise, all applicable regulations of this zoning ordinance apply in overlay districts.

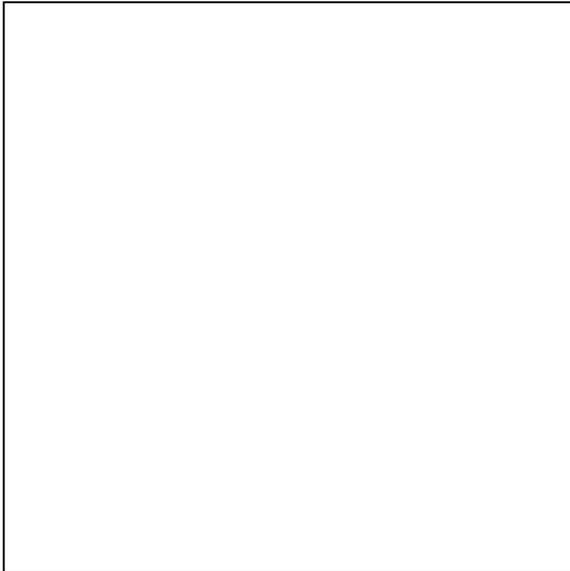
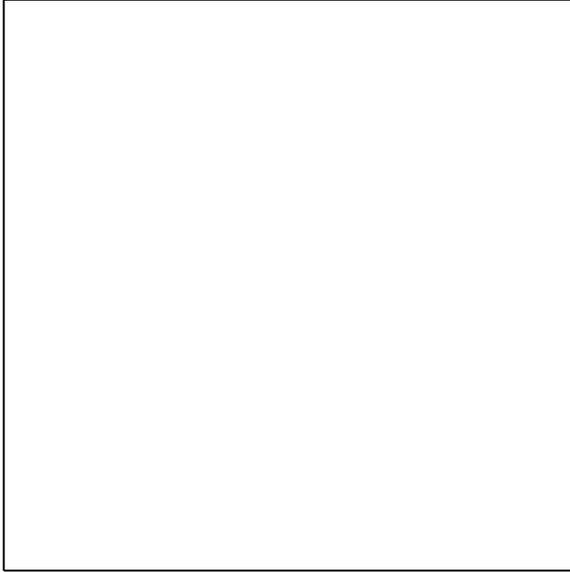
(Ord. No. 2013-10-15, § 1(Exh. A § 27-7.10), 10-14-2013)

Sec. 27-97. - DVO, Dunwoody Village Overlay.

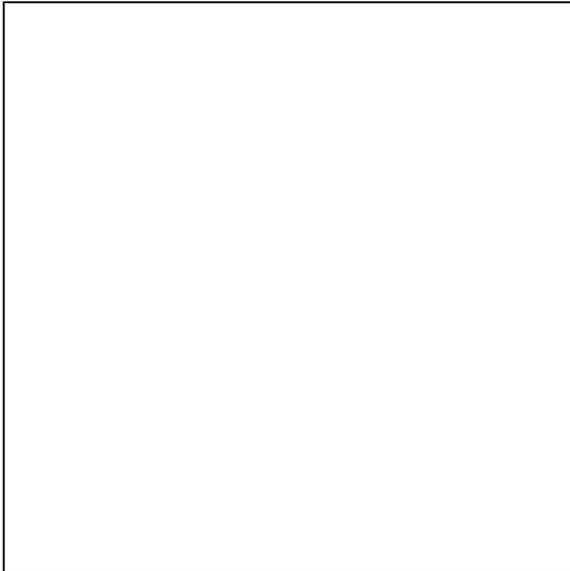
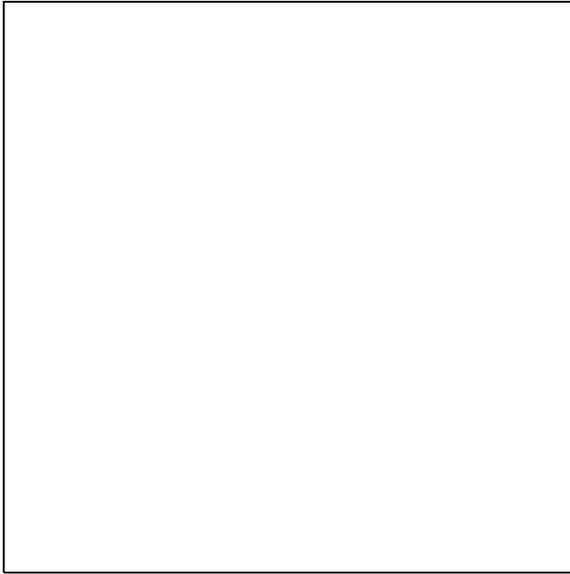
- (a) *Purpose and intent.* The Dunwoody Village Overlay district is primarily intended to implement the policies and objectives of the comprehensive plan and the Dunwoody Village master plan. It is further intended to help:
 - (1) Maintain and enhance the identity and image of the Dunwoody Village area;
 - (2) Accommodate and promote walkable, development patterns containing a complementary mix of land uses;
 - (3) Create new opportunities for public open spaces and gathering spaces in the commercial core of Dunwoody;
 - (4) Ensure that new development and substantial additions to existing buildings are compatible with the pre-1900 Mid Atlantic American Colonial Architecture that is characteristic of the district;
 - (5) Support efforts to create a vibrant shopping and entertainment area in which merchants and businesses thrive and grow, thereby helping to maintain property values and keeping vacancy rates low; and
 - (6) Maintain and enhance the area's role as a place for civic activities and public gatherings within well-designed open spaces.
- (b) *Redevelopment.* The city council anticipates that in the future a developer may desire to redevelop all or portions of the Dunwoody Village area, and that the type of redevelopment proposed may be difficult or impossible to carry out under the existing zoning. To accommodate and encourage large-scale redevelopment in accordance with the approved Dunwoody Village Master Plan, the city council may consider rezoning or planned development (PD) development proposals.
- (c) *Thresholds for compliance.*
 - (1) *Full compliance.* Except as otherwise expressly stated by the specific provisions of this section (section 27-97), permits for the following building and construction activities may be issued only if the entire building is determined to comply with the applicable regulations:
 - a. Construction of a new building;
 - b. Construction of building additions that result in a ten-percent or greater increase in the floor area or building coverage of the existing building;
 - c. Exterior construction or remodeling with a total value of 15 percent or more of the county tax assessor's 100 percent assessed value of the existing improvements only; and
 - d. Interior construction or remodeling with a total value of 25 percent or more of the county tax assessor's 100 percent assessed value of the existing improvements only.

- (2) *Partial compliance.* Permits for exterior remodeling or building activities that do not trigger full compliance may be issued only if the portion of the building affected by the work is determined to be in compliance with all applicable overlay district regulations.
- (d) *Design review.* No land-disturbance permit, building permit or sign permit may be issued for buildings or construction activities that are subject to one or more of the overlay district regulations of this section until the design review process of article V, division 4, has been completed.
- (e) *Architecture and design.*
 - (1) *Exterior materials.*
 - a. Exterior cladding material must consist of stone, earth tone brick (the preferred material) or white/cream painted horizontal lap siding. Lap siding must be wood, fiber cement lap siding or other substitute approved by the design review advisory committee because of its wood-like appearance and durability. If lap siding is used, the base of the structure must have brick or stone cladding from the grade to the first floor elevation. Vertical siding, stucco, external insulating finishing system (EIFS), metal siding, metal trim, vinyl siding, vinyl trim, marble siding, marble trim, exposed concrete and block are prohibited.
 - b. Exterior siding material must be consistent and uniform on all exterior elevations. Siding material must be predominantly brick, stone or lap siding. Buildings and building additions with masonry on only street-facing facades are prohibited. Buildings and building additions with first floor masonry and second floor lap siding are prohibited.
 - c. All exposed bricks must be approximately eight inches wide by three inches deep by 2.67 inches high and must be laid in a running bond. Engineer-size bricks and Flemish bond are also allowed. All joints must be tooled with grapevine joint, and mortar must be buff or ochre in color. Stone veneers must have ochre tooled mortar joints.



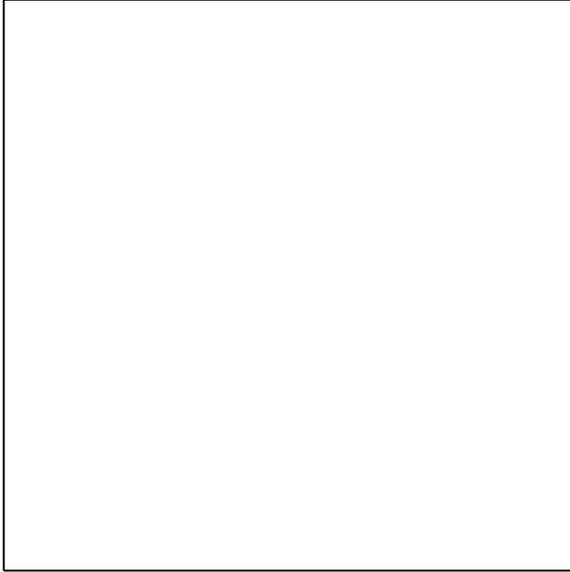


- d. When lap siding is used, the maximum allowable exposure on lap siding is eight inches.
- e. Applied trim materials, cornice and window casings must consist of painted wood or painted fiber cement or other substitute material approved by the design review advisory committee because of its wood-like appearance, durability and ability to hold paint. Metal, vinyl, stucco, block stone and concrete are prohibited, except that wrought-iron handrails are permitted. Nonmasonry trim colors are limited to colors available in the Martin Senour Williamsburg Paint Collection or similar approved alternatives.

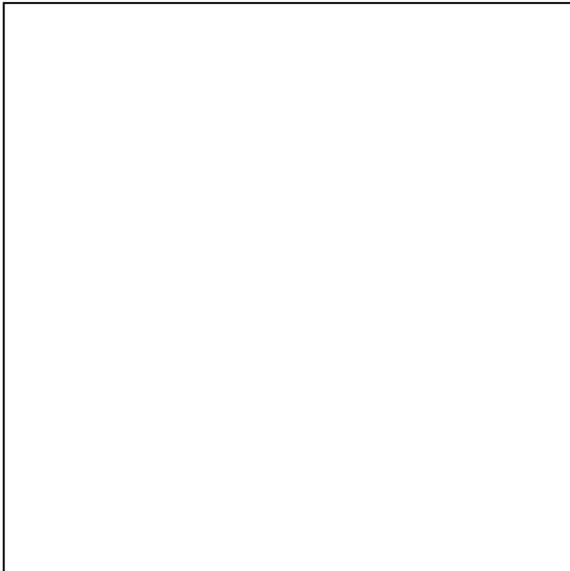


- f. Exposed portions of the foundation must be covered in masonry veneer. Exposed block, stucco and concrete are prohibited.
- (2) *Roofs.* The following requirements apply to roofs visible from public rights-of-way, outdoor activity areas (e.g., seating areas) or other areas of the site intended for public access:
 - a. Gabled roofs, hipped roofs, or combinations of such roof forms are permitted. Flat roofs and shed roofs are prohibited.

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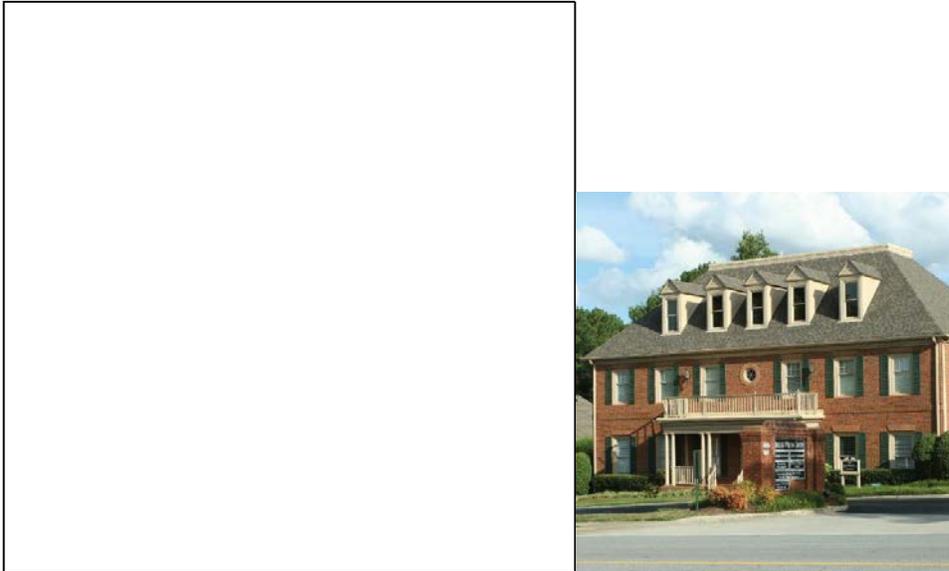


- b. Exterior roofing material is limited to asphalt (fiberglass) shingles, slate or cedar shake. Roofs must be black, a dark shade of gray or weathered wood color. All asphalt (fiberglass) shingles must be dimensional. Standing seam copper or bronze color metal roofs are permitted only as accents on porches or dormers.
- c. Roof overhangs must be at least eight inches but not greater than 12 inches. Gabled ends may have either an overhang or a flush rake.

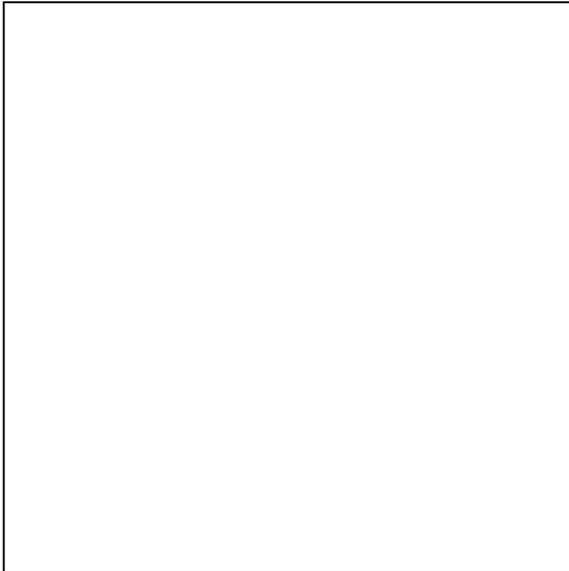
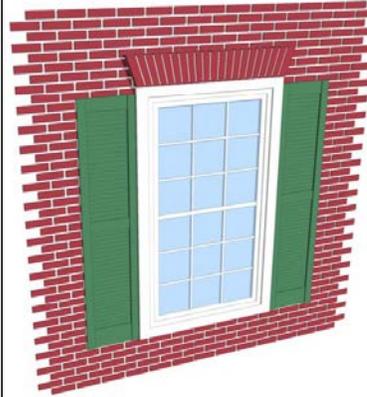
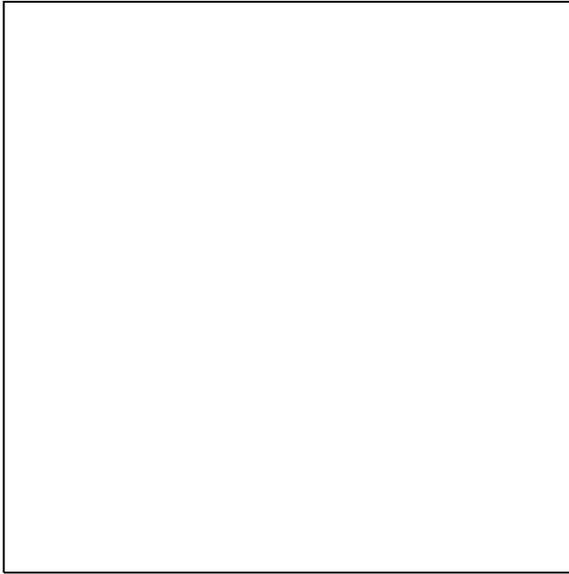




- d. Eave lines must be consistent, largely unbroken and horizontal. All eaves must be architecturally detailed with one or more of the following elements: dental molding, crown molding, built-up fascia, or frieze board. The total width of fascias/cornices and rake trim must be at least 9.25 inches.
 - e. Roofs must contain at least one roof projection for every 75 lineal feet of building frontage. Roof projections may include cupolas, dormers, balustrade walks, chimneys or gables.
- (3) *Building massing.*
- a. Buildings that are longer than 75 feet must be designed so as to appear as multiple structures through the use of varied roof forms, building projections or architectural details.
 - b. Buildings that are longer than 100 feet must provide a pedestrian arcade or covered porch with minimum dimensions of eight feet in any direction. Exterior metal columns are prohibited. Exterior columns must include a base and a capital, and must generally align with story heights. Two-story exterior columns are prohibited. All exterior columns must be traditional in style.
 - c. The apparent exterior floor-to-floor height of each story of a building may not exceed 12 feet. Individual floors must be delineated on the building facade through the use of window placement and horizontal details.



- d. Buildings must have at least one building projection on the front facade below the eave line. Building projections may consist of stoops, bay windows, covered porches, extruded entrances, pedestrian arcades or other approved features.
 - e. Primary building walls must be rectilinear and simplified in form. Curved walls or non-90-degree corners are prohibited, except that bay projections may be allowed.
- (4) *Fenestration*. The following requirements apply only to areas visible from public rights-of-way, outdoor activity areas (e.g., seating areas) or other areas of the site intended for public access:
- a. Doors must be compatible with pre-1900 Mid Atlantic American Colonial Architecture style. All-glass doors and flush doors are prohibited. Solid doors must be six-panel and may have sidelights or a transom sashes. Windowed doors must contain a solid border, a minimum of six-inch-wide panels, and must include mullions or divided lights not exceeding 12 inches in any direction. Mullions must be 0.75 inches in size. French, three-quarter glass or nine-light doors are allowed if they comply with the requirements of this paragraph.
 - b. Individual doors must be of a single color and are limited to colors available in the Martin Senour Williamsburg Paint Collection or similar approved alternatives. Dark stained doors are allowed if the shade is equal to or darker than Minwax special walnut.
 - c. Primary doors may not exceed 42 inches in width and 96 inches in height. Larger doors are prohibited.
 - d. Windows must be vertically proportioned standard sizes, with a minimum width of 28 inches and minimum height of 66 inches. Transom windows are not subject to vertical proportion requirements and do not count in the overall window proportion. Vertical windows may be grouped to create storefront windows but are limited to 15-foot sections with a minimum of four-inch mulls. Group windows must be separated by at least five feet of unbroken wall space. Slit windows, strip windows, and ribbon windows are prohibited.



Window Trim and Mullions



- e. Blank facades are prohibited. Windowless sections of the front facade may not exceed 20 feet in width. Windows and doors must be provided on at least ten percent of the front facade but may not constitute no more than 50 percent of the total area of the front facade. For this purpose, windows must be measured at the sash and only the swinging part of the doors may be counted. Casing is not included in the measurement. Windows must generally be spaced in an even rhythm.
- f. All windows must be rectilinear double hung, provided that arch top and fixed sash windows are allowed. Triangular or otherwise angular windows are prohibited. Round windows are permitted as accent windows in locations such as gables. Louvered gable vents are allowed, but they must be rectilinear and surrounded by one-by-four and backband.
- g. All windows must have the appearance of mullions or divided lights. Mullions must be at least 0.75 inches in width. Panes must be vertical rectilinear, generally square in proportion. Diagonal panes are not permitted except in arch windows.

- h. Shutters must be constructed of wood or a substitute material approved by the design review advisory committee because of its wood-like appearance and durability. Shutters must be sized to fit the window and include horizontal slats or raised panels. Metal and vinyl shutters are prohibited. Shutter colors are limited to colors available in the Martin Senour Williamsburg Paint Collection or similar approved alternatives. Shutters must appear operable, with hinges and tie backs.
 - i. All windows must have sill and header trim details. Cut brick jack arches must be installed on all windows visible from the street or parking lot.
 - j. The bottom of windows must be at least 20 inches above grade.
- (f) *Signs.* All signs within the Dunwoody Village Overlay district are subject to the requirements of the city's sign ordinance and the following additional regulations:
- (1) Signs must be designed and constructed to be compatible with the architectural style that is characteristic of the Dunwoody Village Overlay district area.
 - (2) Ground signs must be monument-style signs with a brick base.
 - (3) For lots containing nine or fewer storefronts, ground signs may not exceed eight feet in height and eight feet in width.
 - (4) For lots containing ten or more storefronts, ground signs may not exceed 12 feet in height and eight feet in width.
 - (5) Window signs may not exceed two square feet in area.
 - (6) Banners are prohibited except for pole banners as permitted in chapter 26 of the Municipal Code.
 - (7) Signs must have a matte finish and be constructed of wood or other substitute material approved by the design review advisory committee because of its wood-like appearance and durability.
 - (8) Sign colors, except for logos, are limited to colors available in the Martin Senour Williamsburg Paint Collection or similar approved alternatives.
 - (9) All illuminated signs must be indirectly illuminated or halo lighted.
 - (10) Neon, gas, colored, flashing, animated, marquee, sound emitting, fluorescent, rotating or otherwise moving signs are prohibited. This prohibition notwithstanding, a single LED or neon sign up to two square feet in area is allowed, provided that the sign does not employ any flashing, animation, movement or sound and provided that the sign may be illuminated only during hours in which the establishment is open for business.
 - (11) Sign shape and lettering is limited as follows:
 - a. Sign facing must be flat in profile and may not exceed eight inches in thickness.
 - b. Signs with more than two faces are prohibited.
 - c. Sign lettering and logo content may not exceed 18 inches in height.
 - (12) Standard informational signs:
 - a. May not be more than three feet above grade;
 - b. May not exceed six square feet in area;
 - c. May not have more than two sign faces;
 - d. May not be made from flexible materials, such as vinyl, cloth or paper;
 - e. Must be free-standing and not attached to permanent or temporary structures;
 - f. Must comply with the color standards of the district; and

g. Must be maintained in good repair.

