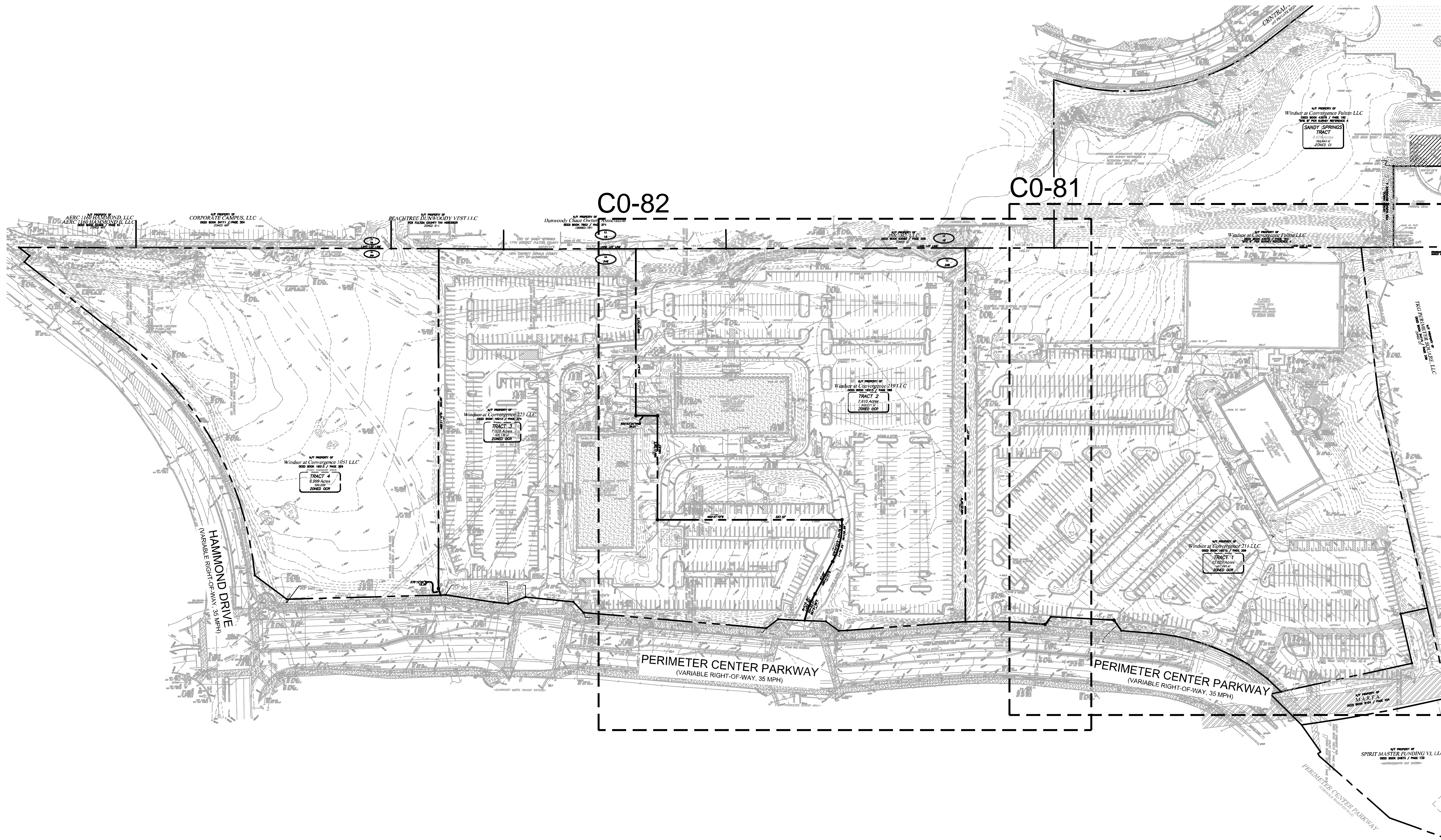


Drawing name: K:\ALP_PRJ\019473000_GID - High Street\CAD\1\PlanSheets\Phase 1\CO-80 - EXISTING CONDITIONS PLAN.dwg CO-80 OVERALL EXISTING CONDITIONS PLAN Aug 16, 2019 1:27pm by: deneck.zittrauer



EXISTING CONDITIONS NOTES:

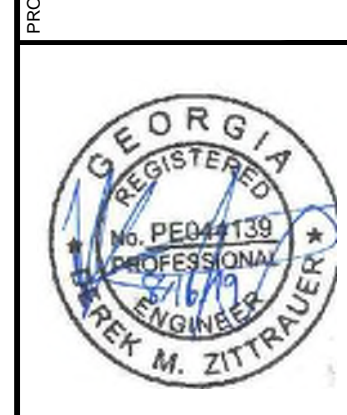
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY GEOSURVEY, LTD DATED 05/26/2015.
- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- ALL INTERPRETATIONS OR CLARIFICATIONS OF THE SURVEY SHALL BE MADE DIRECTLY BY THE SURVEYOR. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFFECTING THE WORK UNDER THIS CONTRACT.

Kimley»Horn
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 11720 AMBER PARK DRIVE, SUITE 600
 ALBUQUERQUE, NM 87120
 PHONE (770) 619-4284
 WWW.KIMLEY-HORN.COM

PREPARED FOR
HIGH STREET DEVELOPMENT LLC
 125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
 BOCA RATON, FL 33433
 PHONE: (617) 654-6641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HIGH STREET - PHASE 1
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
 LAND LOT 348, 18TH DISTRICT