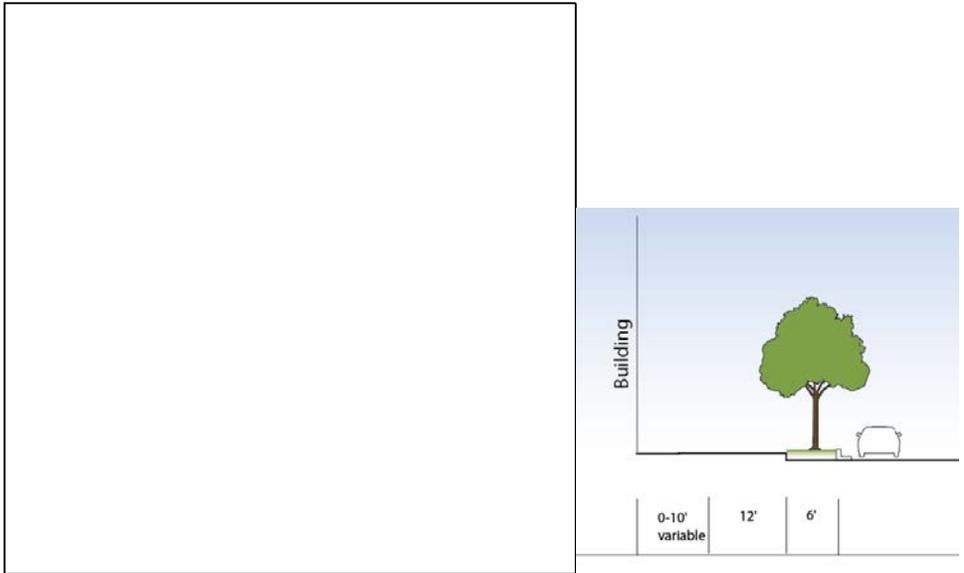
(g) *Parking and circulation.* The parking and circulation regulations of article IV, division 4, apply within the Dunwoody Village Overlay district except as modified by the following regulations:

- (1) New nonresidential buildings and nonresidential uses and additions to existing nonresidential buildings and nonresidential uses may not provide more than three parking spaces per 1,000 square feet of floor area. This provision does not require that existing "excess" parking spaces be removed.
- (2) Parking areas must be separated from the main road by a minimum distance of 30 feet and include at least the landscaping required by section 27-229. Wherever possible, parking must be confined to the rear of structures or be placed underground.

(h) *Landscaping.* The landscaping and screening regulations of article IV, division 2, apply within the Dunwoody Village Overlay district. See also subsection (i).

(i) *Streetscape and pedestrian amenities.*

- (1) A minimum six-foot wide landscape area must be established abutting the back of the curb along abutting streets. This landscape area must adjoin a minimum 12-foot wide sidewalk. Buildings must abut the sidewalk or be located within ten feet of the sidewalk. If buildings are set back from the edge of the required 12-foot sidewalk, the setback area must include features such as outdoor dining and seating areas, plazas and landscaped open spaces that provide a safe, comfortable and active environment for pedestrians.



(2) Street trees, spaced no more than 50 feet on center, must be provided in the required landscape area between the travel lanes and the sidewalk.

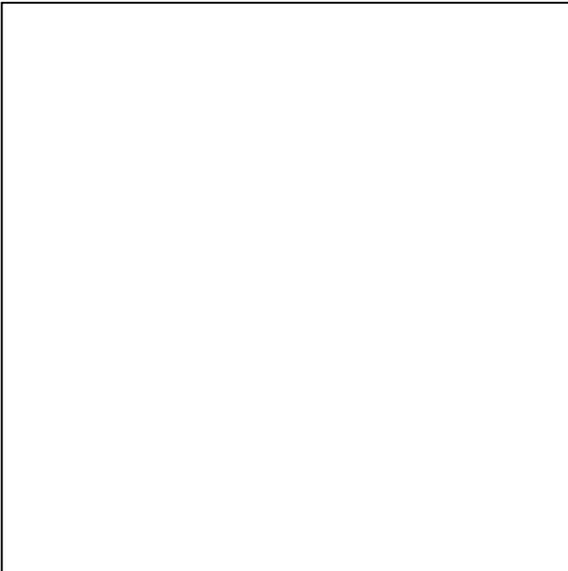
- a. Maintenance of trees is the full responsibility of the owner of the adjacent site or the owner of the property on which the tree is located if it is located on private property.
- b. Trees species must be selected from the city's approved street tree list, which is available in the community development department; alternative cultivars may be approved on a case-by-case basis with the approval of the city arborist.
- c. Trees must be at least 2.5-inch caliper and at least eight feet in height at the time of planting. As street trees mature, they must be trimmed as necessary to provide a minimum vertical clearance of seven feet above the sidewalk.

- (3) Pedestrian buffer zones with a minimum width of ten feet must be provided abutting the sides and rear of all buildings. These areas provide a buffer between buildings and parking and service areas. The pedestrian buffer zones must contain walkways, planting areas, plazas, and similar pedestrian-oriented landscaped spaces. All pedestrian walkways within buffer zones must be at least six feet in width and finished with brick pavers or other approved accents or designs.
- (4) The front entrance of all buildings must be easily and safely accessible to pedestrians from the public sidewalk through a combination of pedestrian walkways and crosswalks. All entrances to crosswalks and sidewalks must include wheelchair ramps, per code.
- (5) Covered sidewalks that are a part of the building and that are located within the buildable area of the lot are encouraged. Such covered sidewalks may be used for outdoor seating and dining, and as terraces and arcades.
- (6) In multi-tenant retail buildings, a continuous, unimpeded walkway must be provided to connect all business entrances.
- (7) Sidewalks must conform to the following:
 - a. Sidewalks must be paved using concrete or alternative pervious material as approved by city staff.
 - b. Where a sidewalk exists conforming to the standards of this ordinance except for the width, the developer must supplement the existing sidewalk width, adding width to create a 12-foot sidewalk.
 - c. Streetscaping performed as a function of city-initiated redevelopment must provide a landscape area at least six feet in depth.
- (8) Lighting must conform to the following:
 - a. Pedestrian and street lighting must be placed in the landscape zone at intervals of 90 to 100 feet on center and must be equal distance from required street trees, in accordance with the Georgia Power Area-Wide Pedestrian Lighting Plan.
 - b. Pole height may not exceed 15 feet.
 - c. Streetlights must be "Generation ARC" by Cooper, 150 watt from Georgia Power. Light poles must be "Grandville" by Hapco from Georgia Power.
 - d. Poles and fixtures must be dark green in color.



(9) Furniture must be provided as follows:

- a. Benches and trash and recycling receptacles must be installed every 250 feet along the public street and at each building entrance adjacent to a pedestrian walkway.
- b. Benches must be Victor Stanley Classic Model c-138 series. Bench colors must be natural wood stain, with dark green.



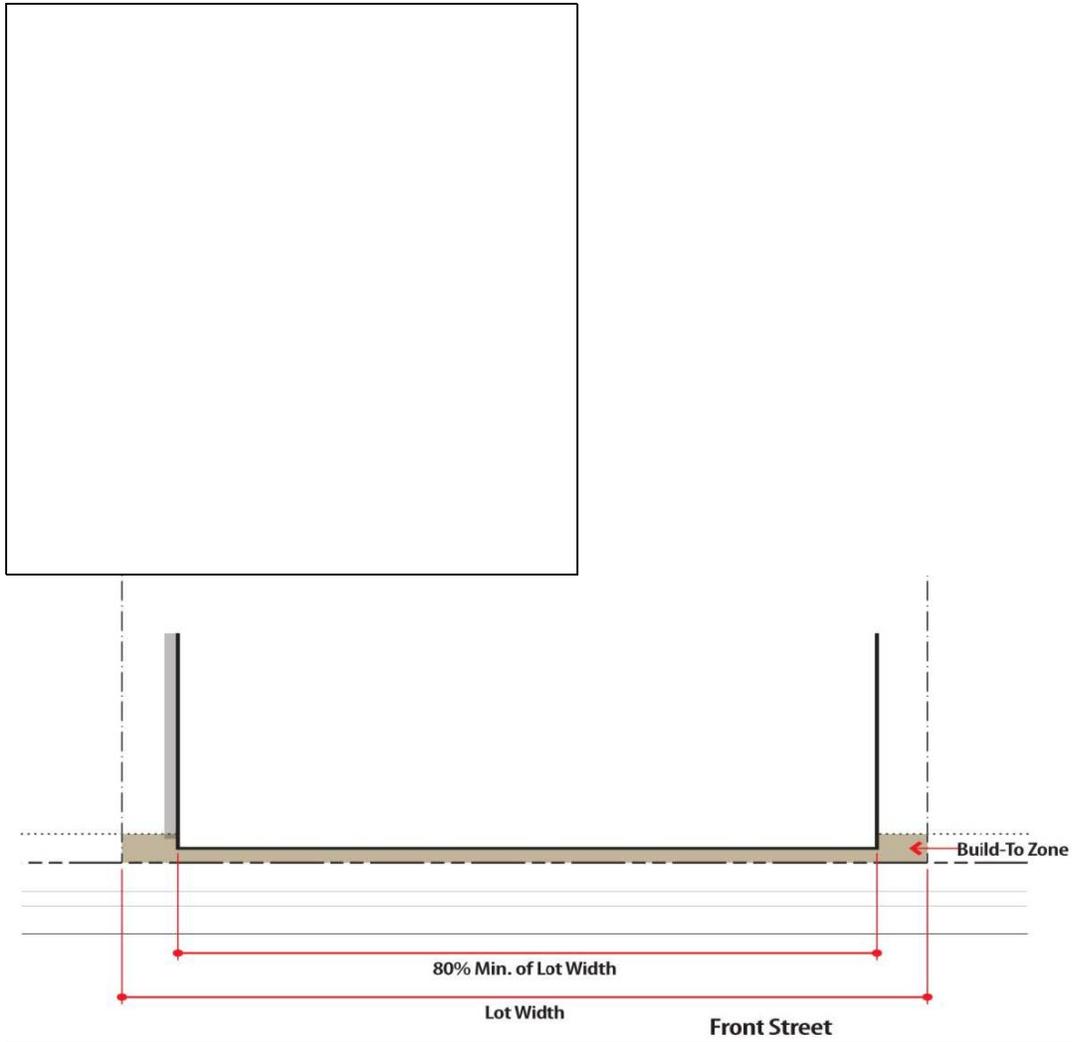
- c. Trash and recycling receptacles must be Victor Stanley Concourse series and must be firmly anchored to the ground.

- (1) Maintenance of trash and recycling receptacles, including servicing, repair, and replacement, is the full responsibility of the nearest adjacent property owner.
 - (2) Recycling receptacles must be clearly identified with symbols and/or text indicating its intended use for recyclables.
- (j) *Public areas, service areas and retaining walls.*
- (1) Public plazas and outdoor dining areas must be easily accessible to pedestrians and provide protection from vehicular traffic by means of their location and design.
 - (2) All dumpsters and other building service areas must be concealed from view of public rights-of-way, publicly accessible areas of the site and residential zoning districts. All dumpsters must be concealed with secured gates screening in accordance with section 27-231
 - (3) Retaining walls must comply with the city building code. Visible areas of retaining wall must be covered with the face brick or stone of the downhill neighbor with a roll lock at the top. Horizontal wall expanses exceeding 20 feet must include offset pilasters with the same brick or stone rising three courses above the top of the adjoining wall and finished with a double course capital of the same brick or stone.
 - (4) All utilities must be placed underground.
- (k) *Village core area.* The village core area form and design regulations of this subsection apply within designated village core area of the DV-O district to all new buildings. The regulations also apply to renovations of and additions to existing buildings within the village core area that result in an increase of 50 percent or more in the building' gross floor area. These requirements govern in the event of conflict with other DV-O district regulations.
- (1) *Build-to-zone.*
 - a. The build-to zone is the area on the lot where a certain percentage of the front building facade must be located, measured as a minimum and maximum yard (setback) range from the edge of the right-of-way. The requirements are as follows:

Build-to-Zone	
Minimum/maximum (feet)	0/10
Minimum percent of building in build-to-zone (percent)	80
Parking Setback	
Minimum (feet)	30

- b. The required percentage specifies the amount of the front building facade that must be located in the build-to zone, based on the width of the front building facade divided by the width of the lot.

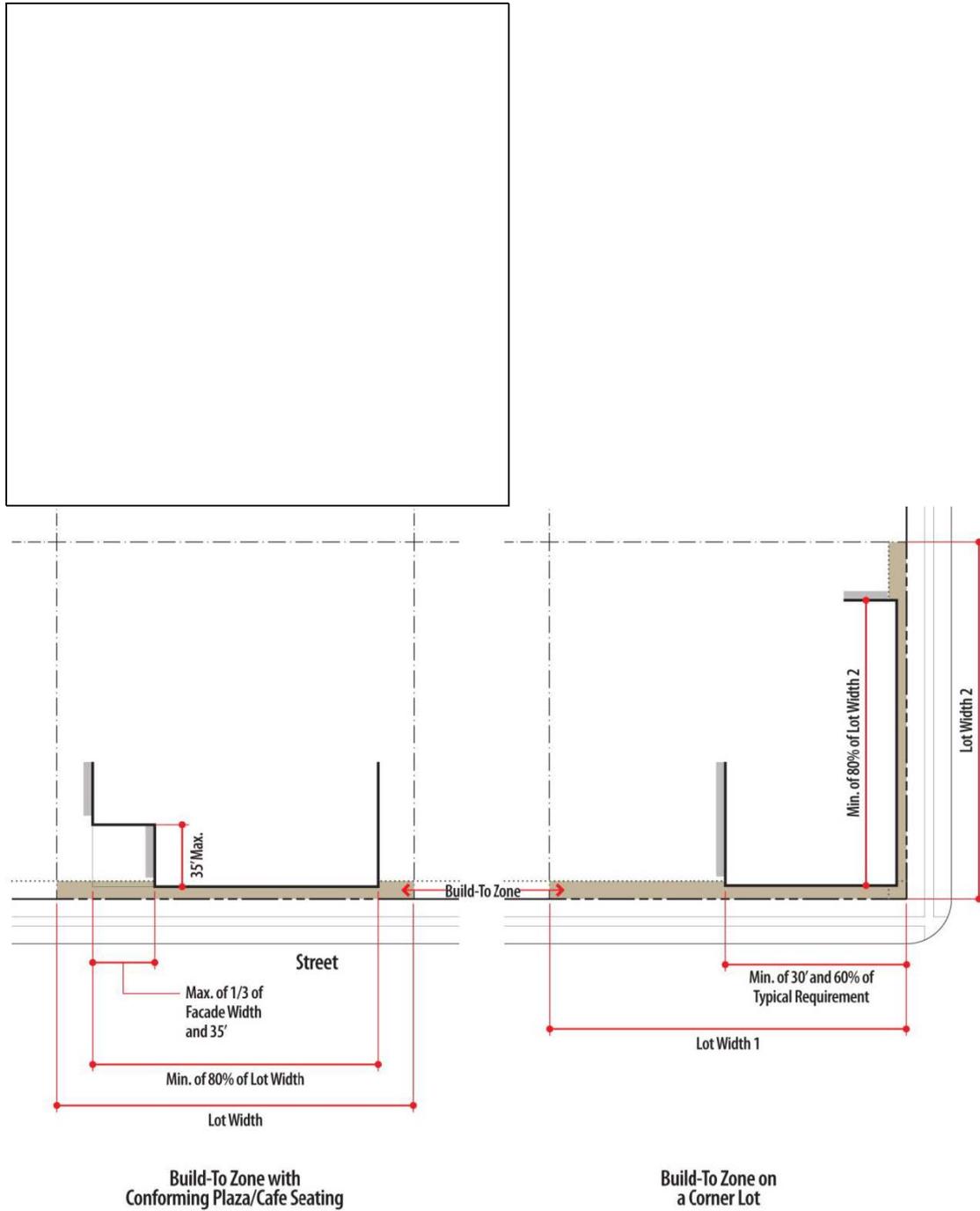
Figure 7-1: Build-to-Zone (BTZ)



- c. Outdoor open space, plazas and outdoor dining areas are counted as part of the building for the purpose of measuring compliance with build-to zone requirements, provided that:
 - 1. The area does not exceed one-third the length of the building face or 35 feet, whichever is less; and
 - 2. The area is no more than 35 feet in depth (see Figure 7-2).

Figure 7-2: BTZ with allowed plaza (left) and BTZ on corner lot (right)

#3.



- d. On corner lots, minimum requirements governing the percent of building facade that must be located in the build-to-zone may be reduced by 60 percent along one of the frontages, at the property owner's option, provided that a building facade must be placed in the build-to zone for the first 30 feet along each street extending from the corner (the intersection of the build-to-zones) (see Figure 7-2).

(2) *Transparency.*

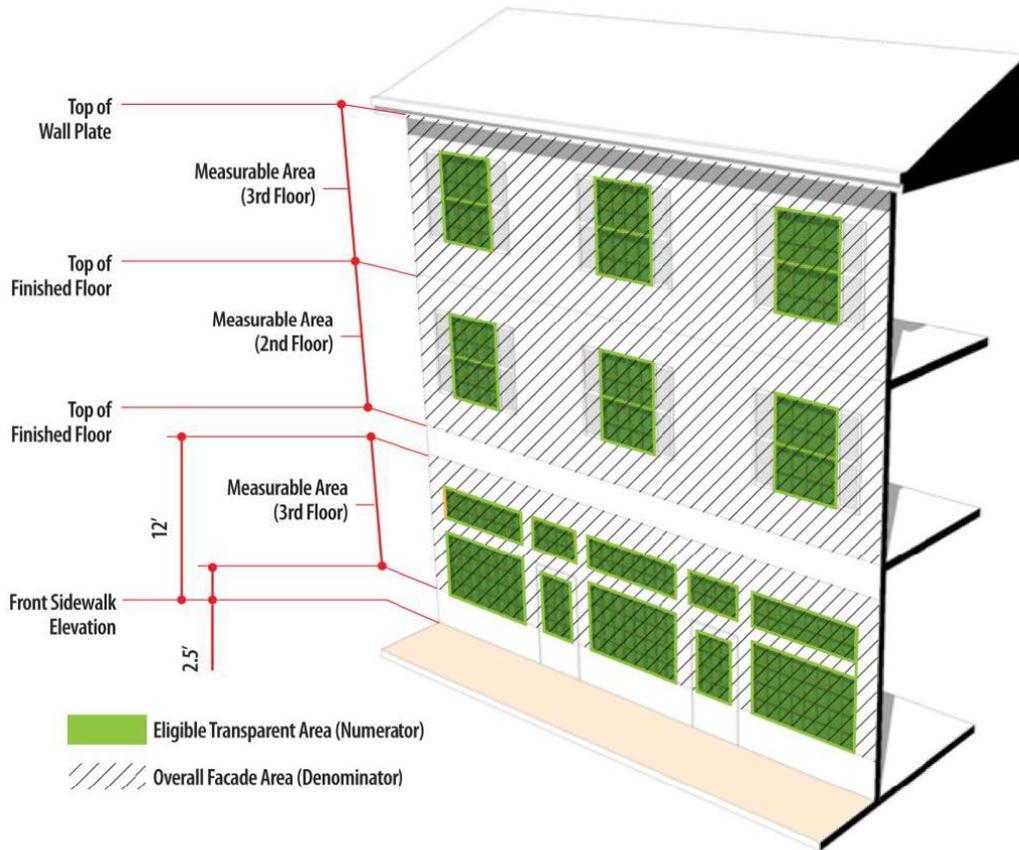
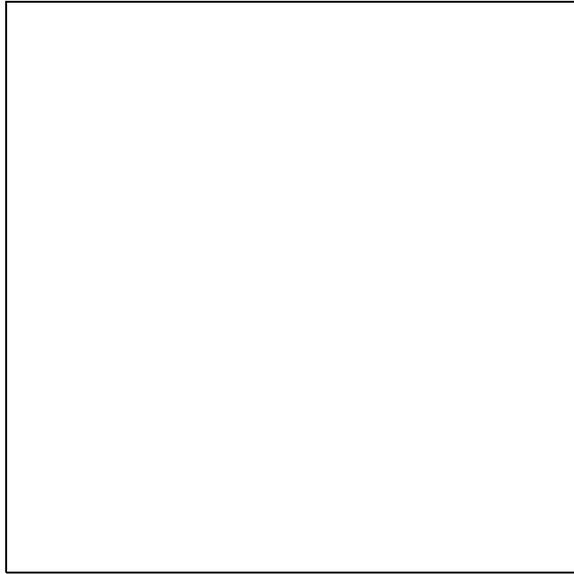
- a. Transparency regulations govern the percentage of a street-facing building facade that must be covered by glazing (e.g., transparent windows and doors). The minimum requirements are as follows:

Transparency	
Minimum ground story (%)	65
Minimum upper story (%)	20

- b. The transparency of a ground story facade is measured between 2.5 and 12 feet above the adjacent sidewalk.
- c. The transparency of an upper-story facade is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper-story transparency is measured from the top of the finished floor to the top of the wall plate (see Figure 7-3).

Figure 7-3: Transparency Measurements

#3.



- d. Glazed element must be clear and non-reflective and not be painted or tinted, provided that low-emission (Low-E) glass coatings are permitted.

(3) *Blank wall area.*

- a. Blank walls are areas on the exterior facade of a building that do not include a substantial material change; windows or doors; columns, pilasters or other articulation greater than 12 inches in depth. Blank wall limits are established as follows:

Maximum blank wall length (feet)	20
----------------------------------	----

- b. Blank wall area regulations apply in both a vertical and horizontal direction.

- (4) *Street-facing building entrances.* At least one street-facing building entrance must be provided on all principal buildings. The building entrance must provide ingress and egress for residents and customers. Additional entrances off another street, pedestrian area or internal parking area are also permitted.
- (l) *Modifications and adjustments.* The regulations of subsections (e) through (k) may be modified only if reviewed and approved in accordance with the special land use permit procedures of article V, division 3.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-7.20), 10-14-2013)

Secs. 27-98—27-110. - Reserved.

AMENDMENT APPLICATION

Dunwoody

Smart people - Smart city

41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

*** Applicant Information:**

Company Name:	<u>Cypress Communities, LLC</u>		
Contact Name:	<u>Lonnie Moss</u>		
Address:	<u>2970 Peachtree Rd., Suite 850, Atlanta, GA 30305</u>		
Phone:	<u>404-456-8067</u>	Fax:	
Email:	<u>lonnie@cypress-communities.com</u>		
Pre-application conference date (required):			

*** Owner Information:** Check here if same as applicant

Owner's Name:	<u>CQ Dunwoody Village Court, LLC</u>		
Owner's Address:	<u>7390 McGinnis Ferry Rd., Suite 200, Suwanee GA 30024</u>		
Phone:	<u>404-429-6337</u>	Fax:	
Email:	<u>warren.base@gmail.com</u>		

*** Property Information:**

Property Address:	<u>1530, 1532, 1534, 1536 Dunwoody Village Pkwy</u>	Parcel ID:	<u>1836606061 and 1836606065</u>
Current Zoning Classification:	<u>O-I</u>		
Requested Zoning Classification:	<u>RM-100</u>		

*** Applicant Affidavit:**

I hereby certify that to the best of my knowledge, this amendment application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

Applicant's Name:	<u>Lonnie Moss / Cypress Communities, LLC</u>		
Applicant's Signature:	<u>Lonnie Moss</u>	Date:	<u>11-17-14</u>

*** Notary:**

Sworn to and subscribed before me this	<u>17th</u>	Day of	<u>NOV</u>	, 20 <u>14</u>
Notary Public:	<u>Susan B. Kauffman</u>			
Signature:	<u>Susan B. Kauffman</u>			
My Commission Expires:	<u>April 7, 2015</u>			



RECEIVED
11/18/14

Additional Property Owner(s) Notarized Certification

Dunwoody

Smart people - Smart city

41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

I hereby certify that to the best of my knowledge, this amendment form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that the applicant(s) (if different) are authorized to act on my behalf, pursuant to this application and associated actions.

*** Property Owner (If Applicable):**

Owner Name: CQ Dunwoody Village Court, LLC

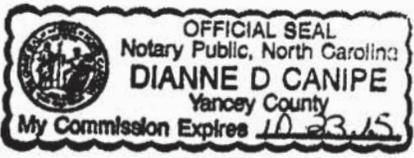
Signature: [Signature] Date: 11/18/2014

Address: 7390 McGinnis Ferry Road., Suite 200, Suwanee, GA 30024

Phone: 404-429-6337 Fax: _____ Email: warren.bafe@gmail.com

Sworn to and subscribed before me this 18 Day of November, 2014

Notary Public: [Signature]



*** Property Owner (If Applicable):**

Owner Name: _____

Signature: _____ Date: _____

Address: _____

Phone: _____ Fax: _____ Email: _____

Sworn to and subscribed before me this _____ Day of _____, 20____

Notary Public: _____

*** Property Owner (If Applicable):**

Owner Name: _____

Signature: _____ Date: _____

Address: _____

Phone: _____ Fax: _____ Email: _____

Sworn to and subscribed before me this _____ Day of _____, 20____

Notary Public: _____

Campaign Disclosure Statement



41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission? YES NO

*** Applicant / Owner:**

Signature: <u><i>[Handwritten Signature]</i></u>	Date: <u>11-17-14</u>
Address: <u>2970 Peachtree Rd. Ste. 850 Atlanta, GA 30305</u>	

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

Project Explanation Statement

Project Name: Dunwoody Village Townhomes

Address: 1530, 1532, 1534 and 1536 Dunwoody Village Parkway

Explanation of Project:

This proposal requests the rezoning from O-I to RM-100 to redevelop an existing office development into 81 townhomes as shown on the site plan. Variances will also be requested pursuant to a separate application. Enclosed with this application are pictures reflecting the proposed design intent for the interior and exterior finishes.

Total Acreage: 8.38 acres

Total Number of Lots: 81 townhomes

Zoning Map Amendments

a. **Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan;**

The zoning proposal to rezone from O-I to RM-100 to develop for sale townhomes at a density of 9.66 units per acre is consistent with Dunwoody's comprehensive plan on the majority of the site. The Dunwoody comprehensive plan places the site in the Dunwoody Village character area and in the Village Transition area. Development of up to three stories at a residential density of up to 12 units per acre is contemplated by the comprehensive plan on the majority of this property. Small scale office is contemplated on the southern portion of the site and an application has been submitted to adjust the comprehensive plan accordingly. The comprehensive plan also contemplates preservation of the buffer next to the adjacent single family uses and this proposal accommodates such a buffer.

b. **Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties;**

Adjacent and nearby properties are developed with a mix of uses including commercial, office, bank and single family uses. The location of the property on the edge of the Dunwoody Village Overlay District adjacent to single family residential, makes the proposed townhome use more suitable than the uses permitted by the existing O-I zoning. The proposed townhomes will provide a transition to the single family homes in the Mount Vernon North subdivision located to the east.

c. **Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;**

The narrow shape of the site and the location of a stream along the entire eastern boundary limit the economic viability of development of the site for office uses. The proposed townhome use provides a more reasonable economic use of the property.

d. **Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;**

The rezoning will benefit the adjacent and nearby property by providing a less intensive use of the property than the existing O-I zoning would permit. Further, the proposed townhomes will be more environmentally sensitive to the existing stream than an office development would be. The townhomes create an appropriate residential buffer between the single family homes to the east and the commercial and institutional uses to the north, south and west of the property.

- e. **Whether there are other existing or changing conditions affecting the use and development of the property that provide supporting grounds for either approval or disapproval of the zoning proposal;**

The subject property is part of an area which went through a master planning effort in 2011. The Dunwoody Village Master Plan recommends for sale residential uses on the subject property at a density of 10 to 12 units per acre on the majority of the site, which is consistent with the proposal. The proposed development will also substantially reduce the existing encroachment into the stream buffer.

- f. **Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources; and**

There are no historic buildings, sites, districts or archaeological resources on or adjacent to the property. None of the above will be impacted.

- g. **Whether the zoning proposal will result in a use that will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

Typically residential use has a lesser impact than office use on existing streets and transportation facilities due to the nature of the use. Utilities will not be adversely impacted by the proposal. There will be an impact on schools due to the change in use to residential, however, the impact is not anticipated to be over burdensome based on the number of townhomes proposed.

Neighborhood Communication Summary

In pre-application meetings with staff regarding the project, we were advised of the zoning history of this property and that one of the Councilmembers, Terry Nall, is an immediate neighbor. Carl Westmoreland, the attorney for the Applicant, contacted Mr. Nall by email on October 22, telling him that a plan had been submitted for concept review, generally describing the proposal and offering to meet with him and other interested neighbors. Mr. Nall replied on October 24 and we began trying to find a date to meet. On October 29, Mr. Nall said that “5-6” neighbors would represent the neighborhood and we have continued to attempt to schedule a meeting with that group before the December 11 Community Council meeting. Attached hereto are copies of the described correspondence. Since December, the Applicant has met with the DHCA as well been in communication with the immediate neighbors to draft conditions for the development.

Carl Westmoreland

From: Terry Nall <Terry.Nall@dunwoodyga.gov>
Sent: Friday, October 24, 2014 8:24 PM
To: Carl Westmoreland
Cc: Terry Nall
Subject: Re: Dunwoody Village Parkway

Hi Carl,

I would like to meet with you to learn more. I think it would be productive to arrange a meeting with our neighborhood, if you're receptive.

I can assure you that density and height of the units abutting our neighborhood will be of concern to my neighbors.

Are you able to meet me around 6:00pm one evening? I know it's after hours, but I'm in the middle of a really big project in my day job.

Thanks for connecting with me. I really appreciate it.

Terry Nall
Dunwoody City Council (At Large)
Cell: (404) 915-6693
Email: Terry.Nall@DunwoodyGA.gov

-- Sent from my mobile phone. Please excuse any misspellings.

On Oct 22, 2014, at 10:15 AM, "Carl Westmoreland" <CWestmoreland@mmmlaw.com> wrote:

We have submitted a plan for concept review which proposes redevelopment of the 8 acres of office buildings on Dunwoody Village Parkway for townhomes. Although this would not come to Council for several months, I understand that you live behind the property and I would like to offer to meet with you to discuss this on the front end if you would like. Please let me know if you would like to meet and, if so, a convenient time and place.

<image001.gif> **Carl Westmoreland**
Morris, Manning & Martin, LLP
1600 Atlanta Financial Center
3343 Peachtree Road, NE
Atlanta, Georgia 30326
Direct: 404.504.7799
Fax: 404.365.9532
cwestmoreland@mmmlaw.com

Please consider the environment before printing this email.

Page 2 of 4

Carl Westmoreland

From: Terry Nall <Terry.Nall@dunwoodyga.gov>
Sent: Wednesday, October 29, 2014 6:52 AM
To: Carl Westmoreland
Cc: Terry Nall
Subject: RE: Dunwoody Village Parkway

Hi Carl,

I'm sorry to report the days/times below have conflicts. Let me get back to you with a range of alternatives.

I wrote the entire neighborhood and have received commitments from 5-6 neighbors to represent the neighborhood's interest. This is an important first step.

Back to you soon.

Terry Nall
Dunwoody City Council Member (At Large)
Cell: (404) 915-6693
Email: Terry.Nall@DunwoodyGA.gov

From: Carl Westmoreland [CWestmoreland@mmmlaw.com]
Sent: Monday, October 27, 2014 1:27 PM
To: Terry Nall
Subject: RE: Dunwoody Village Parkway

My client and I could meet at 6:00 this Wed or Nov 3 or 10. Please let me know if one of those will work for your group and, if so, where you would like to meet.

[cid:image001.gif@01CFF1E9.B084A230]

Carl Westmoreland
Morris, Manning & Martin, LLP
Direct: 404.504.7799
cwestmoreland@mmmlaw.com<<mailto:cwestmoreland@mmmlaw.com>>

From: Terry Nall [<mailto:Terry.Nall@dunwoodyga.gov>]
Sent: Friday, October 24, 2014 8:24 PM
To: Carl Westmoreland
Cc: Terry Nall
Subject: Re: Dunwoody Village Parkway

Hi Carl,

Page 3 of 4

#3.

Carl Westmoreland

From: Terry Nall <Terry.Nall@dunwoodyga.gov>
Sent: Wednesday, October 29, 2014 1:37 PM
To: Carl Westmoreland
Subject: Re: Dunwoody Village Parkway

Carl,

Thanks. I'll call you to discuss.

Terry Nall
Dunwoody City Council (At Large)
Cell: (404) 915-6693
Email: Terry.Nall@DunwoodyGA.gov

-- Sent from my mobile phone. Please excuse any misspellings.

> On Oct 29, 2014, at 1:35 PM, Carl Westmoreland <CWestmoreland@mmmlaw.com> wrote:

>

> OK. If your preferred time is still 6:00 pm, I could meet Nov 17, 19 or Dec 1. If none of those work, maybe we could look at a Sunday afternoon , late.

>

>

> Carl Westmoreland
> Morris, Manning & Martin, LLP
> Direct: 404.504.7799
> cwestmoreland@mmmlaw.com

>

>

>

>

> -----Original Message-----

> From: Terry Nall [<mailto:Terry.Nall@dunwoodyga.gov>]

> Sent: Wednesday, October 29, 2014 6:52 AM

> To: Carl Westmoreland

> Cc: Terry Nall

> Subject: RE: Dunwoody Village Parkway

>

> Hi Carl,

>

> I'm sorry to report the days/times below have conflicts. Let me get back to you with a range of alternatives.

>

> I wrote the entire neighborhood and have received commitments from 5-6 neighbors to represent the neighborhood's interest. This is an important first step.

>

> Back to you soon.

>

> Terry Nall

Page 4 of 4



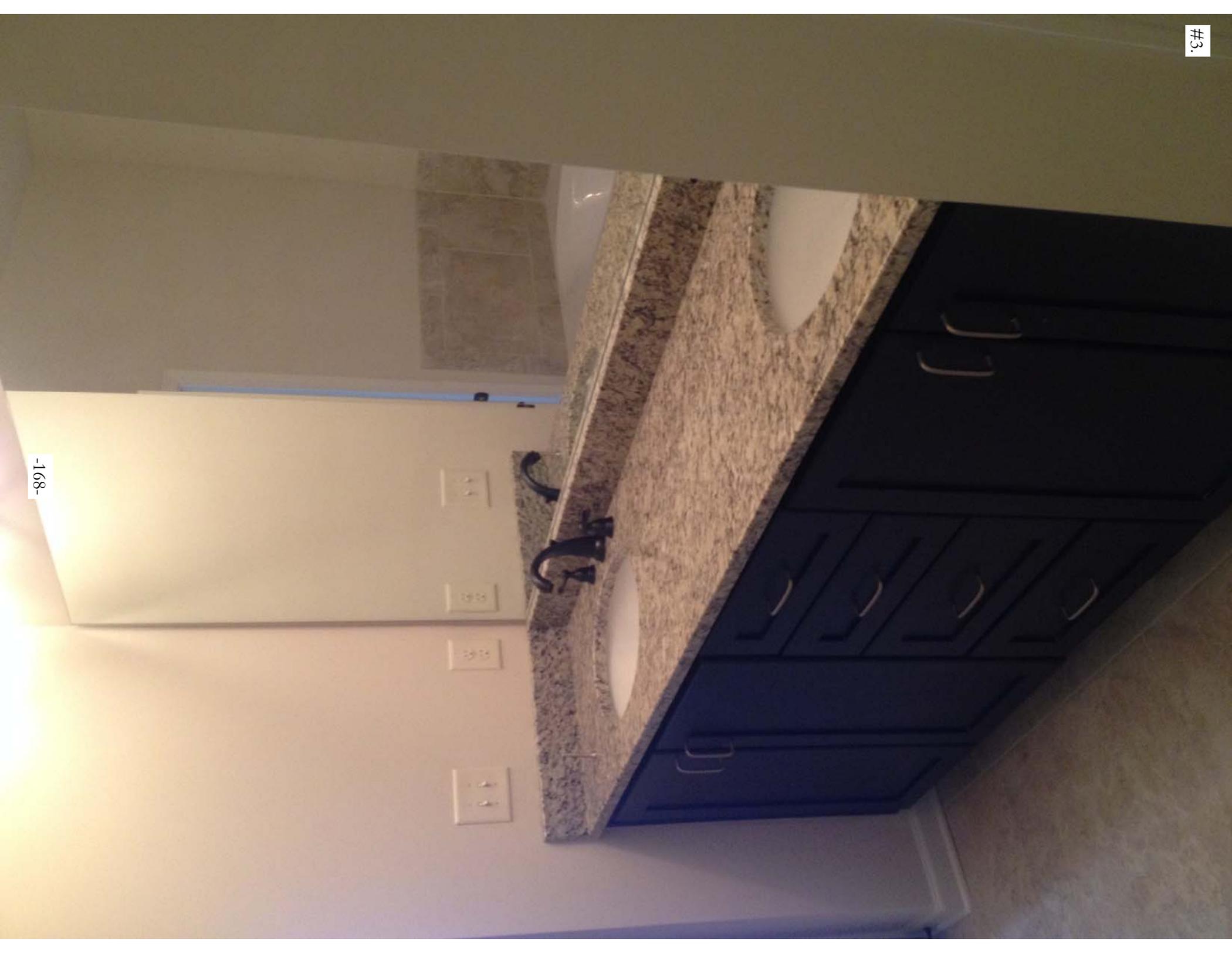
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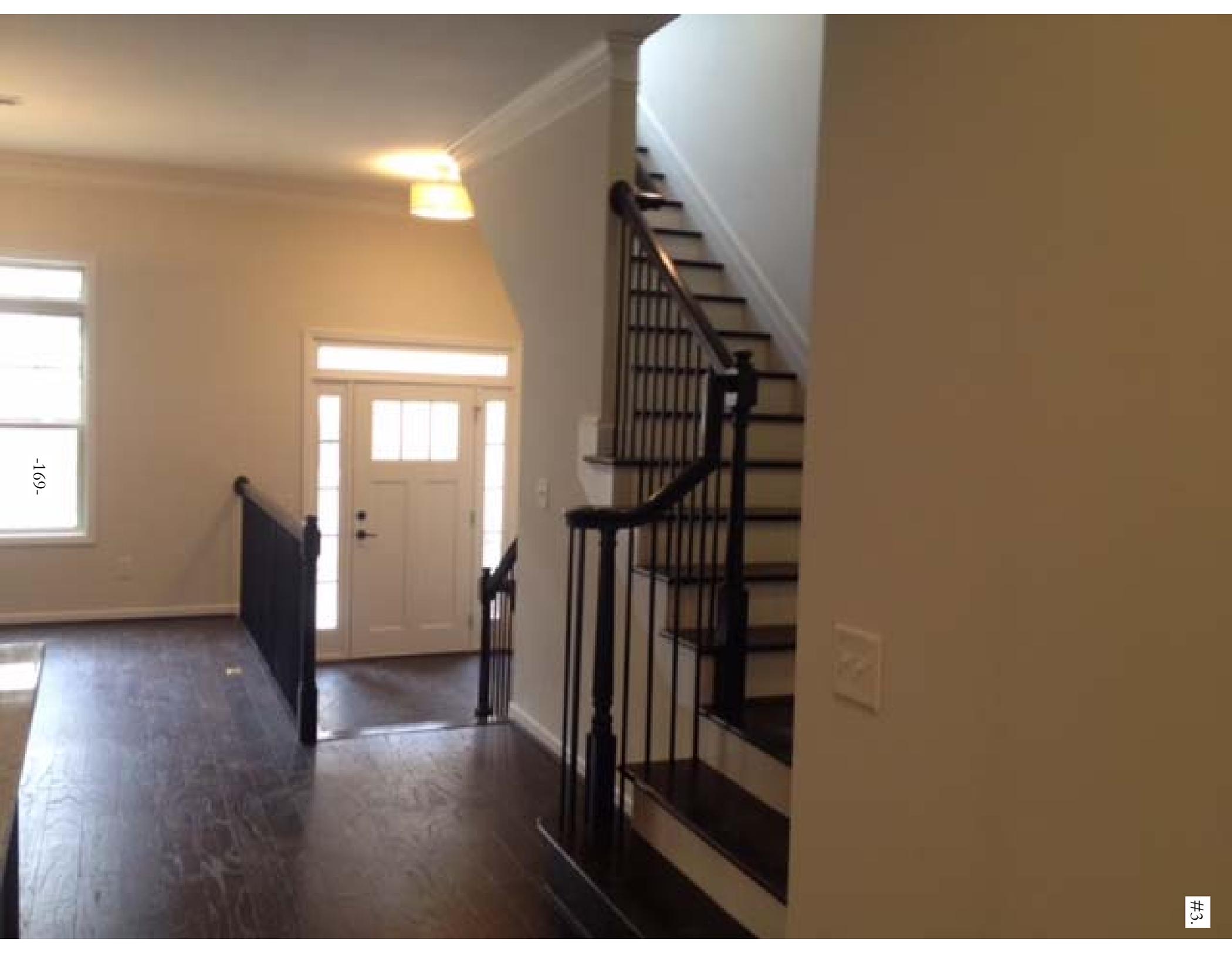
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#3.





#3.











THE BROWNSTONES AT DUNWOODY

Elegant Townhome Specifications • Features • Allowances

Presented By
CYPRESS COMMUNITIES

11/14

E XTERIOR FEATURES

All Sides Brick (per plan)
Garage door with two openers (Rear Entry—Garage--Carriage Doors)
Slate Deck with privacy partition and black decorative pickets
20 Year Chalet Shadow Dimensional Shingles
Gas Line Stubbed for Outdoor Grilling Area
Boricare Termite Treatment – Limited Lifetime Warranty

I NTERIOR FEATURES

Professional Interior Design service provided for your design selections (Two hours design time)
10' ceilings first floor/9' second floor (per plan)
Interior doors: 6'8" first floor with transoms and 6'8" second floor
Tray/Vaulted Ceilings (per plan)
Smooth Ceilings Both Floors
Stairs have a volute newel with stained handrail and wrought iron balustrades
2 piece Crown Molding: Foyer/Dining room/Living Room
4" Crown – Owners Suite
Fold down stairs to attic
Brushed Chrome Levers
Fireplace with gas starter
Honed Travertine fireplace front with custom mantle, Travertine is flush with floor
Finished Basement Included with additional bedroom/office and full bath
Interior Paint Duron -- One overall color
Paint Color Change in one room
One Trim Color
Ceiling Color – Wall Color or Trim Color

C USTOM GOURMET KITCHEN FEATURES

Stained or painted and glazed cabinets in kitchen, custom designed with decorative cabinet pulls
Granite Countertops
Recessed cans
Glass or Tumbled Marble Backsplash
Stainless steel under mount sink with Delta Stainless Steel Faucet
Garbage disposal
Icemaker hook-up
Water cut-off all line
Top grade Stainless Whirlpool appliance package
(Dishwasher, microwave-hood combo, 30" Oven, 30" 5 burner gas cook top)

All plans to be developed, reviewed & approved by the purchaser
All specifications & features are subject to change per spec house plan, and at builder's discretion.