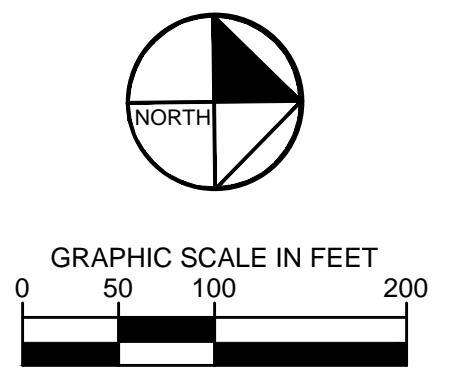


GSWCC NO. 0000076500
 (LEVEL II)
 DRAWN BY KHA
 DESIGNED BY DMZ
 REVIEWED BY LHF
 DATE 08/16/2019
 PROJECT NO. 019473006

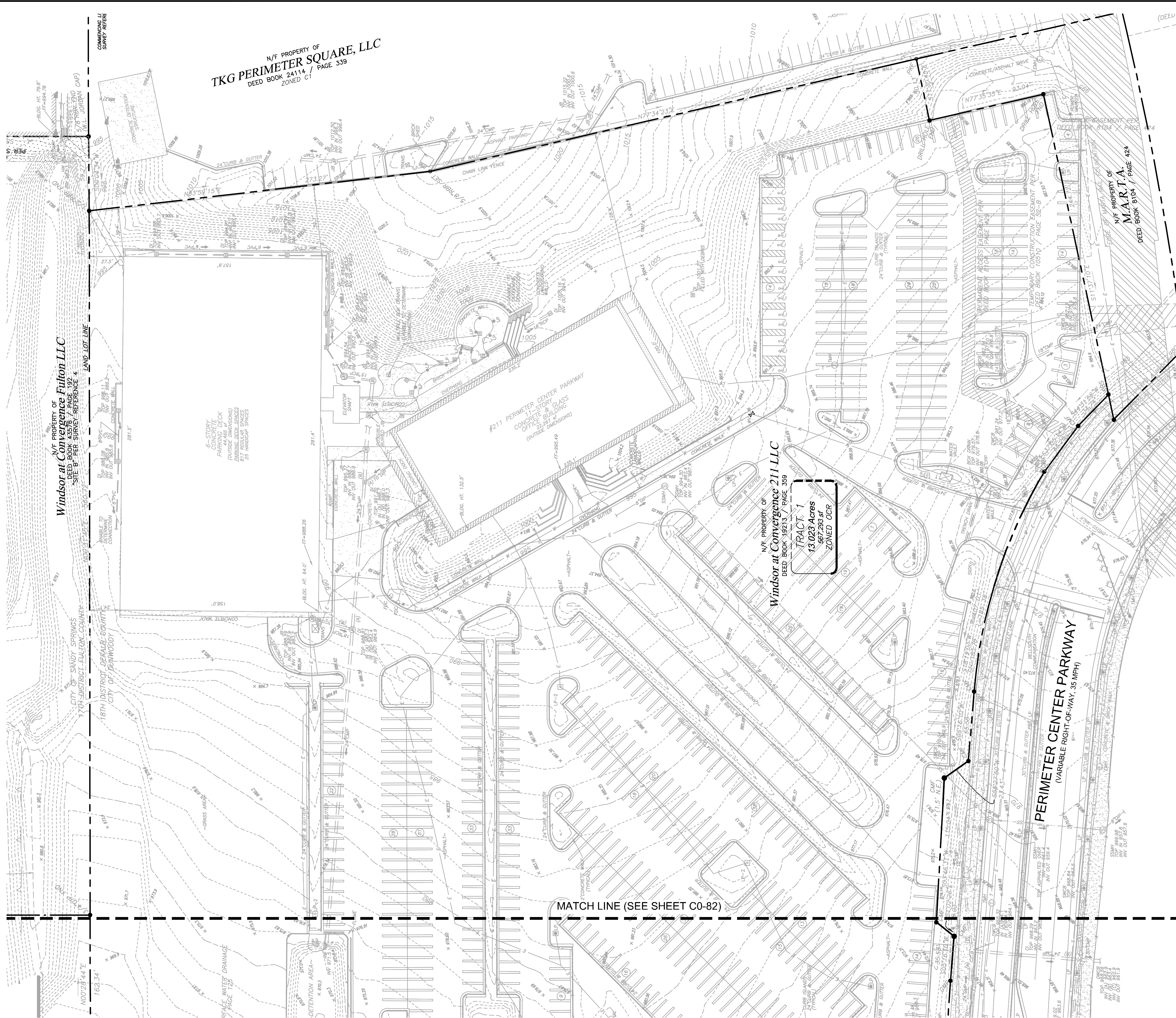
TITLE **OVERALL EXISTING CONDITIONS PLAN**

SHEET NUMBER **C0-80**

GEORGIA811
 Utility Protection Center, Inc.
 Know what's below. Call before you dig.



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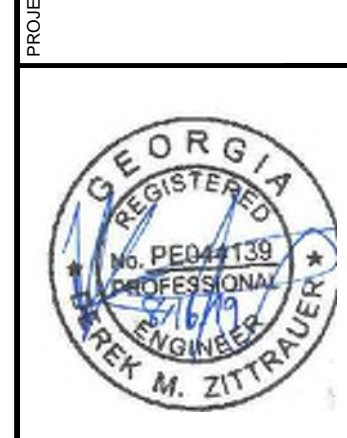
- EXISTING CONDITIONS NOTES:**
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY GEOSURVEY, LTD DATED 05/26/2015.
 - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
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Kimley Horn
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 ALPHARETTA, GA 30009
 PHONE: (770) 619-4280
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HIGH STREET DEVELOPMENT LLC
 PREPARED FOR
 125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
 BOSTON, MA 02110
 PHONE: (617) 654-6641

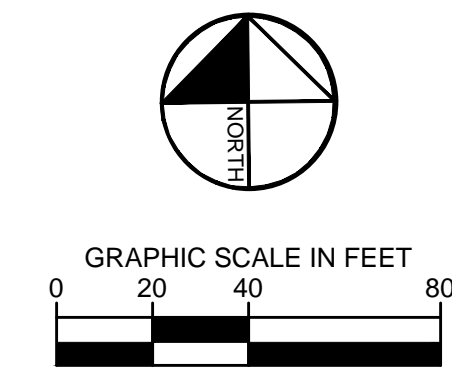
NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

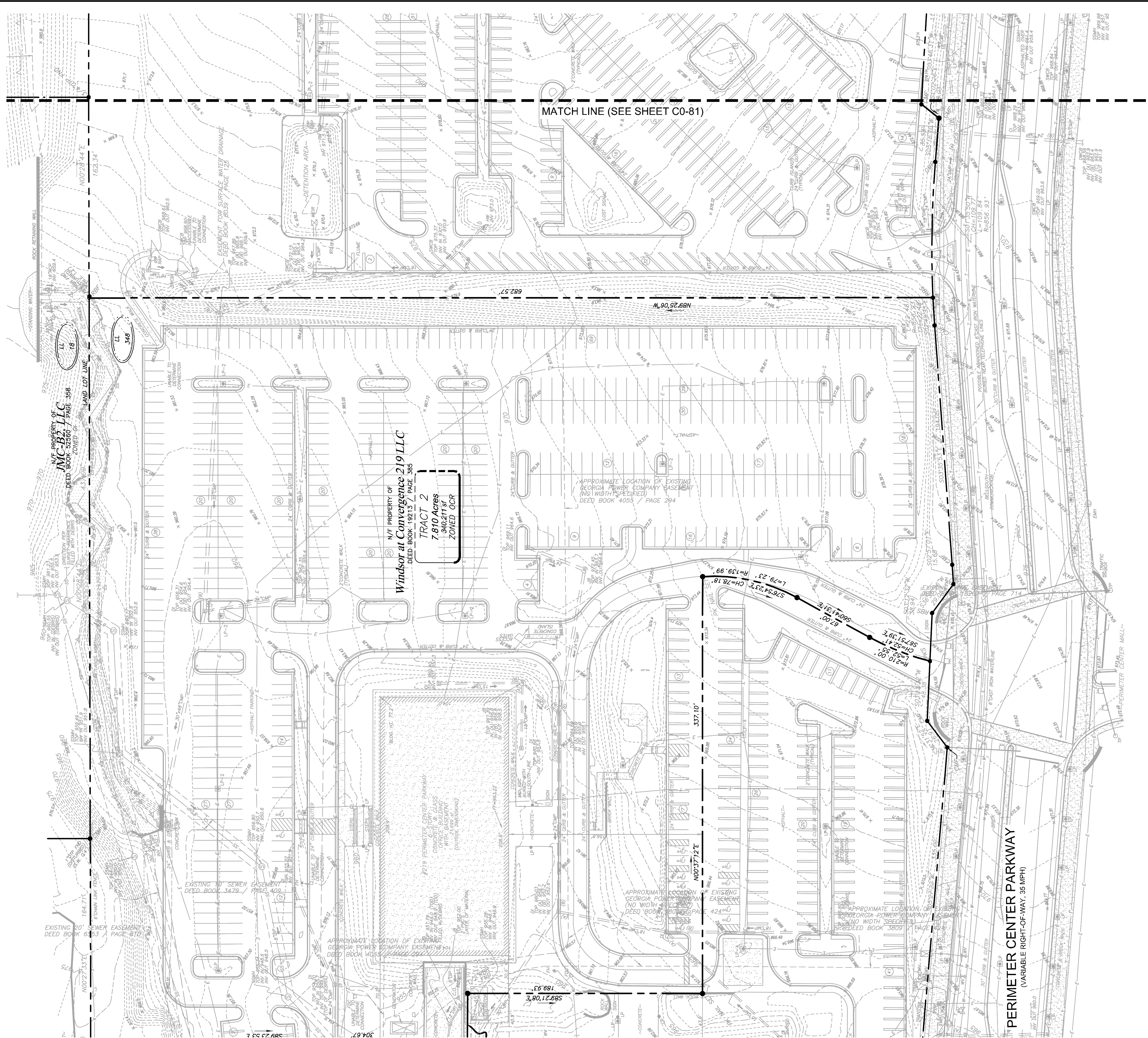
HIGH STREET - PHASE 1
 PROJECT
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
 LAND LOT 348, 18TH DISTRICT



GSWCC NO. (LEVEL II) 0000076500
 DRAWN BY KHA
 DESIGNED BY DMZ
 REVIEWED BY LHF
 DATE 08/16/2019
 PROJECT NO. 019473006

TITLE
EXISTING CONDITIONS PLAN NORTH
 SHEET NUMBER
C0-81





- EXISTING CONDITIONS NOTES:**
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY GEOSURVEY, LTD DATED 05/26/2015.
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PREPARED FOR

HIGH STREET - DEVELOPMENT LLC

125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110
PHONE: (617) 654-6641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HIGH STREET - PHASE 1

211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
LAND LOT 348, 18TH DISTRICT

PROJECT

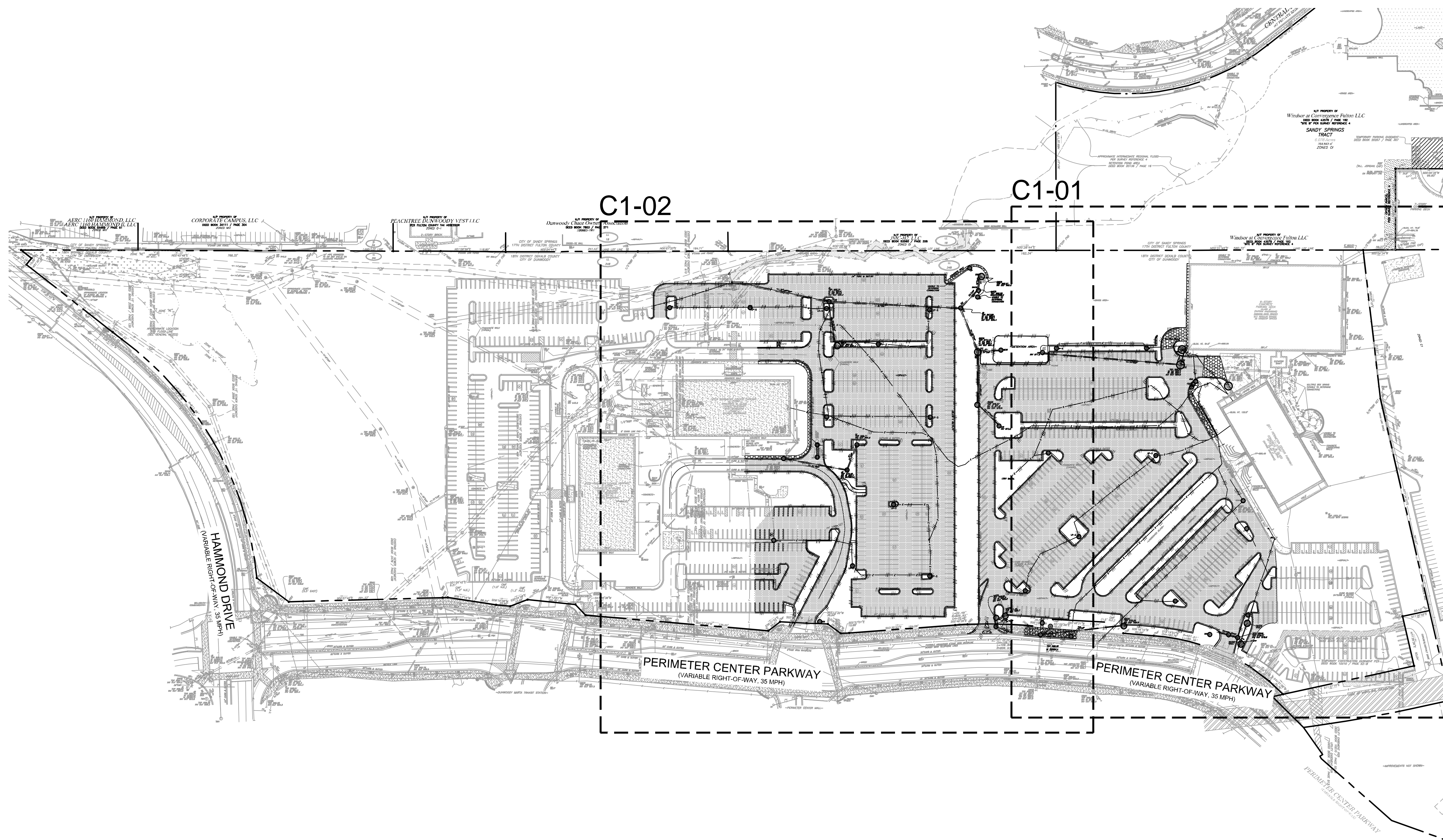
GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY LHF
DATE 08/16/2019
PROJECT NO. 019473006
TITLE

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GRAPHIC SCALE IN FEET

C0-82


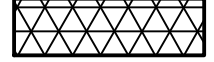
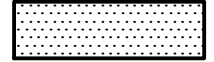
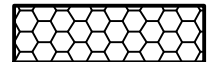
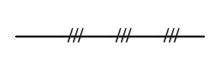

Drawing name: K:\ALP_PRJ\019473000_GID - High Street\CAD\DDI\PlanSheets\Phase 1\C1-00 - DEMOLITION PLAN.dwg C1-00 DEMOLITION PLAN Aug 16, 2019 1:53pm by russell.noah



DEMOLITION NOTES:

- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
- EXISTING SOIL SERIES IS AmC, CeB, Ud, PID, Ca, CaA, ReD, Ub, WeC, GwC2 AND A&B FOR ENTIRE DISTURBED AREA.
- TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR TREE REMOVAL AND PROTECTION.
- CONSTRUCTION FENCING OR SILT FENCE SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING STREETS UNLESS CLOSURE PERMIT IS OBTAINED.
- CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
- NO GRADED SLOPE SHALL EXCEED 2H:1V.
- THE PROJECT SITE DOES LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 13089C0011J DATED 05/16/2013.
- CONTRACTOR SHALL MAINTAIN AN ADA COMPLIANT PEDESTRIAN PATH ALONG THE ADJACENT STREET FRONTAGE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.
- CONTRACTOR SHALL PREPARE A PROJECT NOTIFICATION FOR ASBESTOS RENOVATION, ENCAPSULATION, OR DEMOLITION FORM AND SUBMIT TO THE EPD ASBESTOS PROGRAM 10 DAYS PRIOR TO DEMOLITION ACTIVITIES. FORM SHALL BE PREPARED AND ASBESTOS STUDY COMPLETED TO MEET EPD AND LOCAL REQUIREMENTS.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
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- EXISTING SIGNALIZED INTERSECTIONS ALONG PERIMETER CENTER PARKWAY TO REMAIN OPERATIONAL DURING CONSTRUCTION.