Initial X _____

FLOORING FEATURES

Hardwood flooring in foyer, dining room, kitchen, powder room, family room, breakfast room, stairs to upstairs & upstairs hallway (per plan and specification)
Tile floors in secondary baths
Large 12"x 12" ceramic tile flooring in the Owner's bath
Carpet in master bedroom & closet, secondary bedrooms & closets with 6lb pad
Tile in laundry room

BATHROOMS

Granite vanities in Owner's Bathroom, powder room and secondary baths
Raised Vanity in Owner's Bathroom
Garden Tub in Owner's Bath
Elongated commodes in all baths
Exhaust fans in all commode areas
Delta plumbing fixtures in powder and Owner's bath (8" spreads)
Delta plumbing fixtures in secondary baths (4" spread)
Shower Seat/shampoo deck in Owner's Shower
Ceramic tile surround on shower walls in Owner's bath
Ceramic tile surrounds on all secondary shower and bath walls
Matte Chrome shower enclosure in Owner's Bathroom (per plan)

PLUMBING FEATURES

All water supply lines under fixtures have cut-offs
Emergency main water cut-off
Two outdoor spigots – front and deck
50 gallon water heater

ELECTRICAL FEATURES

Clothes dryer set for electric
Cable TV receptacles in all bedrooms and family room
Two (CAT5) Structured Wiring phone jacks for high speed internet access
Ceiling fan wiring for dual light/fan switch operation in owner's retreat and family room
Telephone jacks in all bedrooms, kitchen and family room
Pre-wired for security system
Living room wall outlets switched for lamps
Two sets of exterior flood lights
Exterior plug on front stoop and deck
Install 2 ceiling fans
Dual control heating and cooling units with two separate programmable thermostats for zoned heating and cooling
Brushed Nickel Lighting Package

All plans to be developed, reviewed & approved by the purchaser
All specifications & features are subject to change per spec house plan, and at builder's discretion.

Initial X_____

E NERGY FEATURES

Insulated windows (fold out type)
 Screens for all operable windows on side and rear (per plan)
 Insulation factors: Walls R-13, Ceilings R-30, Basement walls R-13, Garage Ceilings R-30

L ANDSCAPING

Fully Sodded Yard
 Full Sprinkler system
 Professionally designed landscaping plan with Monthly Lawn Care Program

W ARRANTY FEATURES

7-day, 24-hour emergency Warranty Service
 Home Builders One Year Limited Warranty
 Post Closing Warranty visits
 Scheduled Warranty
 Service appointments
 Emergency Warranty
 Service Provided After Hours, Weekends and Holidays
 Information for Seasonal Preventative Maintenance

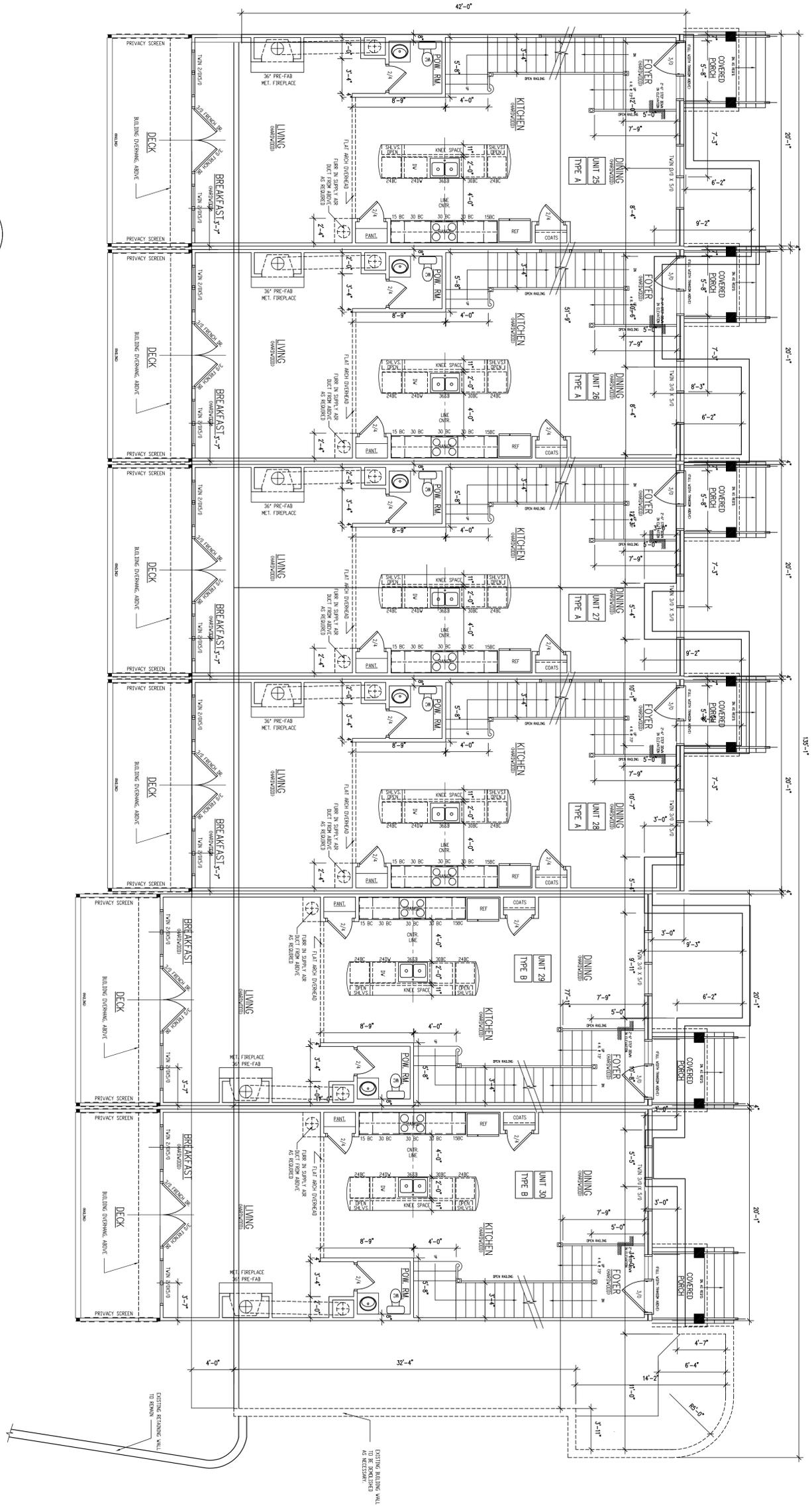
C USTOMER CARE COMMITMENT

Homeowner Manual Review
 Design Review Procedure
 Pre Construction Orientation with Builder
 Frame Stage Walk thru with Builder
 Pre Closing Walk thru with Builder
 Final Walk thru with Builder
 Homeowner Referral Program

All plans to be developed, reviewed & approved by the purchaser
 All specifications & features are subject to change per spec house plan, and at builder's discretion.

Initial X_____

1 BUILDING BLOCK PLAN - BUILDING D
3/16" = 1'-0"



RELEASED FOR CONSTRUCTION



BUILDING BLOCK PLAN
BLDG. D
A-1.0

SERA II TOWNHOMES
BUILDING BLOCK PLAN
BUILDING D
745 FOUNTAINHEAD LANE, NE
ATLANTA, GEORGIA 30324

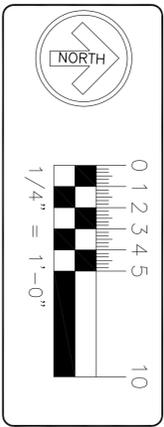
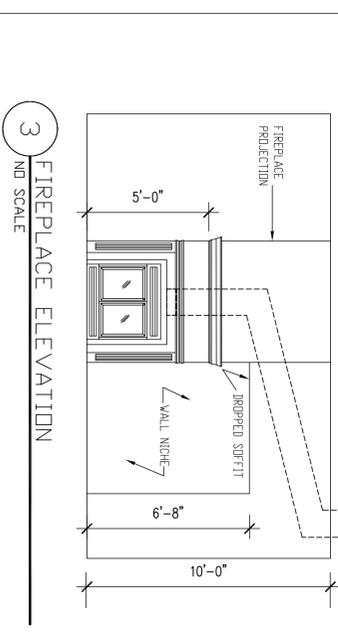
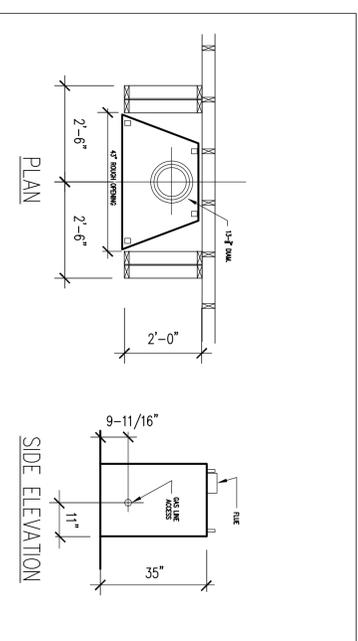
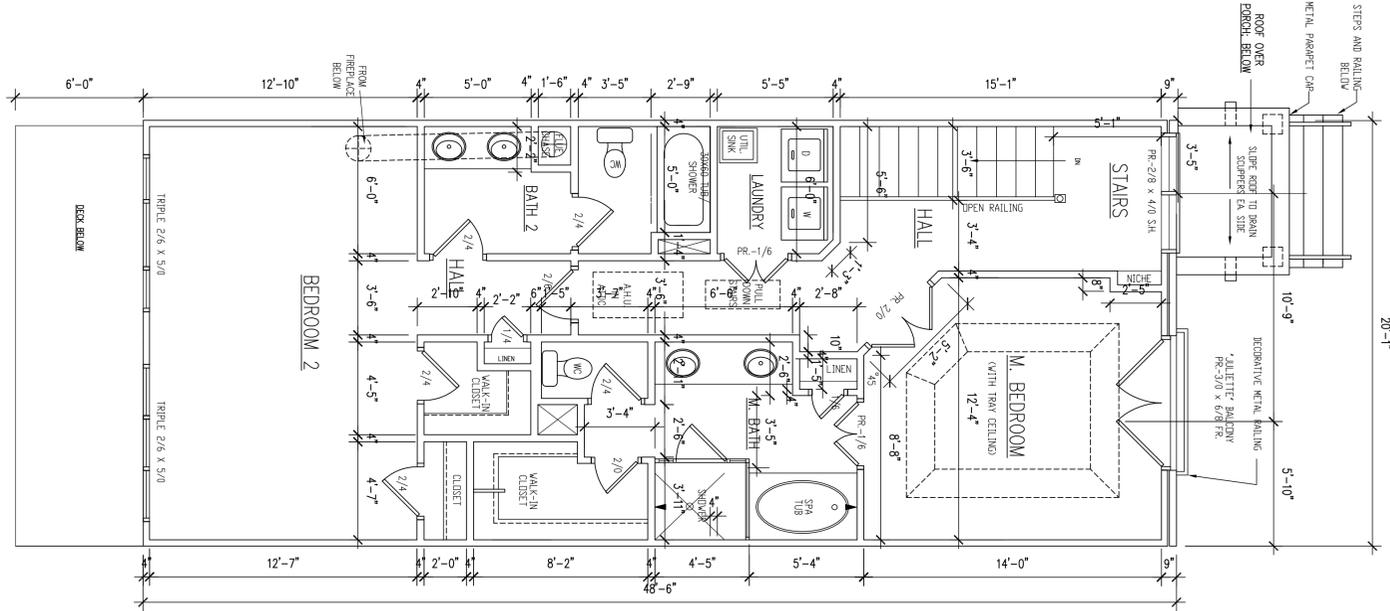
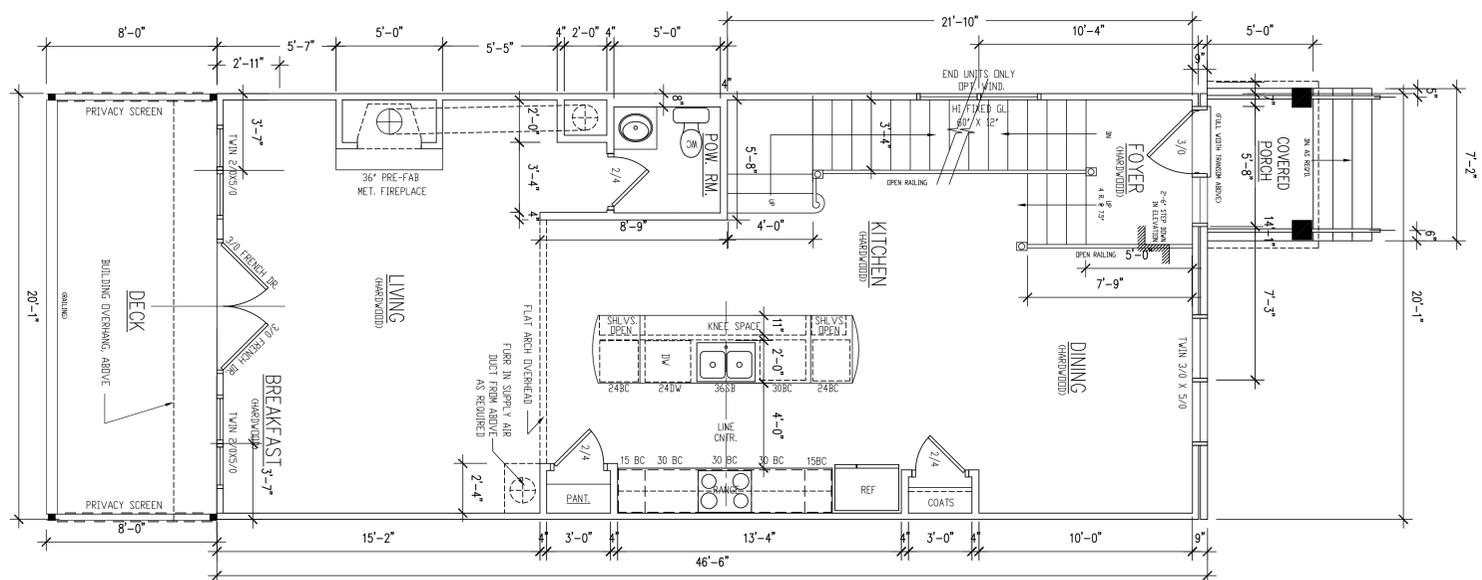
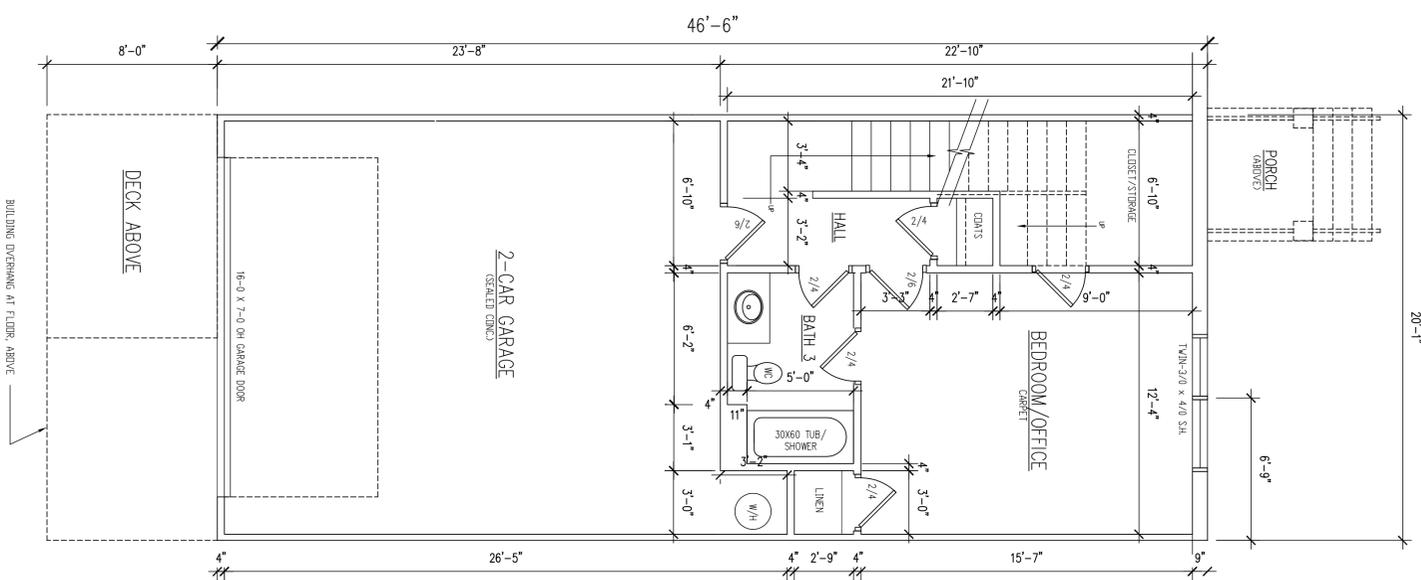
Project No.: AR 464D
Release Date: 06/03/13
Revised:
Revised:
Revised:

SEAL



ARCHITECTNIQUES, L.L.C.

557 SYCAMORE DRIVE
CANTON, GA 30115
PH: (678)-978-9716 Email: cfbatl@comcast.net
C. FRANK BIRDSONG, R.A.



RELEASED FOR CONSTRUCTION

TYPICAL UNIT PLANS
BLDG. D
A-1.1

SERA II TOWNHOMES
FLOOR PLANS-BLDG. D
745 FOUNTAINHEAD LANE, NE
ATLANTA, GEORGIA 30324

Project No.: AR 464D
Release Date: 06/30/13
Revised:
Revised:
Revised:

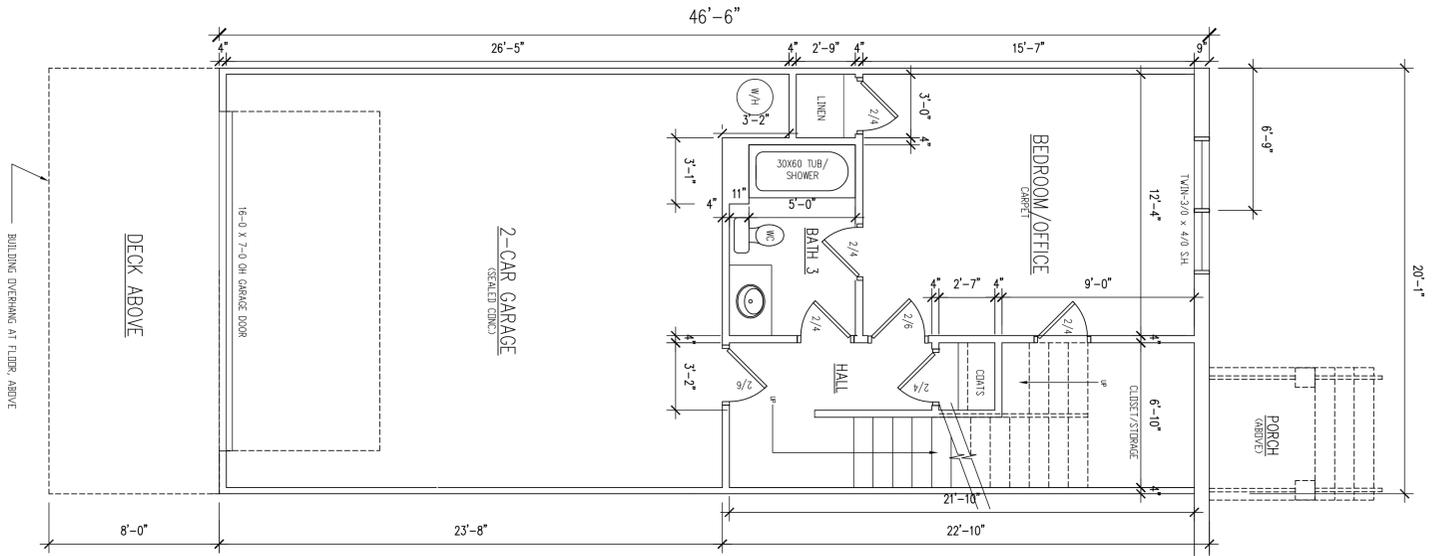


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PH: (678)-978-9716 Email: cfbatl@comcast.net
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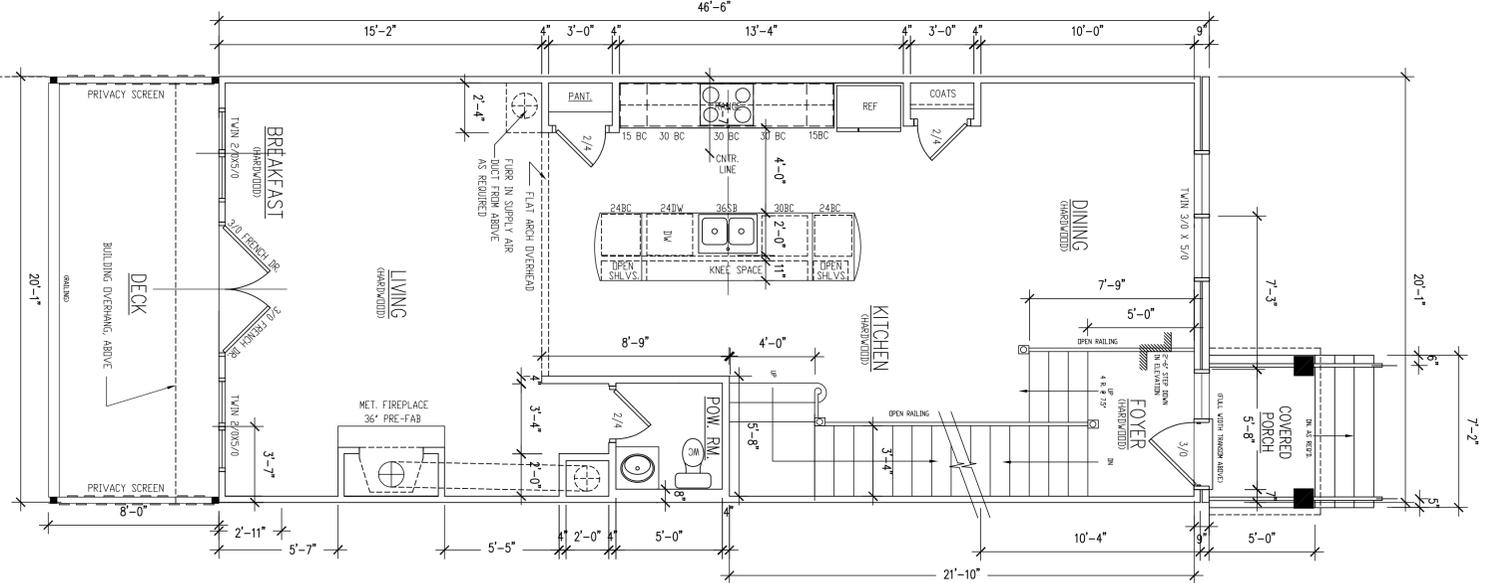
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MAIN FLOOR: 939 SQ.FT.
 DECK: 158 SQ.FT.
 UPPER FLOOR: 972 SQ. FT.
 BONUS AREA: 432 SQ.FT.
 GARAGE: 479 SQ.FT.
 TOTAL HEATED SQ.FT. 2343 SQ.FT.

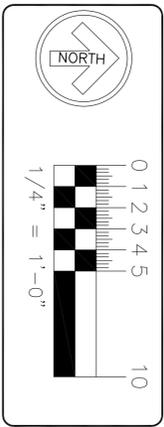
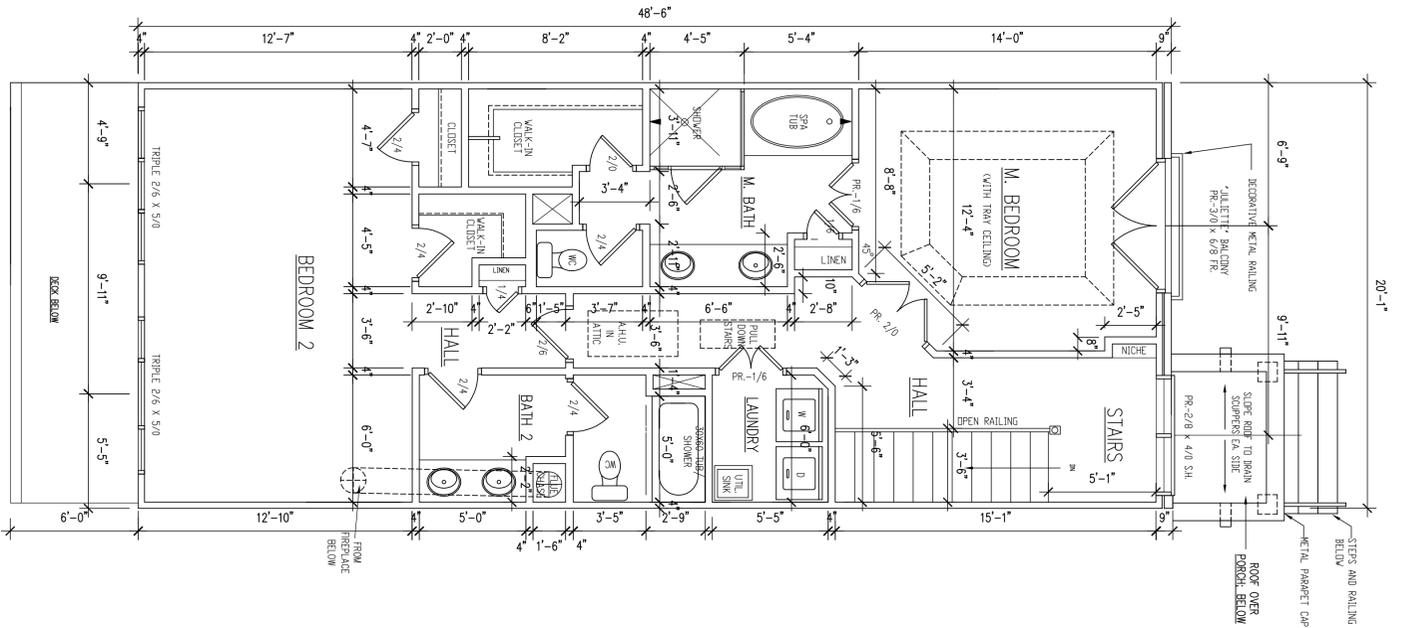
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 1/4" = 1'-0"



2 MAIN LEVEL PLAN - UNIT TYPE 'B'
 1/4" = 1'-0"



3 UPPER LEVEL PLAN- UNIT TYPE 'B'
 1/4" = 1'-0"



RELEASED FOR CONSTRUCTION

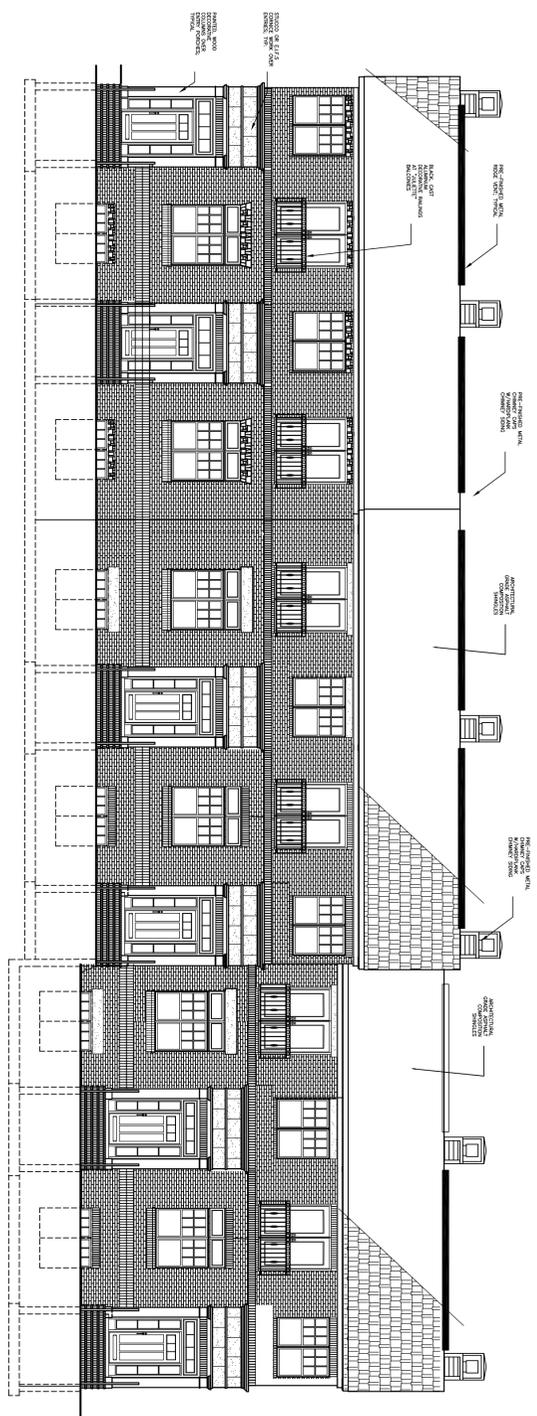
TYPICAL UNIT PLANS
 UNIT B
A-1.2

SERA II TOWNHOMES
 FLOOR PLANS- UNIT B
 BUILDING D
 745 FOUNTAINHEAD LANE, NE
 ATLANTA, GEORGIA 30324

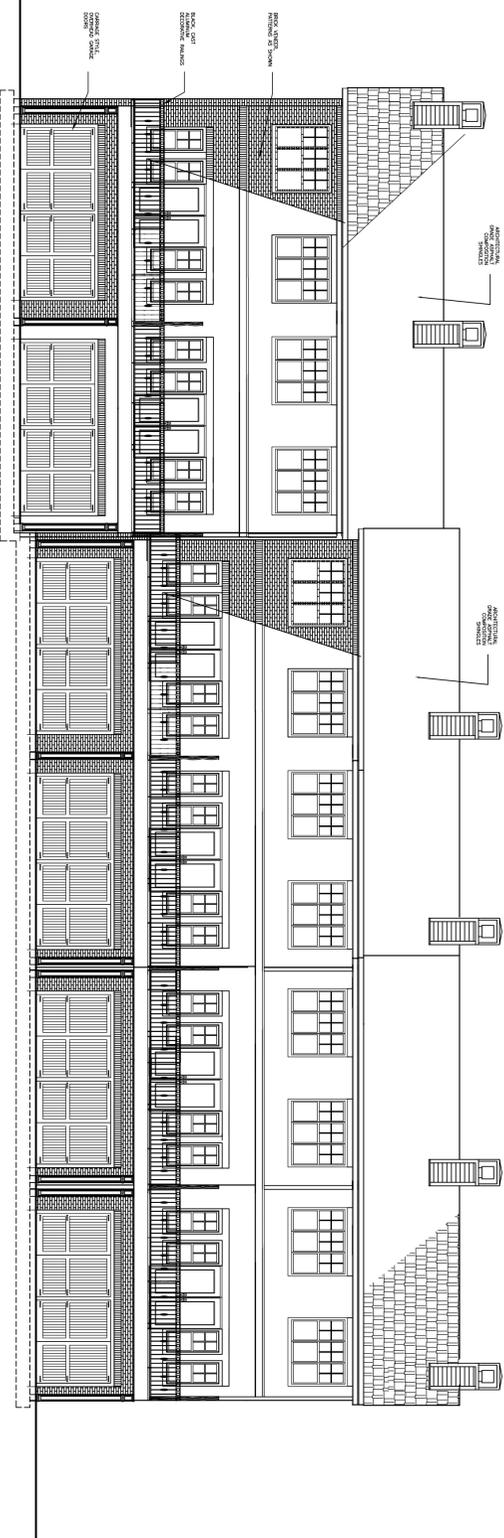
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 Release Date: 06/03/13
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 Revised:



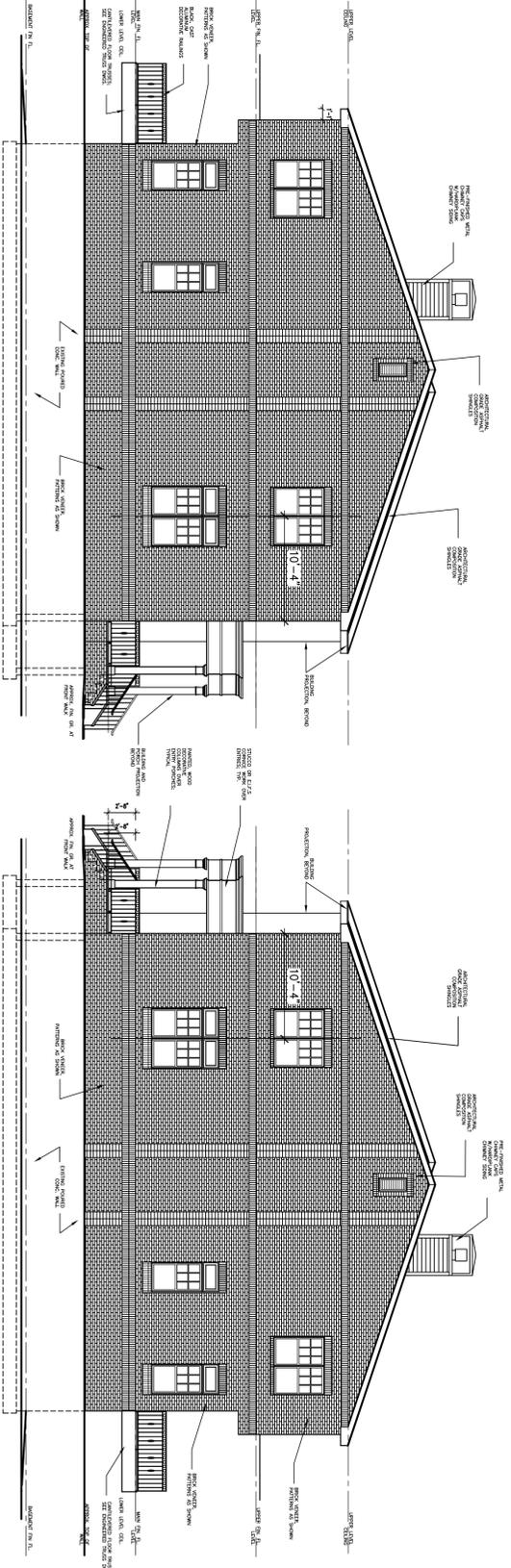
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 C. FRANK BIRDSONG, R.A.



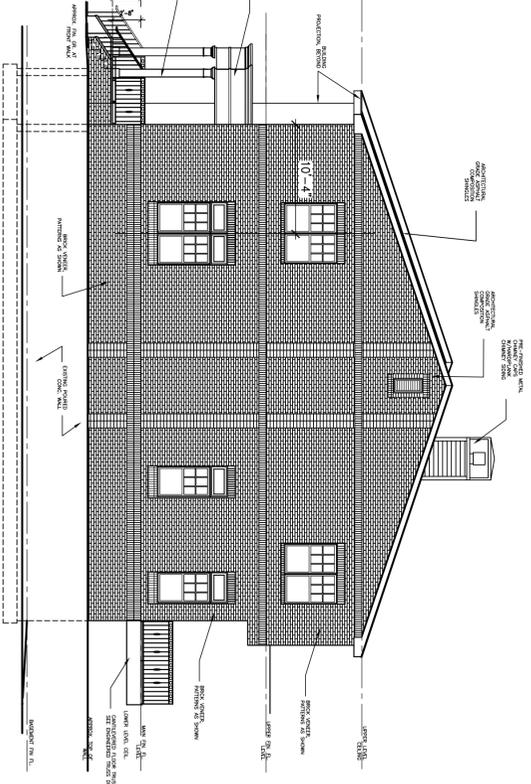
1 FRONT ELEVATION BUILDING D



2 REAR ELEVATION BUILDING D

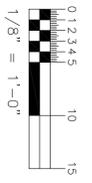


3 NORTH ELEVATION BUILDING D



4 SOUTH ELEVATION BUILDING D

RELEASED FOR CONSTRUCTION



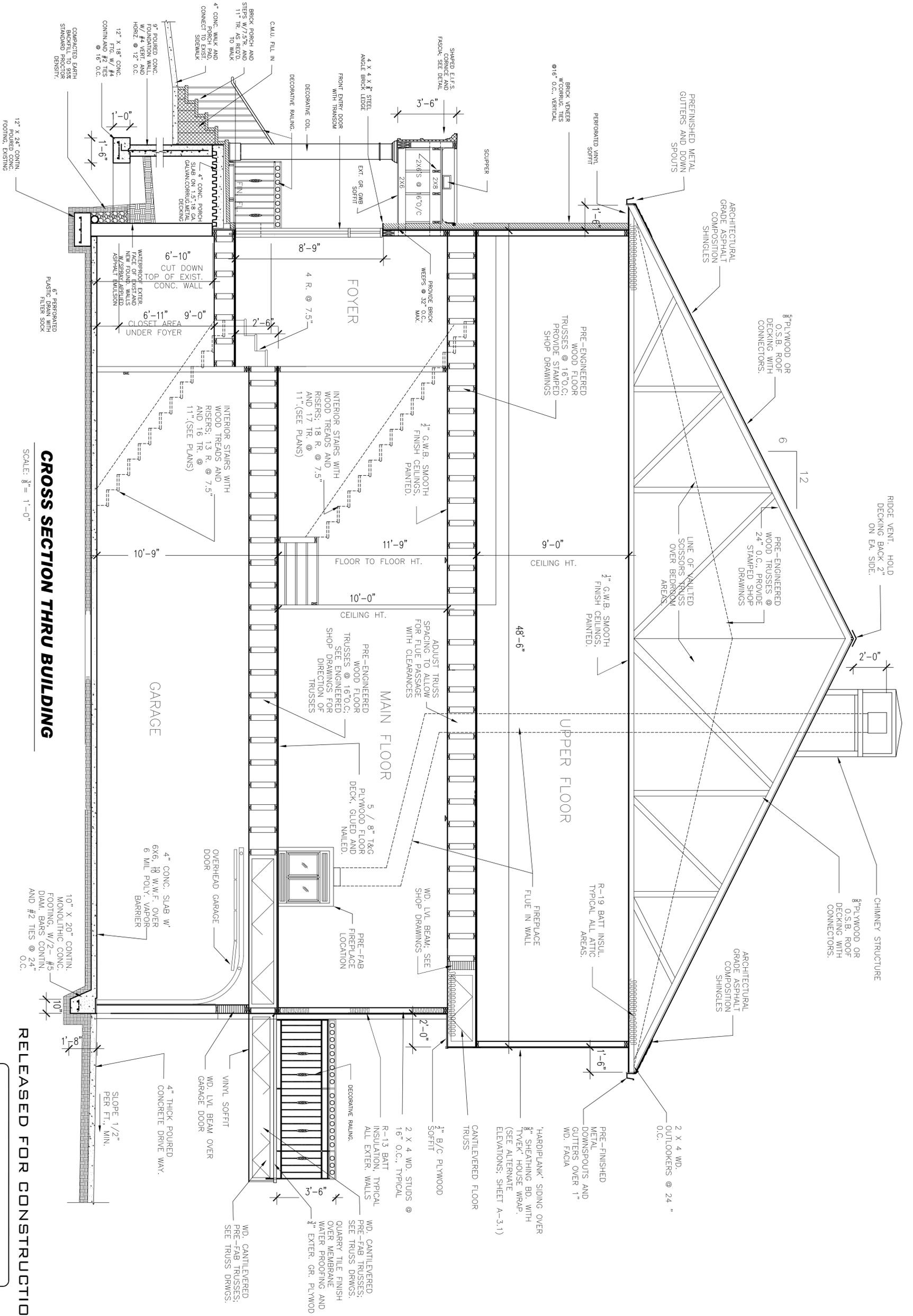
BUILDING ELEVATIONS
BLDG. D
A-3.0

SERA II TOWNHOMES
 ELEVATIONS-BUILDING D
 745 FOUNTAINHEAD LANE, NE
 ATLANTA, GEORGIA 30324

Project No.: AR 464D
 Release Date: 06/03/13
 Revised: _____
 Revised: _____
 Revised: _____



ARCHITECTNIQUES, L.L.C.
 557 SYCAMORE DRIVE
 CANTON, GA 30115
 PH: (678)-978-9716 Email: cfbatl@comcast.net
 C. FRANK BIRDSONG, R.A.



BUILDING CROSS SECTION
A-4.0

SERA II TOWNHOMES - BLDG. D
BUILDING CROSS SECTION
745 FOUNTAINHEAD LANE, NE
ATLANTA, GEORGIA 30324

Project No.: AR 464D
Release Date: 06/03/13
Revised:
Revised:
Revised:



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C. FRANK BIRDSONG, R.A.



MARC R. ACAMPORA, PE, LLC
TRAFFIC ENGINEERING

Memorandum

Date: December 4, 2014
From: Marc R. Acampora, PE
Subject: Trip Generation Study for Proposed Dunwoody Village Townhomes
City of Dunwoody, DeKalb County, Georgia

A review was performed of anticipated trip generation characteristics of a proposed residential development in the City of Dunwoody. The proposed Dunwoody Village Townhomes project will redevelop a tract with four existing office buildings as residential townhouse units. The property consists of 8.38 acres, located as shown in Figure 1.