DEMOLITION LEGEND:

-  REMOVE EXISTING OBJECT
-  REMOVE EXISTING STRUCTURE
-  REMOVE EXISTING ASPHALT PAVEMENT
-  REMOVE EXISTING CONCRETE PAVEMENT
-  REMOVE EXISTING UTILITIES, FENCING, CURB & GUTTER, & WALLS
-  REMOVE EXISTING TREES / BUSHES (REFERENCE LANDSCAPE PLANS)

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 11720 AMBER PARK DRIVE, SUITE 600
 ALBANY, GA 31706-5009
 PHONE (770) 819-4282
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PREPARED FOR
HIGH STREET DEVELOPMENT LLC
 125 HIGH STREET - HIGH STREET TOWER, 27TH FLOOR
 BOSTON, MA 02110
 PHONE: (617) 684-6641

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

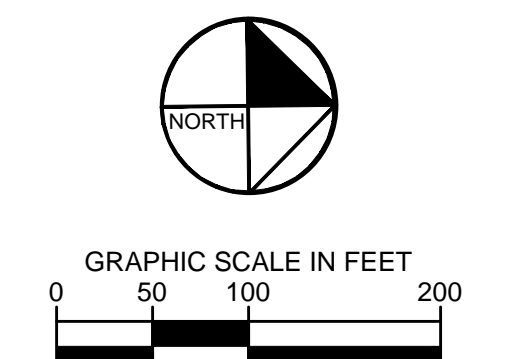
HIGH STREET - PHASE 1
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
 LAND LOT 348, 18TH DISTRICT