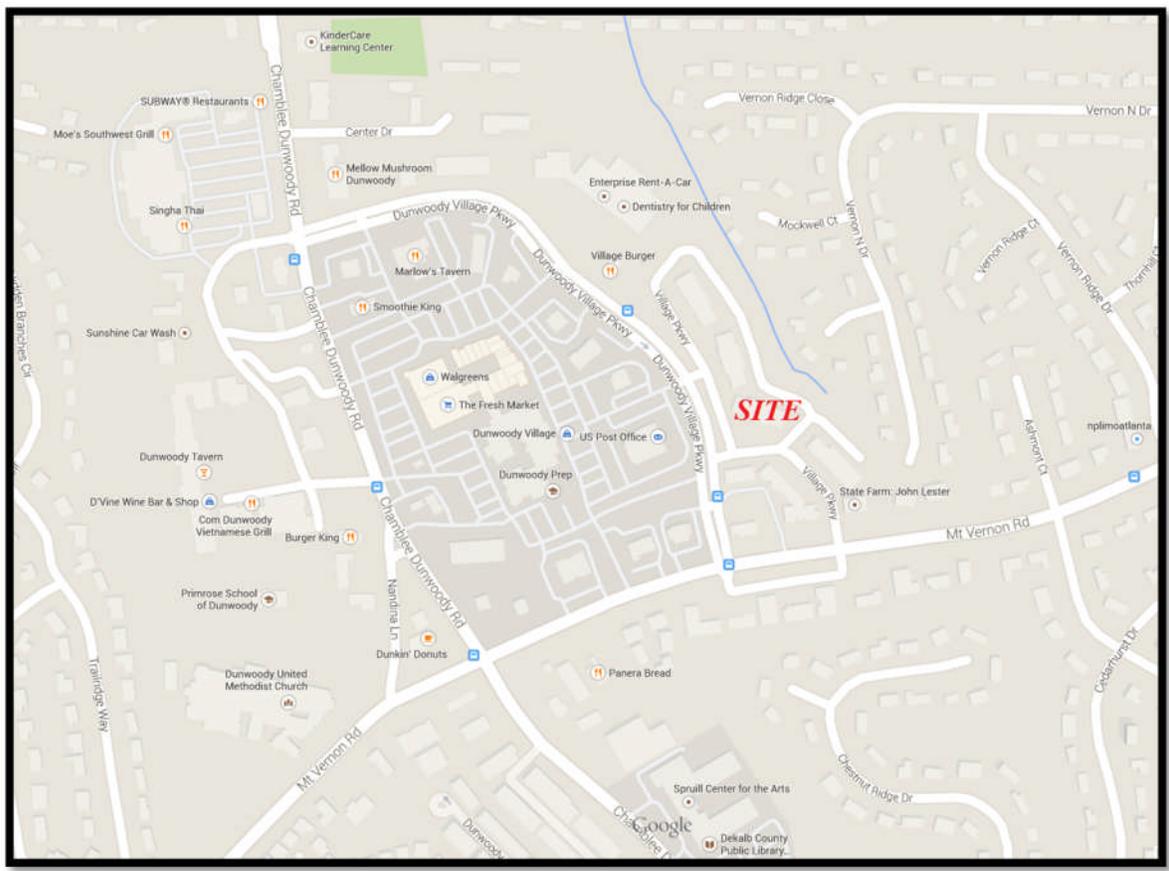


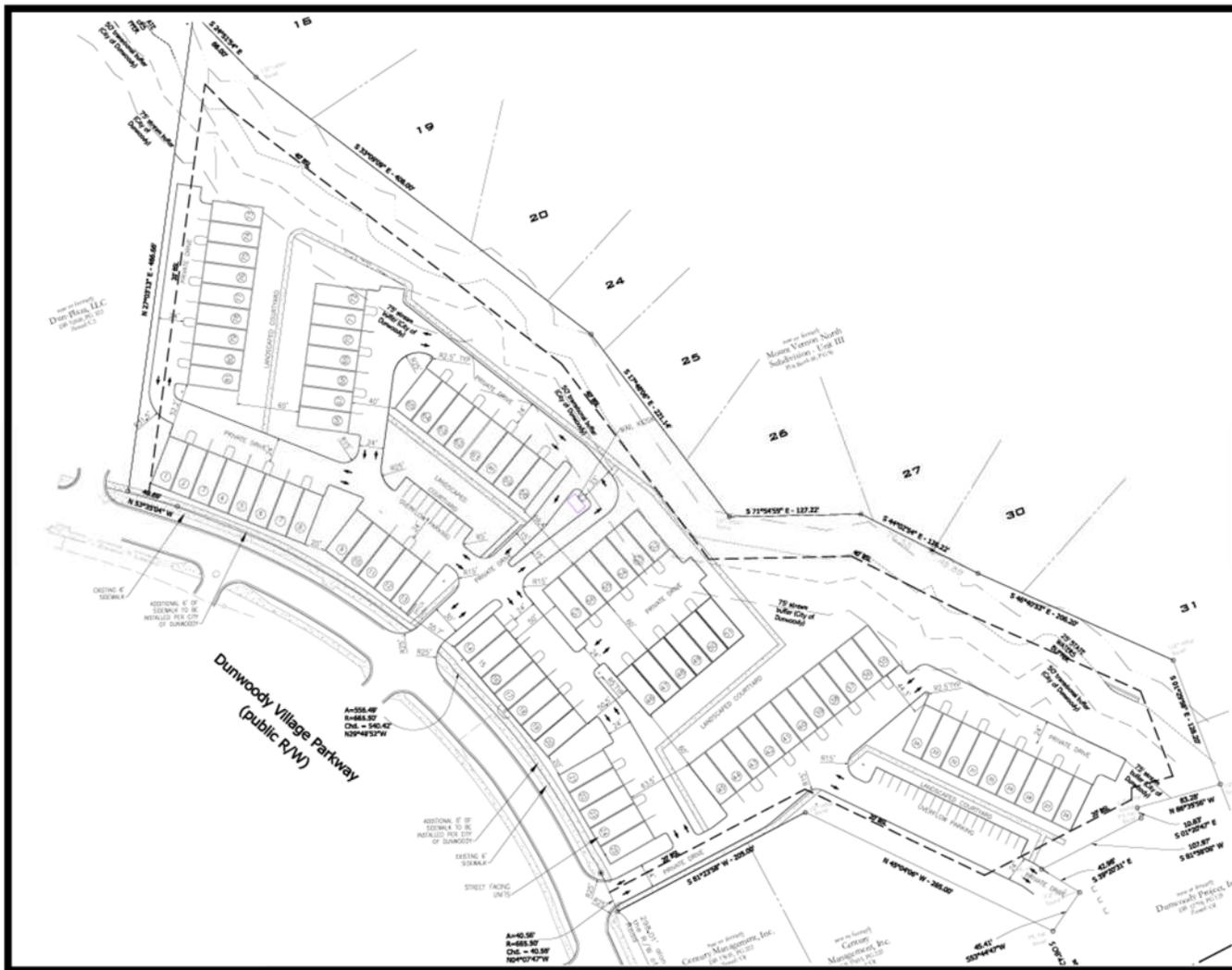
Figure 1 – Dunwoody Village Townhomes Location Map

858 Myrtle Street, NE
Atlanta, Georgia 30308

phone (678) 637-1763

e-mail acamporatraffic@comcast.net
www.acamporatraffic.com

The existing office park includes four, two-story office buildings. Each building offers approximately 12,000 ft² of office per floor, or 24,000 ft² per building, which sums to a total of 96,000 ft² in the four buildings. The land will be redeveloped with 81 residential townhouse units which will be served by two vehicular accesses along the east side of Dunwoody Village Parkway, plus an interparcel connection to property to the southeast. The proposed site plan is shown in Figure 2.



site plan by TerraBuild, USA, Inc.

Figure 2 – Proposed Dunwoody Villages Townhomes Site Plan

Project Trip Generation

The volume of traffic that will be generated by the proposed townhouse development was calculated using the equations in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 9th Edition. This document is the traffic engineering industry standard to determine the volume of traffic that a development will generate. Its data is based on traffic counts collected at similar developments nationwide. The trip generation of the proposed townhouse project was

calculated using ITE Land Use 230 – Residential Condominium / Townhouse. For comparison purposes, trip generation of the existing office park was calculated, also using the ITE *Trip Generation Manual*. ITE Land Use 750 – Office Park was used to determine the potential trip generation of the existing office space, if fully leased. The trip generation calculations are shown in Table 1.

Table 1 –Trip Generation Comparison

Land Use	ITE Code	Size	A.M. Peak Hour			P.M. Peak Hour			24-Hour
			In	Out	Total	In	Out	Total	2-Way
EXISTING									
Office Park 100% occupancy	750	96,000 ft ²	228	28	256	30	183	213	1,410
PROPOSED									
Proposed Residential Condominium / Townhouse	230	81 units	8	36	44	34	17	51	536
COMPARISON									
Proposed Use vs Existing Use			-220	+8	-212	+4	-166	-162	-874

Table 1 reveals that the proposed 81 townhomes will generate a modest volume of traffic. The comparison with the office shows that the proposed townhomes will generate substantially less trips than the existing use.

Jessica L. Hill

From: Carl Westmoreland
Sent: Tuesday, February 03, 2015 1:28 PM
To: Jessica L. Hill
Subject: FW: RZ 15-021 and ZBA 15-024 ; 1530 and 1536 Dunwoody Village Parkway
Attachments: Exhibit B.pdf; Exhibit A.pdf; Exhibit C.pdf; Exhibit D.pdf

From: Carl Westmoreland
Sent: Wednesday, January 21, 2015 11:45 AM
To: Andrew.Russell@dunwoodyga.gov
Subject: FW: RZ 15-021 and ZBA 15-024 ; 1530 and 1536 Dunwoody Village Parkway

The neighbors have said that these conditions are OK for the two applications (I'll forward that email). I wanted to get these to you as far ahead of your recommendation as I could. Please call with questions.

From: Carl Westmoreland
Sent: Tuesday, January 20, 2015 5:04 PM
To: traveltara@yahoo.com
Cc: lonnie@cypress-communities.com
Subject: FW: RZ 15-021 and ZBA 15-024 ; 1530 and 1536 Dunwoody Village Parkway

Tara, please call me after you have a chance to look at these proposed conditions. Obviously, incorporation of the site plan addresses issues such as the orientation of buildings, stream buffer encroachment, etc. I think it's better that they not be disseminated too widely until you and I are on the same page and I've tried to cover everything we talked about and attached exhibits where appropriate.



Carl Westmoreland
Morris, Manning & Martin, LLP
Direct: 404.504.7799
cwestmoreland@mmlaw.com



1. The property will be rezoned to the RM-100 classification, subject to the site plan dated January 12, 2015 and attached as Exhibit A.
2. Elevations will be similar to those attached as Exhibit B and no two adjacent units will have the same façade design.
3. No more than two adjacent units will share the same façade plane; others will have a minimum two foot offset at the front and back of the units.
4. All end units facing the neighborhood to the east will have an appearance similar to that shown on the elevation attached as Exhibit C.
5. Units will comply with the Dunwoody Village Master Plan and related documents with regard to design, materials and color.
6. All units will be designed so that, if requested, they could accommodate elevators.
7. Exterior lighting will be designed to control any off-site illumination to the single-family residential area to the east.
8. Landscape material of the type depicted on Exhibit D will be installed in three staggered rows (located to allow optimum health for the plants) on the property parallel to the entire line dividing the property from the single – family area to the east to provide screening.
9. A limitation of the number of rental units in the development at any one time to eight units will be incorporated into the Homeowners’ Association documents and provided to the City of Dunwoody Community Development Department prior to issuance of a certificate of occupancy for the development.



Carl Westmoreland

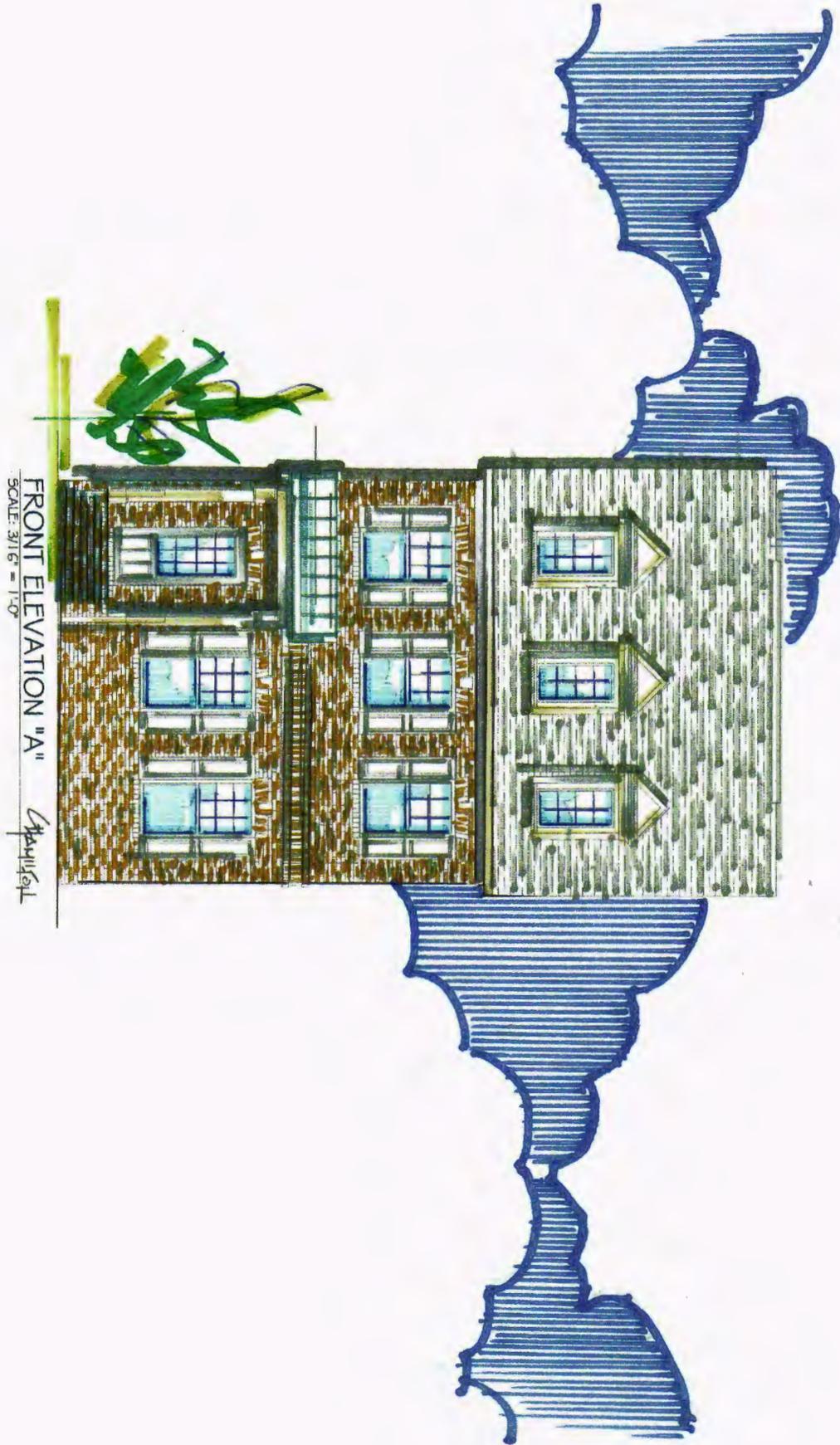
Morris, Manning & Martin, LLP
1600 Atlanta Financial Center
3343 Peachtree Road, NE
Atlanta, Georgia 30326
Direct: 404.504.7799
Fax: 404.365.9532
cwestmoreland@mmmlaw.com

Please consider the environment before printing this email.

For information on Morris, Manning & Martin, LLP, please visit www.mmmlaw.com or <http://twitter.com/mmmlaw>.

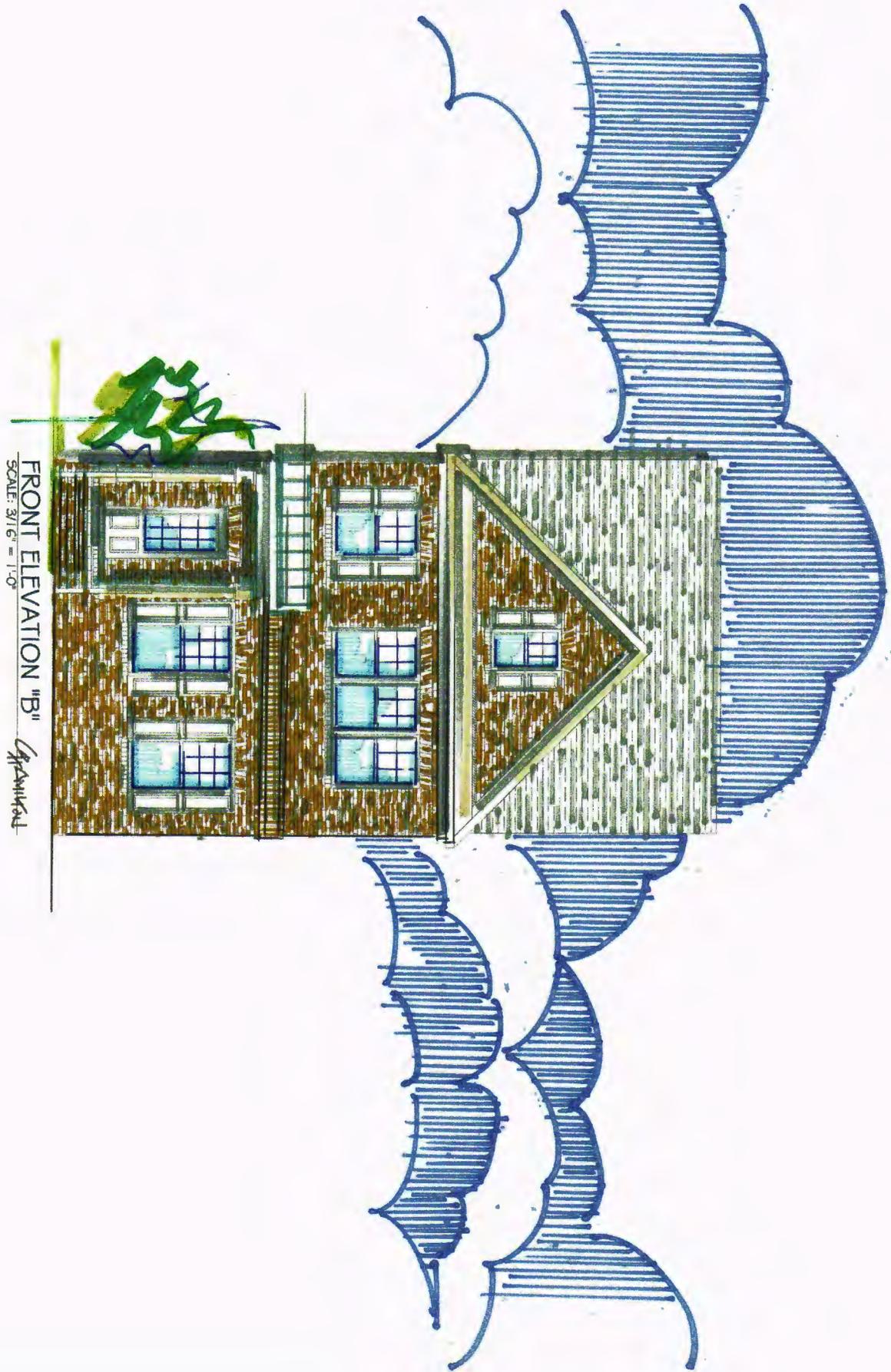
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TREASURY DEPARTMENT CIRCULAR 230 DISCLOSURE: To ensure compliance with requirements imposed by the Treasury Department, we inform you that any U.S. federal tax advice contained in this communication (including any attachments) is not intended or written to be used, and cannot be used, for the purpose of (i) avoiding penalties under the Internal Revenue Code or (ii) promoting, marketing or recommending to another party any transaction or matter addressed herein.

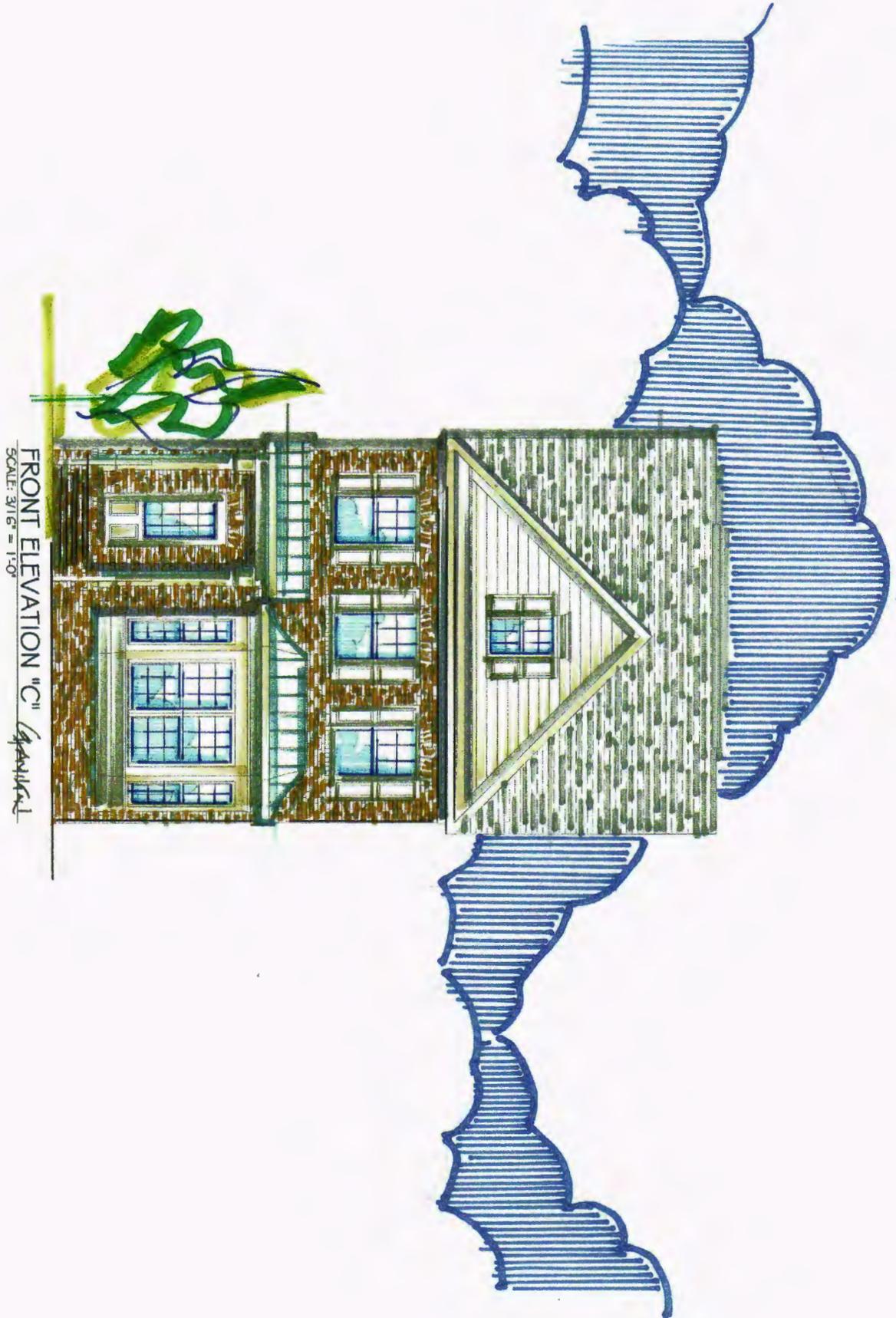


FRONT ELEVATION "A"
SCALE: 3/16" = 1'-0"

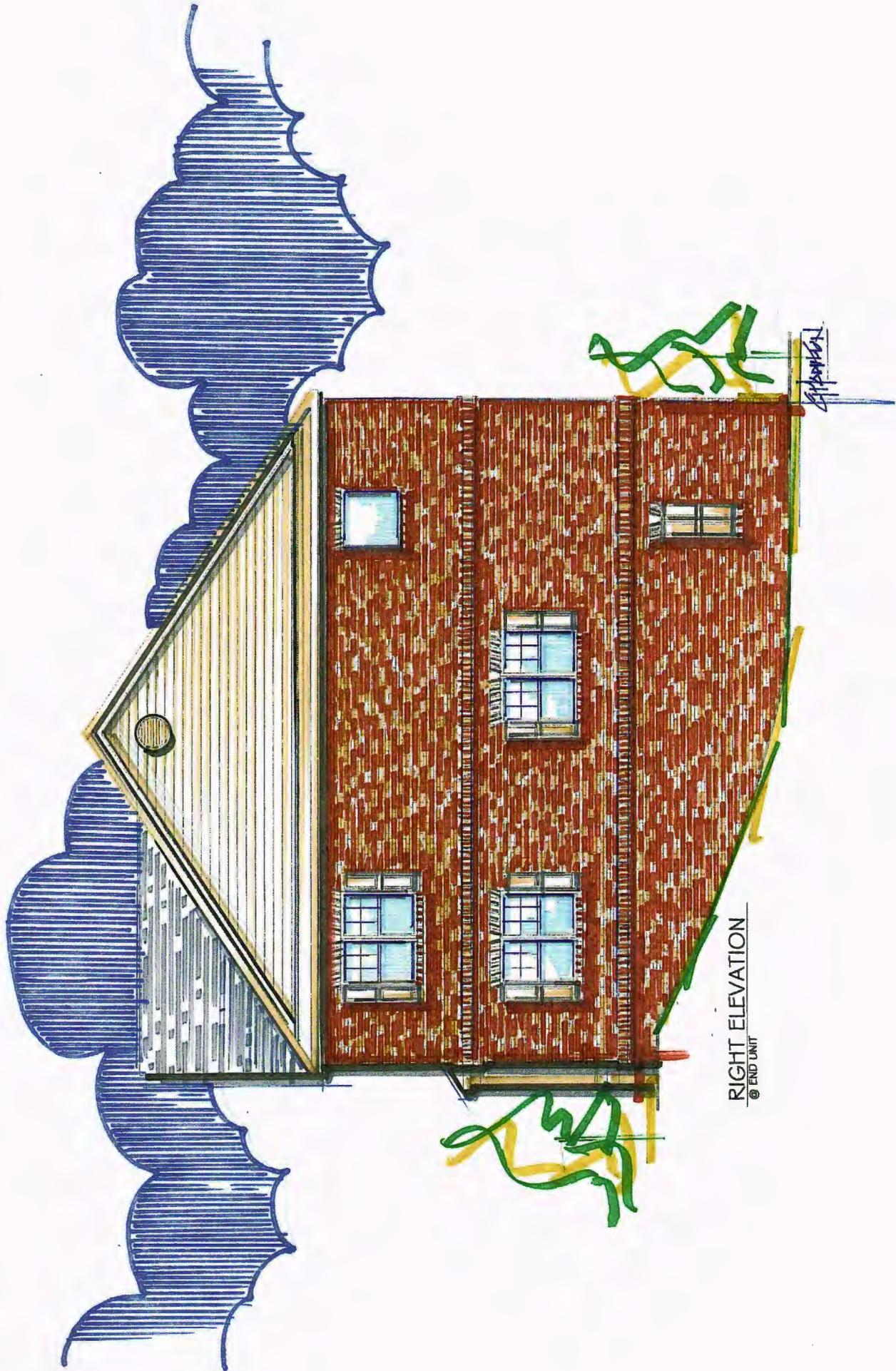
Spang



FRONT ELEVATION "B"
SCALE: 3/16" = 1'-0" *C. G. Winkler*



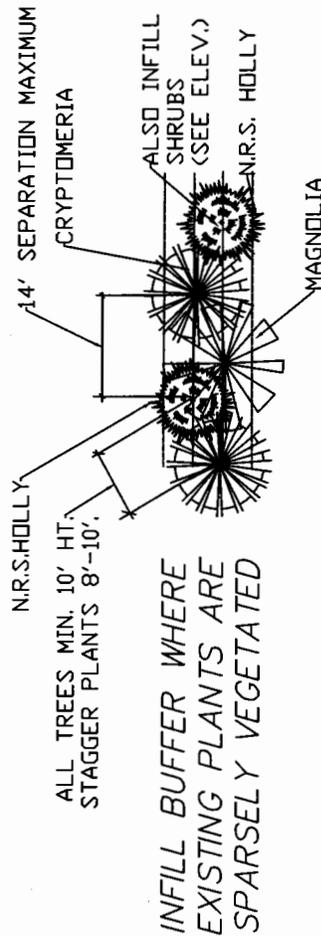
FRONT ELEVATION "C"
SCALE: 3/16" = 1'-0"

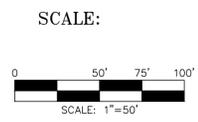


RIGHT ELEVATION
© END UNIT

BUFFER PLANT LIST Quantity per 40LF
January 14, 2015

- 01 CRYPTOMERIA - CRYPTOMERIA japonica
10' Ht. Min.
- 01 SOUTHERN MAGNOLIA - MAGNOLIA grandiflora
10' Ht. Min.
- 02 NELLIE STEVENS HOLLY - Ilex x Nellie R. Stevens
10' Ht. Min.

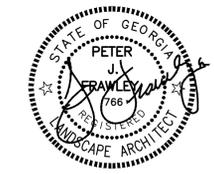




REVISIONS:

DATE	#
-	-

- TREE LIST
- 17 RED MAPLE - ACER rubrum v. Red Sunset 2.5" CAL.
 - 45 EUROPEAN HORNBEAM - CARPINUS betulus 'Fastigiata' 2.5" CAL.
 - 16 REDBUD - CERIS canadensis 2.0" CAL.
 - 62 HOPI CRAPE MYRTLE - Log. indica 2.5" 1094
 - 16 EMILY BRUNER HOLLY - Ilex Emily Bruner 6" HT.
 - 08 EASTERN REDCEDAR - JUNIPERUS virginiana 2.5" CAL.
 - 11 SHUMARD OAK - QUERCUS shumardi 2.5" CAL.
 - 15 BALD CYPRESS - TAXODIUM distichum 2.5" CAL.
 - 13 GREEN EMERALD ARBORVITAE - TUJA occidentalis 'Emerald Green' 2.5" CAL.
 - 22 LACEBARK ELM - ULMUS parvifolia 2.5" CAL.
- BUFFER SCREENING PLANT LIST EVERGREEN TREES
- 09 LINDHUR CEDAR - Cedrus deodora 6" HT.
 - 68 CRYPTOMERIA - CRYPTOMERIA japonica 10' HT.
 - 03 SOUTHERN MAGNOLIA - MAGNOLIA grandiflora 10' HT.
 - 65 NELLIE R. STEVENS HOLLY - Ilex x Nellie R. Stevens 6" HT.
 - 38 WAX MYRTLE - Myrica cerifera 4" HT.

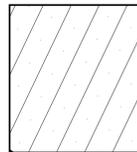


F R A W L E Y
ASSOCIATES, LLC.
LANDSCAPE ARCHITECTS
675 SEMINOLE AVE. (SUITE 101)
ATLANTA, GA 30307 (404) 874-5091
landscapel@pellsouth.net
www.frawleyassociates.com

DUNWOODY VILLAGE TOWNHOMES
LL 366 18TH DISTRICT
CITY OF DUNWOODY, GEORGIA

CONCEPT
LANDSCAPE/BUFFER
SCALE: AS SHOWN
DATE: 05/04/15
PROJECT: FA-15000
SHEET
L-1.#3
SHEET 1 Gr 1

NO	TYPE	SIZE
1	PINE	22
2	SWEETGUM	22
3	SWEETGUM	18
4	PINE	16
5	SWEETGUM	22
6	POPLAR	30
7	WATER OAK	25
8	RED MAPLE	18/15/24/10/6
9	POPLAR	22
10	POPLAR	25
11	OAK	24
12	POPLAR	20
13	POPLAR	22
14	WATER OAK	18
15	SWEETGUM	18
16	OAK	26
17	RED MAPLE	27
18	RED MAPLE	22
19	POPLAR	18
20	HARDWOOD	20
21	POPLAR	23
22	POPLAR	20
23	RED MAPLE	28
24	RED MAPLE	24
25	POPLAR	27
26	OAK	33
27	POPLAR	19
28	PINE	25
29	PINE	18
30	PINE	20
31	SWEETGUM	23
32	PINE	21
33	PINE	20
34	WATER OAK	16
35	SWEETGUM	16
36	WATER OAK	18
37	PINE	24
38	PINE	19
39	PINE	28
40	PINE	27
41	PINE	20
42	RED MAPLE	22
43	RED MAPLE	22
44	POPLAR	19
45	RED MAPLE	19
46	RED MAPLE	13
47	RED MAPLE	24
48	POPLAR	20/18
49	POPLAR	23



HATCH DESIGNATES 75' BUFFER ENCROACHMENT

IMPACT 0.04 ACRE (1,670 SF)

PLAN NOTES:
 1. SURVEY INFORMATION TAKEN FROM AS-BUILT SURVEY BY ESSENTIAL ENGINEERING SERVICES OCTOBER 2014, AS PROVIDED BY CLIENT. TREE INVENTORY PROVIDED BY TERRABUILD, USA, DATED 11-13-2014.
 2. CURRENT ZONING: O-1
 PROPOSED ZONING: RM-100
 3. PROPERTY IS LOCATED ON DUNWOODY VILLAGE PARKWAY, JUST NORTH OF MT. VERNON ROAD, LAND LOT 366, 18TH DISTRICT, CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA.
 TAX PARCEL ID: 1836606061 & 1836606065
 EXISTING BUILDINGS ON-SITE WITH AT THE FOLLOWING ADDRESSES: 1530, 1532, 1536 VILLAGE PARKWAY, DUNWOODY GA 30338.
 1 = 8.38 ACRES+
 IT/DEVELOPER: CYPRESS COMMUNITIES, LLC
 2970 PEACHTREE ROAD SUITE 850
 ATLANTA, GA. 30305

OWNER INFORMATION:
 CO DUNWOODY VILLAGE COURT, LLC
 7390 MCGINNIS FERRY ROAD, SUITE 200
 SUWANEE, GA. 30024

ENGINEER:
 TERRABUILD USA, INC.
 PO BOX 601
 LILBURN, GA 30048

6. BY GRAPHIC PLOTTING ONLY, THIS SITE IS NOT WITHIN THE LIMITS OF A 100 YR FLOOD HAZARD AREA PER FIRM PANELS 13089C0012J LAST REVISED MAY 16, 2013. THIS SITE IS WITHIN ZONE "X".

7. THE SITE CURRENTLY CONTAINS 4 BUILDINGS WITH ASSOCIATED DRIVES/PARKING/ETC. ALL BUILDINGS/DRIVES/PARKING TO BE REMOVED TO CONSTRUCT THE PROPOSED SINGLE FAMILY TOWNHOUSE DEVELOPMENT.
 8. PROPOSED SITE TO BE RE-DEVELOPED WITH SINGLE FAMILY TOWNHOUSE UNITS. TOWNHOMES TO BE SOLD IN FEE-SIMPLE (FOUNDATION OF EACH UNIT). ALL OTHER AREA TO BE OWNED/MAINTAINED BY MANDATORY HOMEOWNERS ASSOCIATION.

9. ALL ON-SITE PRIVATE DRIVES TO BE 24' BACK OF CURB TO BACK OF CURB AS DELINEATED ON PLANS. ALL DRIVEWAYS TO TOWNHOUSE UNITS TO BE A MIN. OF 18 FEET IN LENGTH FROM BACK OF PROPOSED CURB TO FACE OF GARAGE DOORS. SUBDIVISION WILL NOT BE GATED AND WILL HAVE TWO MAIN ENTRANCES FOR ACCESS. PEDESTRIAN ACCESS TO BE ACCOMMODATED AT BOTH ENTRANCES.
 10. DEVELOPER TO REMOVE (1.27 AC) OF EXISTING CURBING, ASPHALT THAT IS PRESENTLY WITHIN THE 75' UNDISTURBED BUFFER. THE DEVELOPMENT WILL IMPACT (0.075 AC) OF THE 75' UNDISTURBED BUFFER. THIS WILL RESULT IN A 94% DECREASE IN IMPACTS TO THE 75' UNDISTURBED BUFFER.

11. SIDEWALKS TO BE PROVIDED AS FOLLOWS:
 a. 5' SIDEWALK TO BE LOCATED WITHIN THE TOWNHOME DEVELOPMENT.
 b. 6' OF ADDITIONAL SIDEWALK ALONG THE FRONTAGE OF DUNWOODY VILLAGE PARKWAY. THIS SIDEWALK WILL BE ADJACENT TO AN EXISTING 6' SIDEWALK THAT WAS RECENTLY INSTALLED BY THE CITY OF DUNWOODY. THE TOTAL SIDEWALK WIDTH WILL BE 12 FEET.

12. THERE ARE BUFFERED STATE WATERS ALONG THE NORTHEAST PROPERTY BOUNDARY. THE STREAM IS AN UN-NAMED TRIBUTARY THAT FLOWS INTO BALL MILL CREEK.

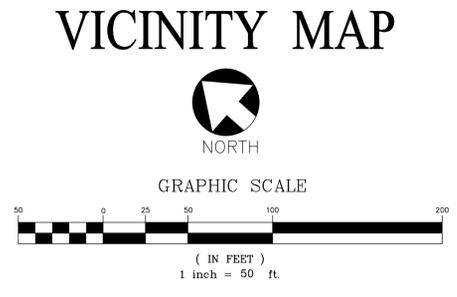
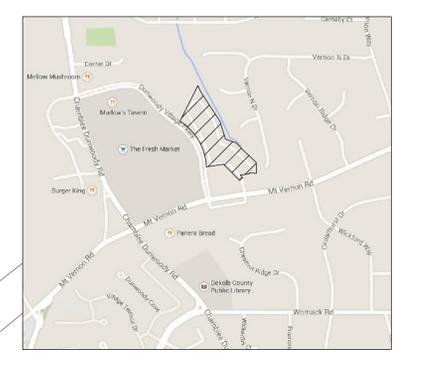
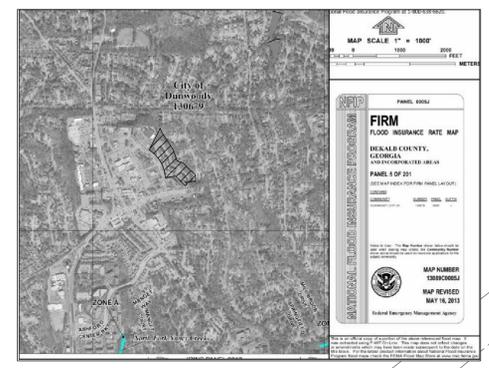
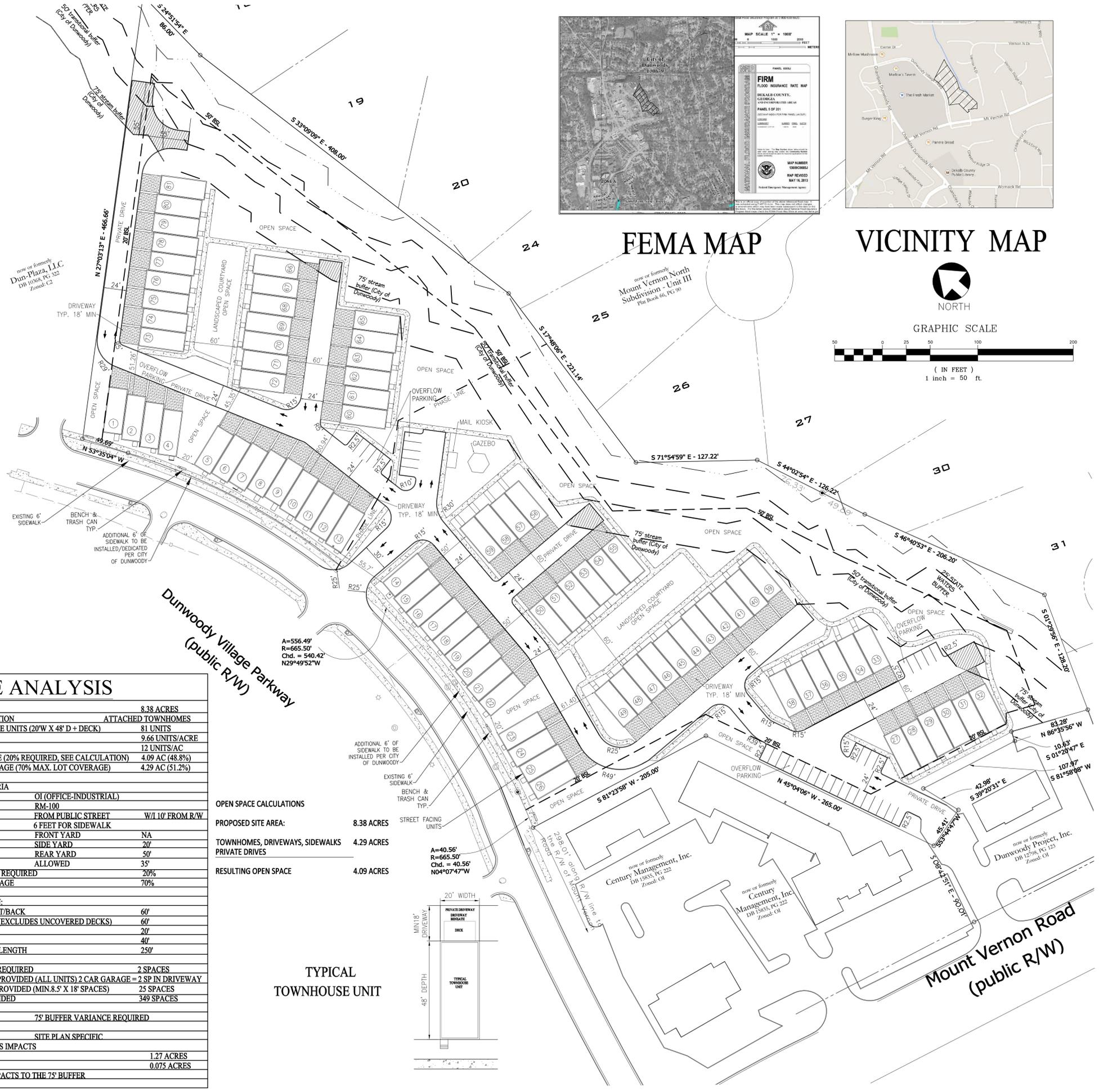
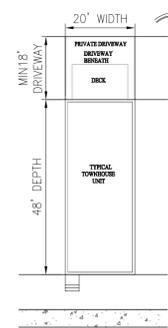
13. WATER & SEWER SERVICE TO BE PROVIDED BY DEKALB COUNTY. EXISTING UTILITIES TO BE MODIFIED SUBJECT TO FINAL LAYOUT/DESIGN.
 14. ALL UTILITIES TO BE UNDERGROUND.