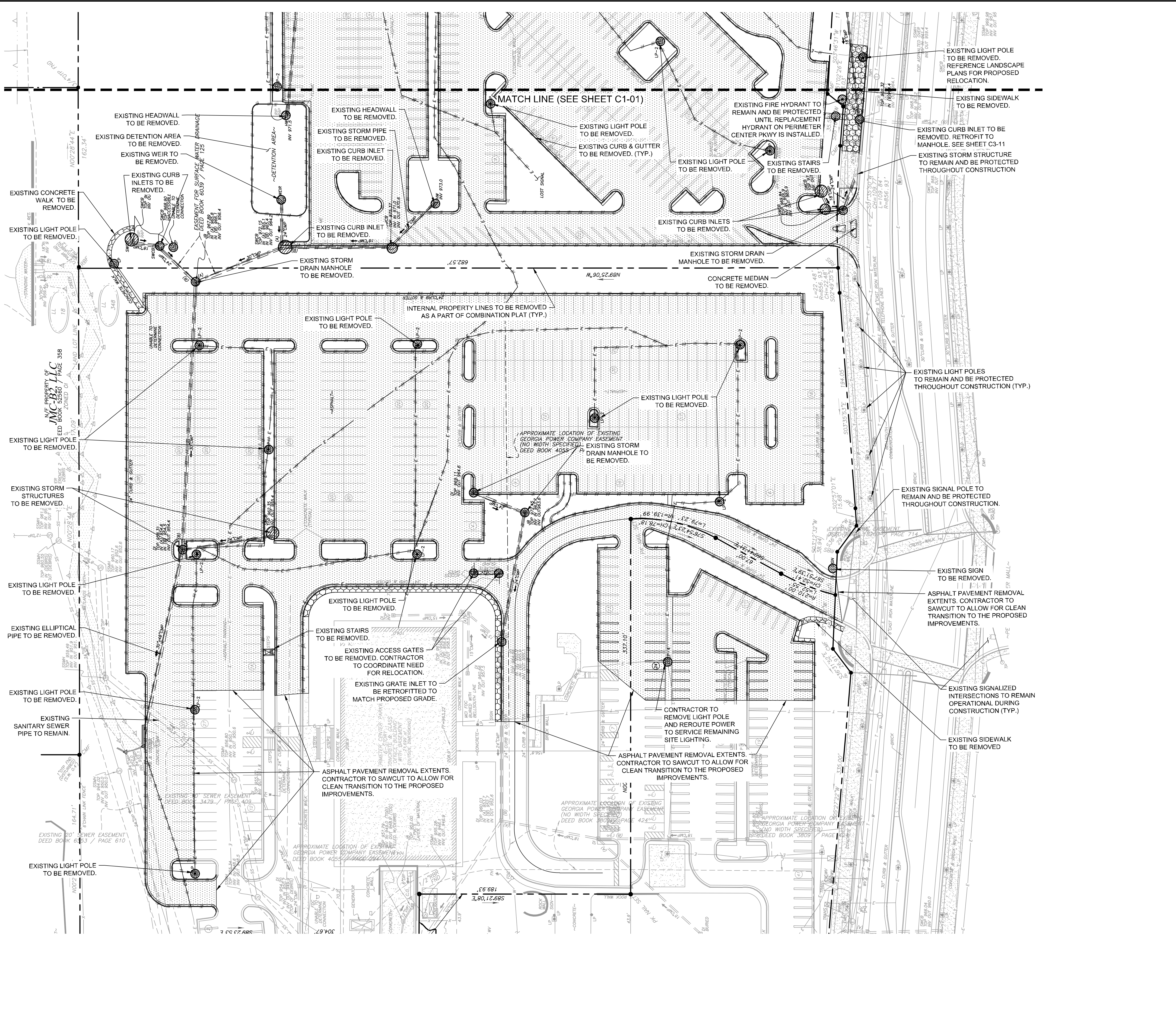


GSWCC NO. (LEVEL II) 0000076500
 DRAWN BY KHA
 DESIGNED BY DMZ
 REVIEWED BY LHF
 DATE 08/16/2019
 PROJECT NO. 019473006

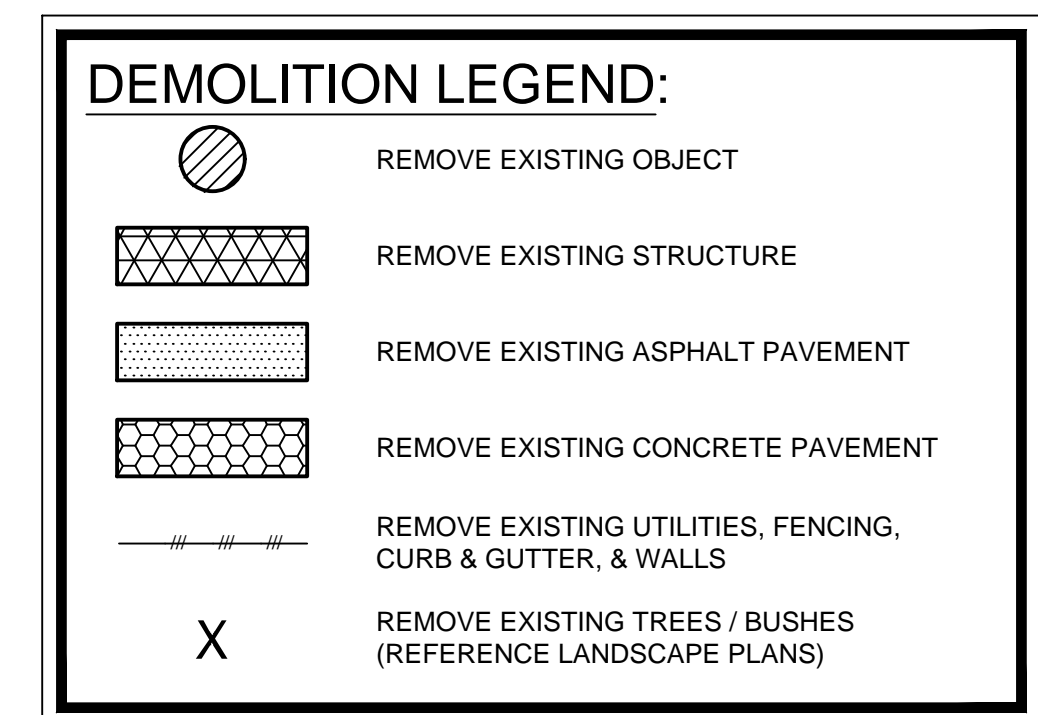
TITLE
OVERALL DEMOLITION PLAN

SHEET NUMBER
C1-00





- ### DEMOLITION NOTES:
- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
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GRAPHIC SCALE IN FEET
0 20 40 80

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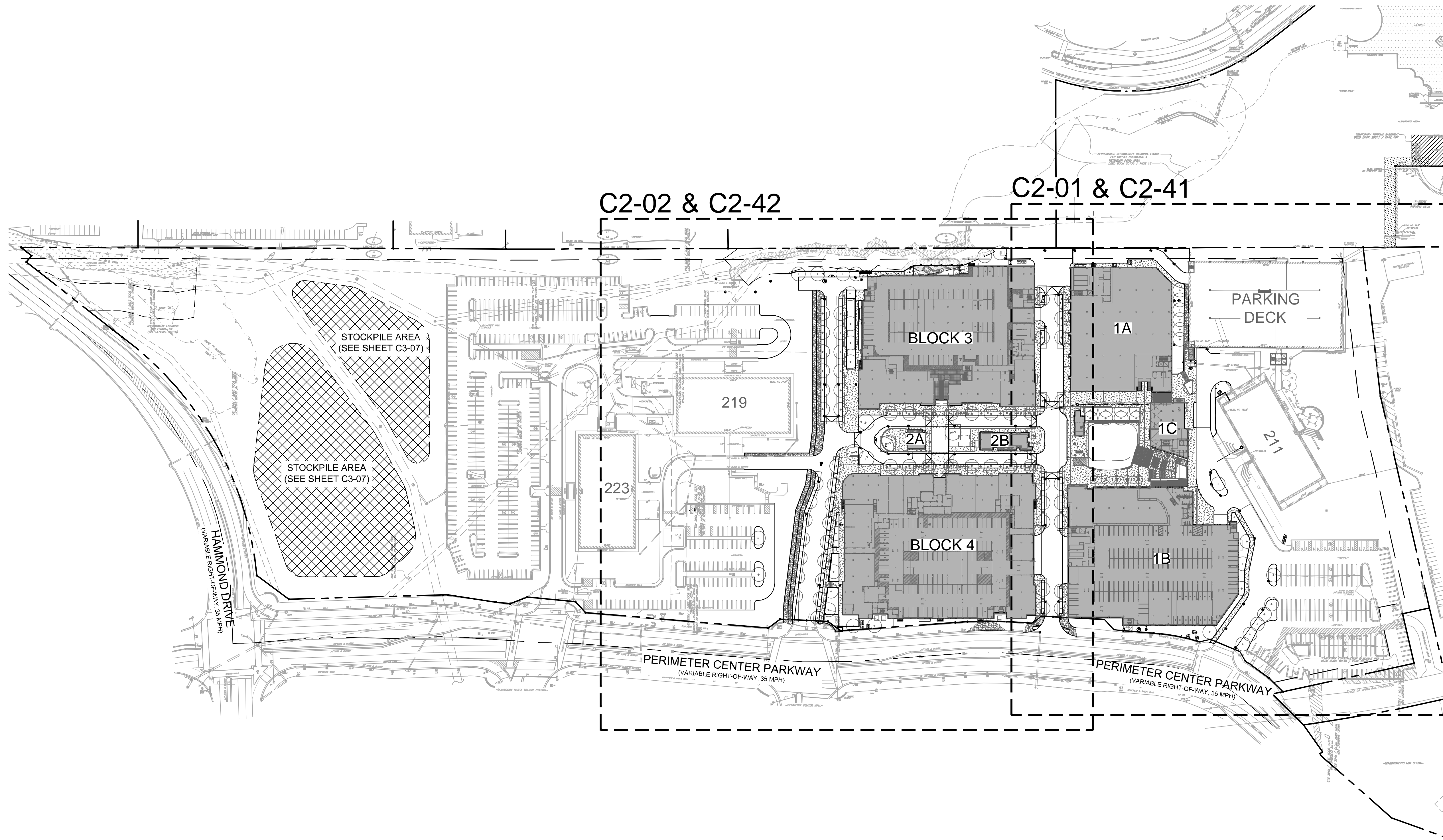
GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006
TITLE	DEMOLITION PLAN SOUTH
SHEET NUMBER	C1-02

PREPARED FOR
HIGH STREET DEVELOPMENT LLC
125 HIGH STREET - HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110
PHONE: (617) 654-6641
WWW.KIMLEY-HORN.COM

PROJECT
HIGH STREET - PHASE 1
211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
LAND LOT 348, 18TH DISTRICT

REGISTERED PROFESSIONAL ENGINEER
MARK M. ZITTAUER

Drawing name: K:\ALP_P\019473000_GID - High Street\CAD\DDI\PlanSheets\Phase 1\C2-00 - SITE PLAN.dwg C2-00 OVERALL SITE PLAN Aug 16, 2019 4:02pm by: derek.zittrauer



DEVELOPMENT SUMMARY:

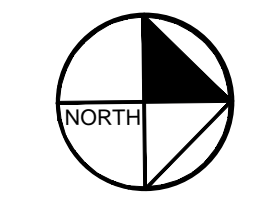
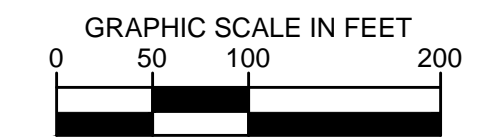
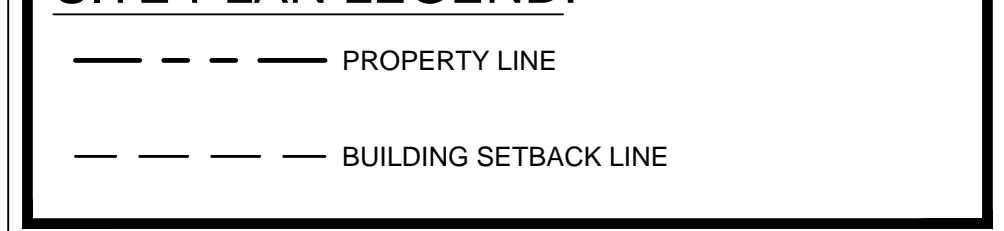
SITE SUMMARY:

CURRENT ZONING:	OCRc
SITE AREA:	34.86 ACRES
ROW DEDICATION:	0.03 ACRES
ROW SWAP RECLAMATION:	0.01 ACRES
ADJUSTED SITE AREA:	34.84 ACRES
MAX IMPERVIOUS AREA ALLOWED:	29.96 ACRES (86.0%)
MIN PERVIOUS AREA ALLOWED:	4.88 ACRES (14.0%)
TOTAL DISTURBED AREA:	16.3 ACRES
BUILDING SETBACK:	
FRONT (PERIMETER CENTER PARKWAY):	0 FT
SIDE (PERIMETER CENTER PARKWAY):	0 FT
SIDE (CITY/COUNTY LOT LINE):	20 FT
REAR (NORTHERN PROPERTY LINE):	40 FT
LANDSCAPE SETBACK:	0 FT
PROPOSED LAND USES & DENSITIES:	
MULTIFAMILY RESIDENTIAL	600 UNITS
RETAIL/RESTAURANT	194,800 SF
OFFICE	44,300 SF
PARKING SUMMARY:	
REQUIRED PARKING (SEE SHEET C1-00):	
EXISTING OFFICE (227,100 SF)	736 SPACES (3,241,000 SF)
PROPOSED OFFICE (44,300 SF)	144 SPACES (3,241,000 SF)
MULTIFAMILY (600 UNITS)	894 SPACES (1,49 UNITS)
RETAIL/RESTAURANT (194,800 SF)	632 SPACES (3,241,000 SF)
	2,406 SPACES
PROPOSED PARKING:	
EXISTING 211 PARKING GARAGE	815 SPACES
EXISTING 211 SURFACE PARKING	176 SPACES
PROPOSED PARKING DECKS	1512 SPACES
PROPOSED SURFACE PARKING	8 SPACES
	2,511 SPACES (TOTAL)

SITE NOTES:

1. THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY DWELL DESIGN STUDIO, LLC, DATED 06/26/2019 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY GEOSURVEY, LTD, DATED 05/26/2015.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
5. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.
7. PHASE 1 DEVELOPMENT SHALL BE CONSISTENT WITH SITE PLAN APPROVED 12/20/2018.

SITE PLAN LEGEND:



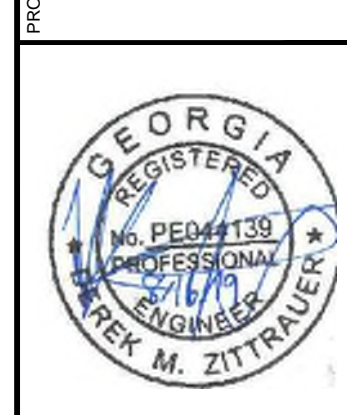
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 ALPHARETTA, GA 30009
 PHONE (770) 619-4284
 WWW.KIMLEY-HORN.COM

PREPARED FOR
HIGH STREET DEVELOPMENT LLC
 125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
 BOSTON, MA 02110
 PHONE: (617) 654-6641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

PROJECT
HIGH STREET - PHASE 1
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30046
 LAND LOT 348, 18TH DISTRICT



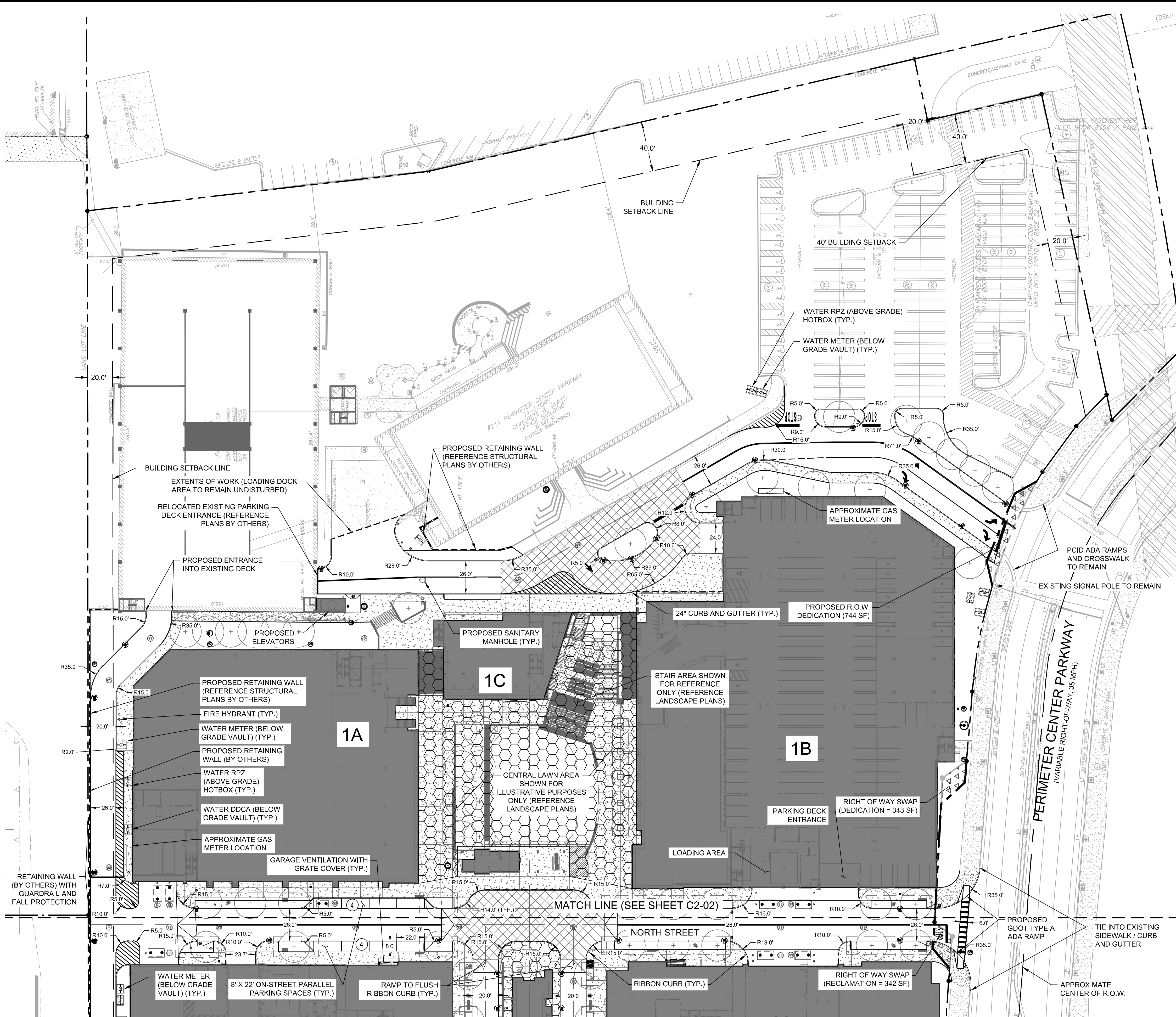
GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006

TITLE
OVERALL SITE PLAN

SHEET NUMBER
C2-00

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Drawing name: K:\ALP_PR\019473000_GID - High Street\Phase 1\C2-01 - SITE PLAN\dwg C2-01 SITE PLAN NORTH Aug 16, 2019 4:09pm by: derek.zittrauer