15. NO STORMWATER MANAGEMENT IS PROVIDED FOR THE EXISTING DEVELOPMENT. THE PROPOSED RE-DEVELOPMENT OF THE PROPERTY WILL REQUIRE COMPLIANCE WITH THE CITY OF DUNWOODY STORMWATER REGULATIONS AND WILL LIKELY INCLUDE, ON-SITE UNDERGROUND STORAGE TO PROVIDE CHANNEL PROTECTION VOLUME/ROUTING, PROPRIETARY AND OTHER POTENTIAL STRUCTURAL/NON-STRUCTURAL WATER QUALITY CONTROLS. THE CITY OF DUNWOODY AND CYPRESS COMMUNITIES ARE IN DISCUSSIONS TO COME UP WITH A JOINT PLAN WHERE THE CITY OF DUNWOODY WOULD PROVIDE AN OFF-SITE DETENTION FACILITY TO ACCOMMODATE THE NECESSARY STORMWATER REQUIREMENTS.

16. NO PARKING ANTICIPATED IN SETBACKS (SEE PLAN FOR PARKING LOCATIONS)
 17. 81 TOWNHOMES TO BE FEE SIMPLE OWNERSHIP WITH MANDATORY HOA.
 18. TRASH TO BE COLLECTED WITH HERBIE CURBIE CANS.
 19. CENTRAL MAIL KIOSK TO BE PROVIDED.
 20. ALL OPEN SPACE AREAS ARE TO BE SODDED.

SITE ANALYSIS	
SITE AREA:	8.38 ACRES
PROPOSED CONSTRUCTION	ATTACHED TOWNHOMES
PROPOSED TOWNHOUSE UNITS (20'W X 48' D + DECK)	81 UNITS
DENSITY:	9.66 UNITS/ACRE
MAXIMUM DENSITY	12 UNITS/AC
PROPOSED OPEN SPACE (20% REQUIRED, SEE CALCULATION)	4.09 AC (48.8%)
PROPOSED LOT COVERAGE (70% MAX. LOT COVERAGE)	4.29 AC (51.2%)
RM-100 ZONING CRITERIA	
EXISTING ZONING:	O1 (OFFICE-INDUSTRIAL)
PROPOSED ZONING	RM-100
SETBACKS:	FROM PUBLIC STREET W/10' FROM R/W 6 FEET FOR SIDEWALK
	FRONT YARD NA
	SIDE YARD 20'
	REAR YARD 50'
HEIGHT OF BUILDING:	ALLOWED 35'
MINIMUM OPEN SPACE REQUIRED	20%
MAXIMUM LOT COVERAGE	70%
BUILDING SEPERATION:	
FRONT TO FRONT/BACK	60'
BACK TO BACK (EXCLUDES UNCOVERED DECKS)	60'
SIDE TO SIDE	20'
FRONT TO SIDE	40'
MAX BUILDING LENGTH	250'
OFF STREET PARKING REQUIRED	
OFF STREET PARKING PROVIDED (ALL UNITS) 2 CAR GARAGE = 2 SP IN DRIVEWAY	2 SPACES
ON-STREET PARKING PROVIDED (MIN. 8.5' X 18' SPACES)	25 SPACES
TOTAL PARKING PROVIDED	349 SPACES
VARIANCES:	75' BUFFER VARIANCE REQUIRED
STREAM BUFFER SITE PLAN SPECIFIC	
75' BUFFER IMPERVIOUS IMPACTS	
EXISTING:	1.27 ACRES
PROPOSED (3,300 SF)	0.075 ACRES
95% REDUCTION IN IMPACTS TO THE 75' BUFFER	

OPEN SPACE CALCULATIONS	
PROPOSED SITE AREA:	8.38 ACRES
TOWNHOMES, DRIVEWAYS, SIDEWALKS	4.29 ACRES
PRIVATE DRIVES	
RESULTING OPEN SPACE	4.09 ACRES



CLIENT
CYPRESS COMMUNITIES, LLC
 2970 PEACHTREE ROAD, SUITE 850 ATLANTA, GEORGIA 30305

PROJECT
DUNWOODY VILLAGE TOWNHOMES
 LL 366, 18TH DISTRICT, CITY OF DUNWOODY, DEKALB COUNTY, GA

TerraBuild PROJECT NO. E14026

 P.O. BOX 601
 Lilburn, Georgia 30048
 Office: 770.900.7619, Fax: 770.783.5856
 www.TerraBuildUSA.com

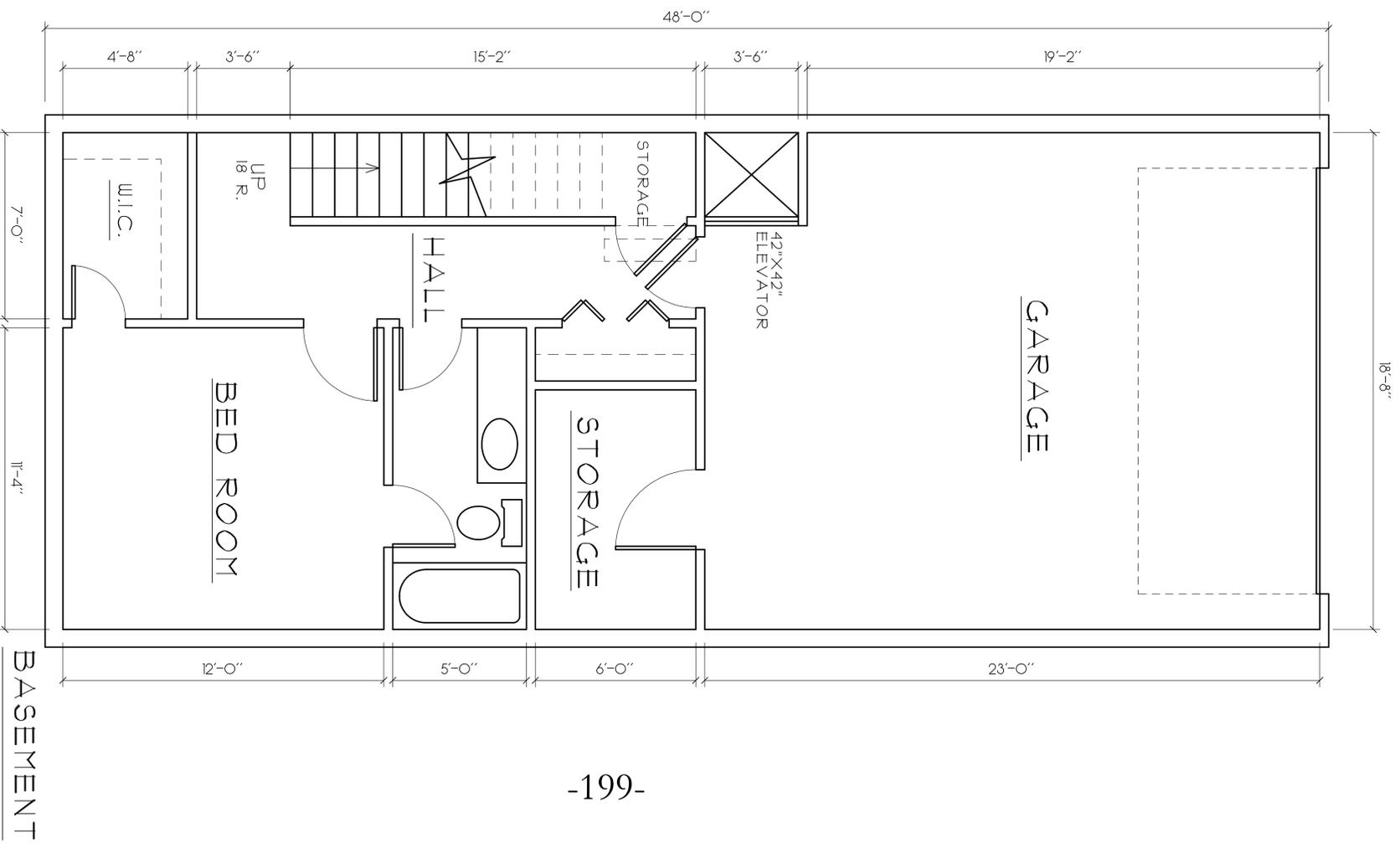
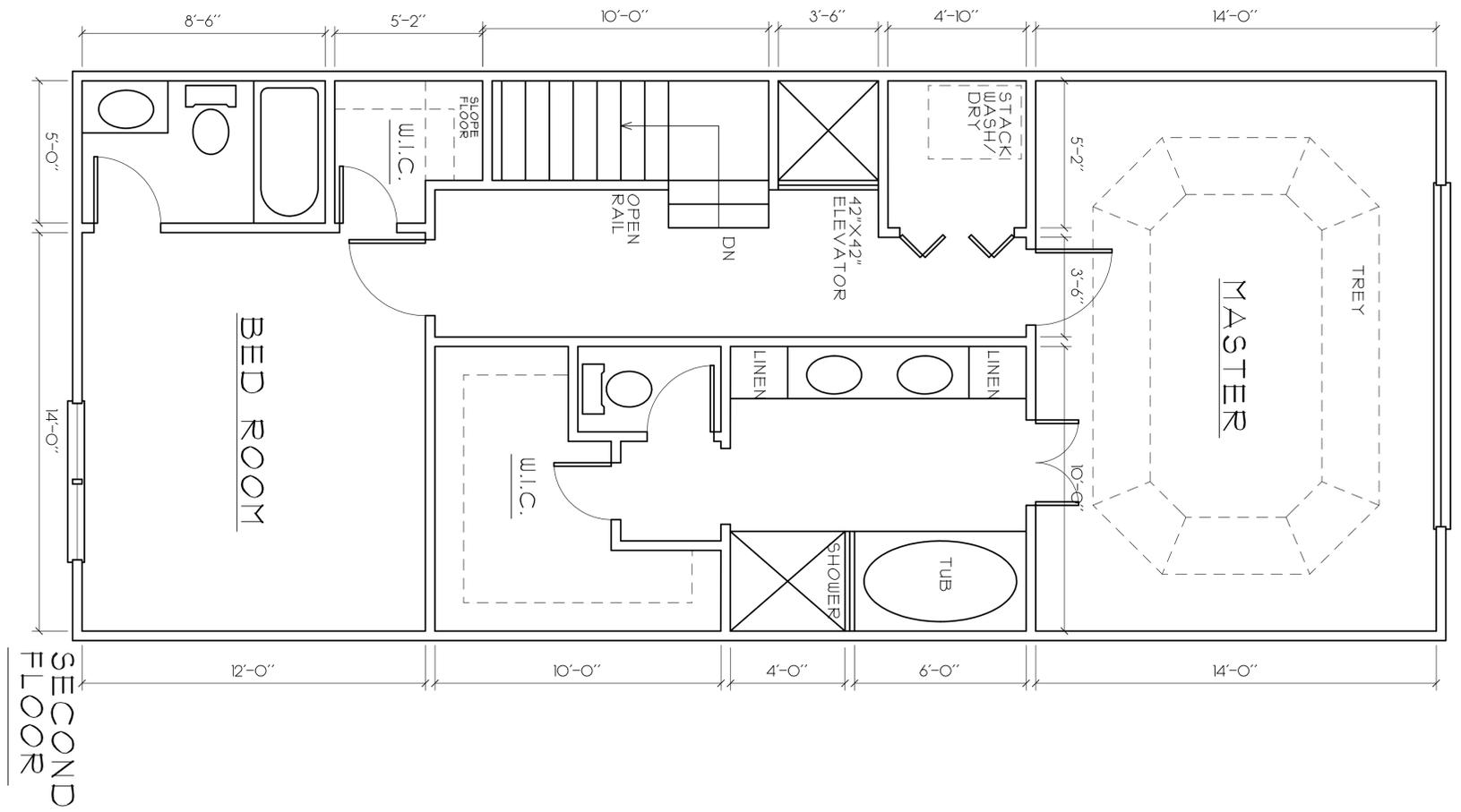
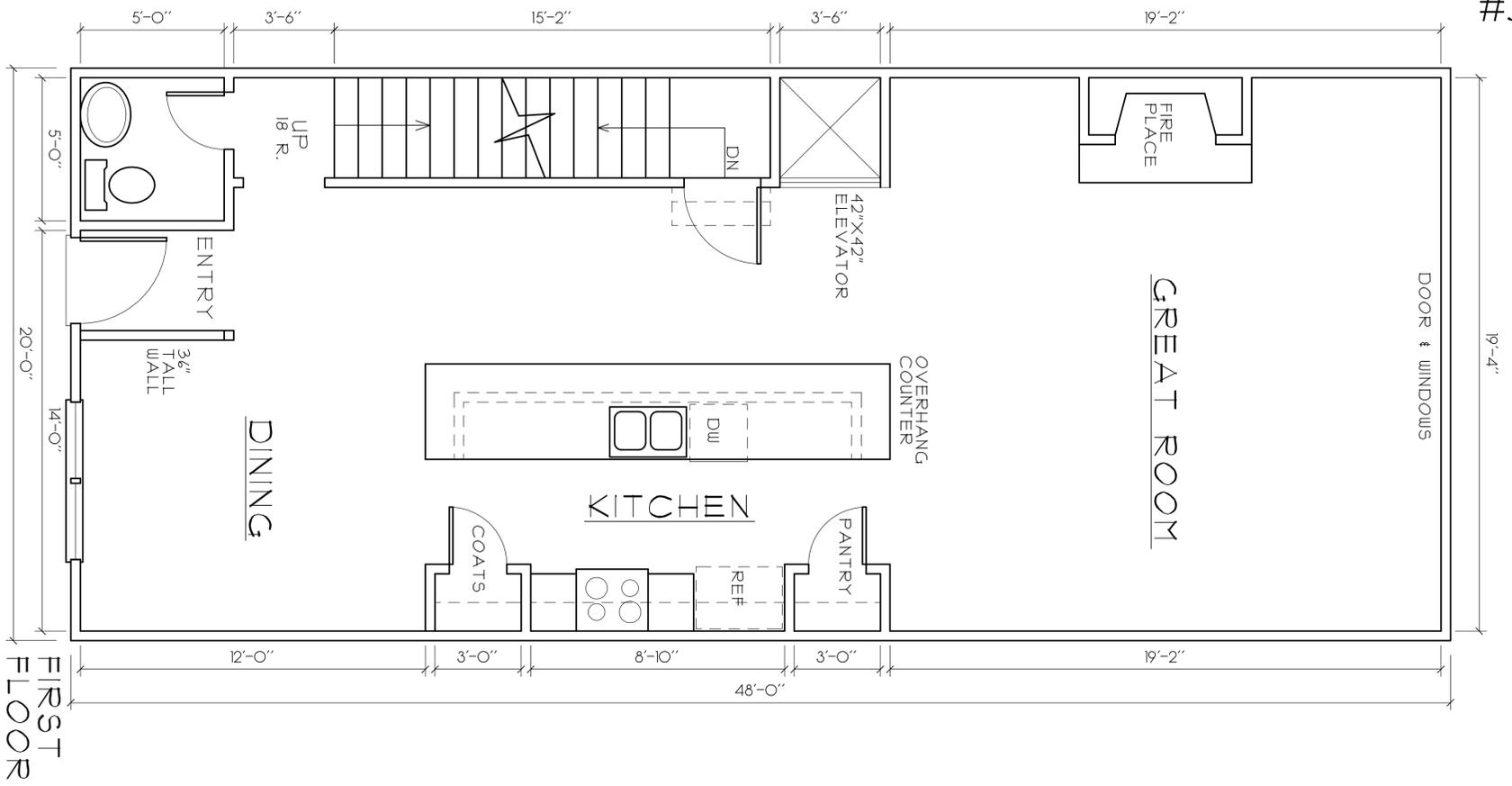


NOT VALID WITHOUT SIGNATURE AND DATE
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DESIGNED BY
DRAWN BY
CHECKED BY
APPROVED BY
MAR 10, 2015
REVISIONS
02-08-2015
REV. DW LENGTH
02-19-2015
STAFF COMMENTS
03-09-2015
STAFF COMMENTS
03-25-2015
STAFF COMMENTS
05-02-2015
STAFF COMMENTS

DRAWING TITLE
SITE PLAN
 DRAWING NUMBER
C-1

#3 TerraBuild USA, Inc. MANAGE BUILD DESIGN PLAN ENVISION

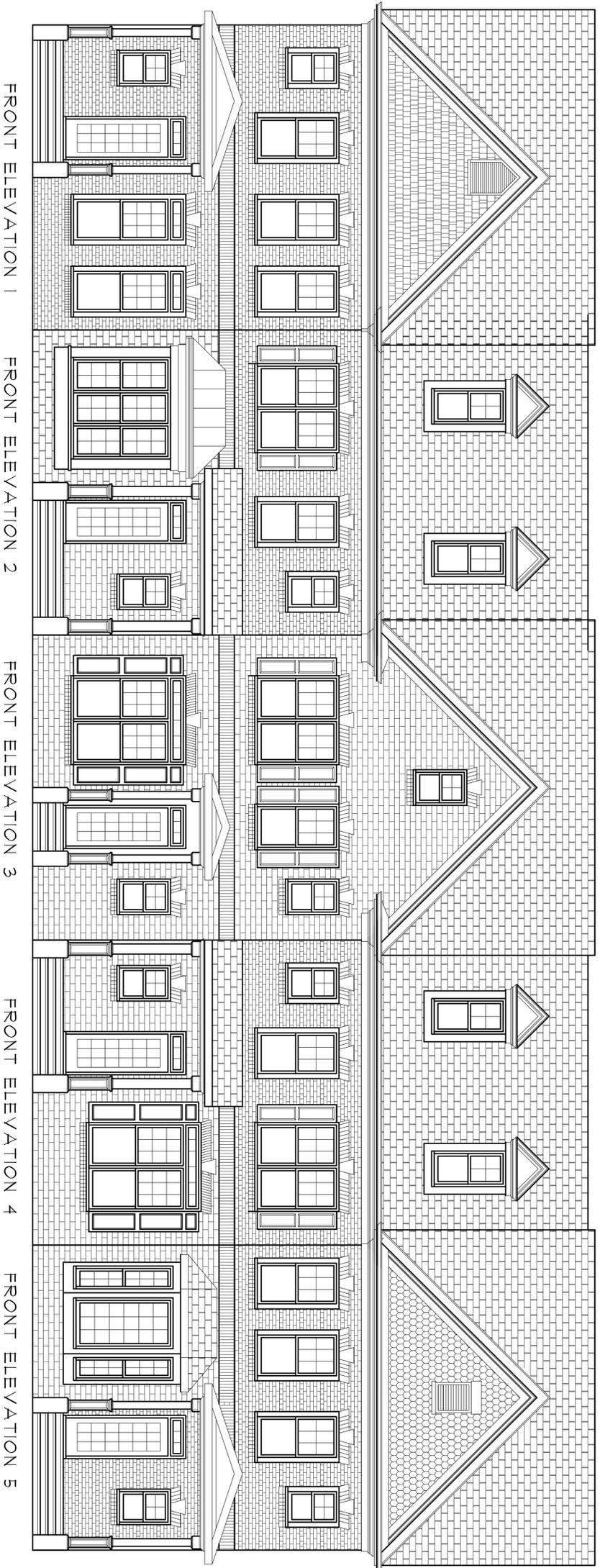


DUNWOODY VILLAGE TOWNHOMES

Cypress Communities
 2970 Peachtree Road
 Suite 850
 Atlanta, GA 30305

#3.

DUNWOODY VILLAGE TOWNHOMES



Cypress Communities
2970 Peachtree Road
Suite 850
Atlanta, GA 30305



May 15, 2015

VIA EMAIL (andrew.russell@dunwoodyga.gov)

Mr. Andrew Russell
PLANNING COORDINATOR
CITY OF DUNWOODY
41 Perimeter Center East
Suite 250
Dunwoody, GA 30346

Carl E. Westmoreland, Jr.
404-504-7799
cwestmoreland@mmmlaw.com
www.mmmlaw.com

Re: RZ 15-021; 1530 and 1536 Dunwoody Village Parkway (the "Application")

Dear Andrew:

Please add this letter to the file of the above referenced application in order to preserve the rights of our clients Cypress Communities LLC (the "Applicant").

Denial of the Application would be unconstitutional in that it would unreasonably impair and destroy the Applicant's property rights without first paying fair, adequate and just compensation for such rights, in violation of Article I, Section I, Paragraph I of the Constitution of the State of Georgia of 1983, Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

Denial of the Application would also be unconstitutional, illegal, null and void, constituting a taking of Applicant's property in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States, Article I, Section I, Paragraph I, and Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and the Equal Protection and Due Process Clauses of the Fourteenth Amendment to the Constitution of the United States, by denying the Applicant an economically viable use of their land while not substantially advancing legitimate state interests.

Denial of the Application would constitute an unreasonable and extreme hardship upon the Applicant, without remotely advancing the public health, safety and welfare and would constitute an arbitrary and capricious act by the Dunwoody Mayor and City Council without any rational basis therefore, constituting an abuse of discretion in violation of Article I, Section I,

Mr. Andrew Russell
CITY OF DUNWOODY
May 15, 2015
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Paragraph I of the Constitution of the State of Georgia of 1983, Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

Denial of the Application by the Dunwoody Mayor and City Council would also violate the Applicant's rights under the First Amendment to the Constitution of the United States and would unconstitutionally discriminate, in an arbitrary, capricious and unreasonable manner, between the Applicant and owners of other similarly situated properties in the City of Dunwoody in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States. Approval of the Application subject to conditions other than as proposed by the Applicant would likewise violate the constitutional provisions cited above.

Best regards,



Carl E. Westmoreland, Jr.

cc: Mr. Lonnie Moss (via email lonnie@cypress-communities.com)