DEVELOPMENT SUMMARY:

SITE SUMMARY:	
CURRENT ZONING:	OCRC
SITE AREA:	34.86 ACRES
ROW DEDICATION:	0.03 ACRES
ROW SWAP RECLAMATION:	0.01 ACRES
ADJUSTED SITE AREA:	34.84 ACRES
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SIDE (PERIMETER CENTER PARKWAY):	0 FT
SIDE (CITY/COUNTY LOT LINE):	20 FT
REAR (NORTHERN PROPERTY LINE):	40 FT
LANDSCAPE SETBACK:	
	0 FT

PROPOSED LAND USES & DENSITIES:	
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RETAIL/RESTAURANT	194,800 SF
OFFICE	44,300 SF

PARKING SUMMARY:	
REQUIRED PARKING (SEE SHEET C1-00):	
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PROPOSED SURFACE PARKING	8 SPACES
2,511 SPACES (TOTAL)	

SITE NOTES:

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- REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.
- PHASE 1 DEVELOPMENT SHALL BE CONSISTENT WITH SITE PLAN APPROVED 12/20/2018.

SITE PLAN LEGEND:

	PROPERTY LINE
	BUILDING SETBACK LINE
	STANDARD DUTY CONCRETE SIDEWALK (REFERENCE LANDSCAPE/HARDSCAPE PLANS)
	VENTILATION GRATE COVER
	RIGHT OF WAY
	PARKING COUNT

Kimley Horn
 PREPARED BY
 11720 AMBER PARK DRIVE, SUITE 600
 ALPHARETTA, GA 30009
 PHONE (770) 619-4284
 WWW.KIMLEY-HORN.COM

HIGH STREET DEVELOPMENT LLC
 PREPARED FOR
 125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
 BOSTON, MA 02110
 PHONE: (617) 684-8641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

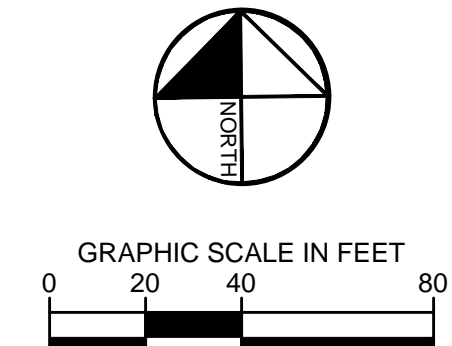
HIGH STREET - PHASE 1
 PROJECT
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
 LAND LOT 348, 18TH DISTRICT



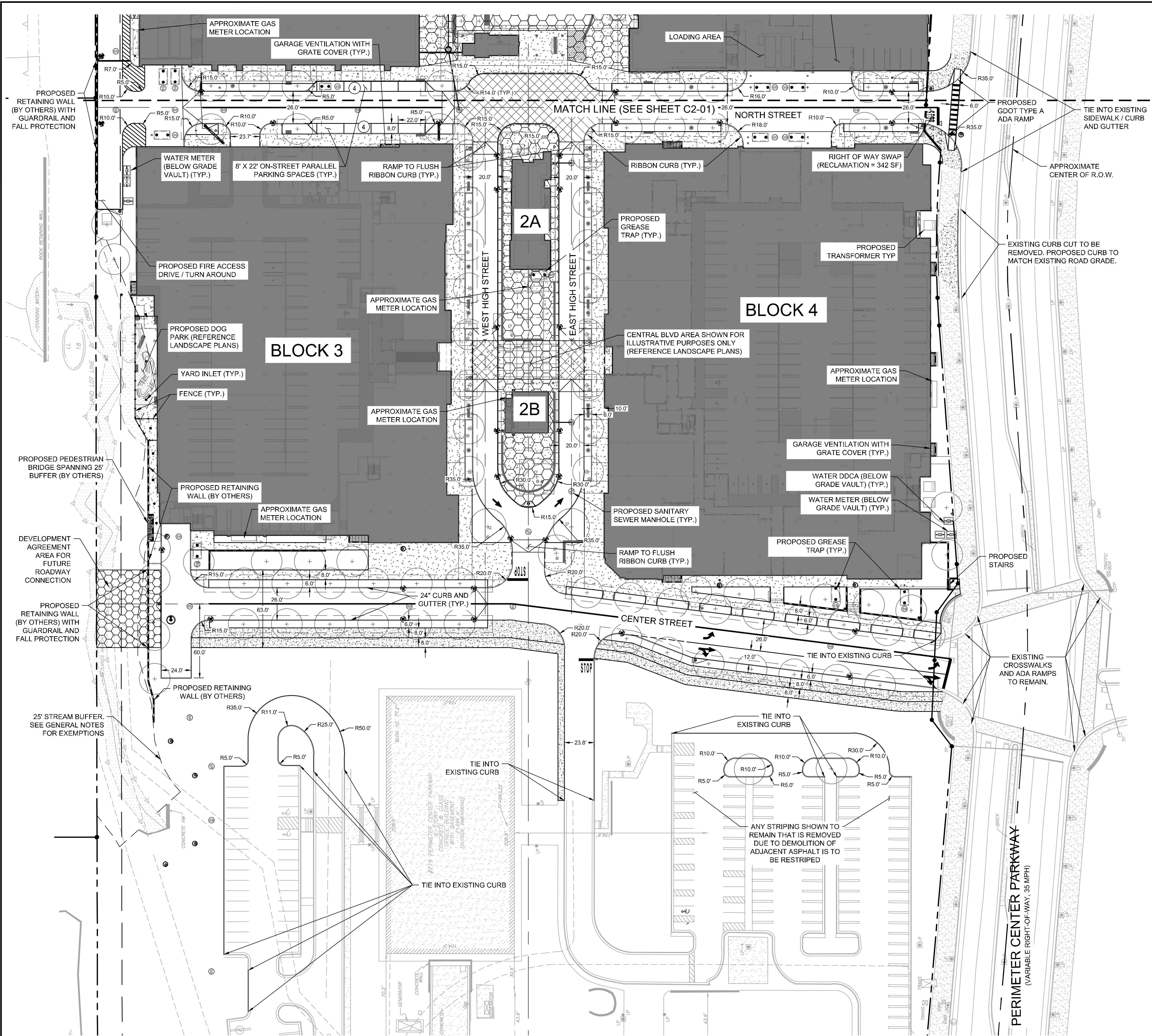
GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006

SITE PLAN NORTH
 SHEET NUMBER
C2-01

GEORGIA811
 Know what's below. Call before you dig.



Drawing name: K:\ALP_P\19473000_GID - High Street\CADD\PlanSheets\Phase 1\C2-00 - SITE PLAN.dwg C2-02 SITE PLAN SOUTH Aug 16, 2019 4:15pm by derek.zittrauer



DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	OCRC
SITE AREA:	34.86 ACRES
ROW DEDICATION:	0.03 ACRES
ROW SWAP RECLAMATION:	0.01 ACRES
ADJUSTED SITE AREA:	34.84 ACRES
MAX IMPERVIOUS AREA ALLOWED:	29.96 ACRES (86.0%)
MIN PERVIOUS AREA ALLOWED:	4.88 ACRES (14.0%)
TOTAL DISTURBED AREA:	16.3 ACRES
BUILDING SETBACK:	
FRONT (PERIMETER CENTER PARKWAY):	0 FT
SIDE (PERIMETER CENTER PARKWAY):	0 FT
SIDE (CITY/COUNTY LOT LINE):	20 FT
REAR (NORTHERN PROPERTY LINE):	40 FT
LANDSCAPE SETBACK:	0 FT

PROPOSED LAND USES & DENSITIES:

MULTIFAMILY RESIDENTIAL	600 UNITS
RETAIL/RESTAURANT OFFICE	194,800 SF
	44,300 SF

PARKING SUMMARY:

REQUIRED PARKING (SEE SHEET C1-00):

EXISTING OFFICE (227,100 SF)	736 SPACES (3,241,000 SF)
PROPOSED OFFICE (44,300 SF)	144 SPACES (3,241,000 SF)
MULTIFAMILY (600 UNITS)	894 SPACES (1,491 UNIT)
RETAIL/RESTAURANT (194,800 SF)	632 SPACES (3,241,000 SF)
TOTAL	2,406 SPACES

PROPOSED PARKING:

EXISTING 211 PARKING GARAGE	815 SPACES
EXISTING 211 SURFACE PARKING	176 SPACES
PROPOSED PARKING DECKS	1512 SPACES
PROPOSED SURFACE PARKING	8 SPACES
TOTAL	2,511 SPACES (TOTAL)

- ### SITE NOTES:
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 - PHASE 1 DEVELOPMENT SHALL BE CONSISTENT WITH SITE PLAN APPROVED 12/20/2018.

SITE PLAN LEGEND:

	PROPERTY LINE
	BUILDING SETBACK LINE
	STANDARD DUTY CONCRETE SIDEWALK (REFERENCE LANDSCAPE/HARDSCAPE PLANS)
	VENTILATION GRATE COVER
	PERVIOUS BUFFER EXEMPTION AREA (SEE SHEET C0-08)
	IMPERVIOUS BUFFER EXEMPTION AREA (SEE SHEET C0-08)
	RIGHT OF WAY DEDICATION/RECLAMATION
	PARKING COUNT

GEORGIA811
 Know what's below.
 Call before you dig.

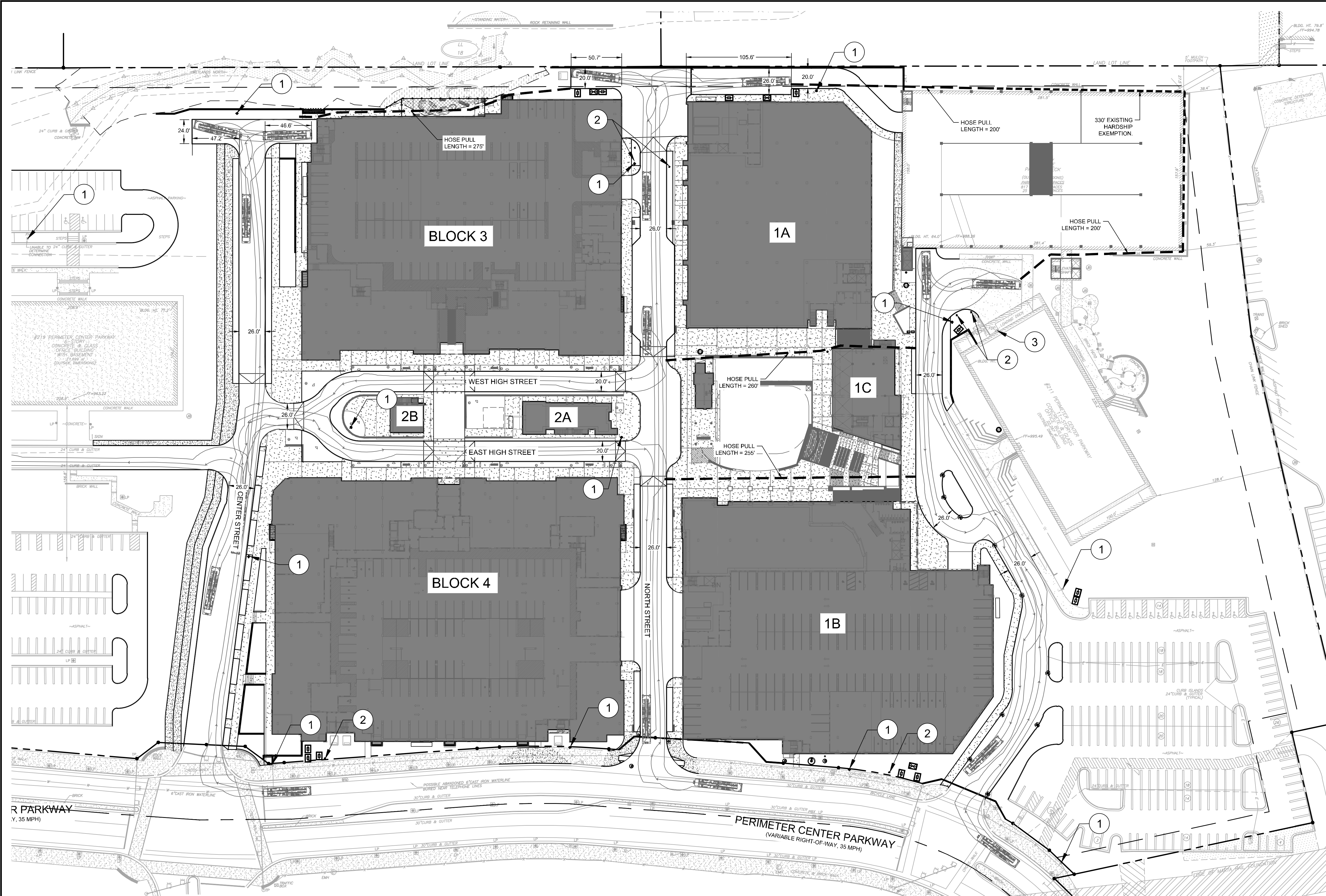
GRAPHIC SCALE IN FEET
 0 20 40 80

GSWCC NO. 0000076500
 LEVEL II
 DRAWN BY: KHA
 DESIGNED BY: DMZ
 REVIEWED BY: LHF
 DATE: 08/16/2019
 PROJECT NO. 019473006
 TITLE: SITE PLAN SOUTH
 SHEET NUMBER: C2-02

Kimley-Horn
 PREPARED BY: HIGH STREET DEVELOPMENT LLC
 125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR, SUITE 2010, BOSTON, MA 02110, PHONE: (617) 654-6641
 PROJECT: HIGH STREET - PHASE 1
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
 LAND LOT 348, 18TH DISTRICT
 REGISTERED PROFESSIONAL ENGINEER
 No. PE041139
 BREK M. ZITTRAUER
 GSWCC NO. 0000076500
 LEVEL II
 DRAWN BY: KHA
 DESIGNED BY: DMZ
 REVIEWED BY: LHF
 DATE: 08/16/2019
 PROJECT NO. 019473006
 TITLE: SITE PLAN SOUTH
 SHEET NUMBER: C2-02

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Drawing name: K:\ALP_P\019473000_GID - High Street\CADD\PlanSheets\Phase 1\C2-00 - SITE PLAN.dwg C2-30 FIRE PROTECTION PLAN Aug 16, 2019 4:20pm by: derek.zittrauer



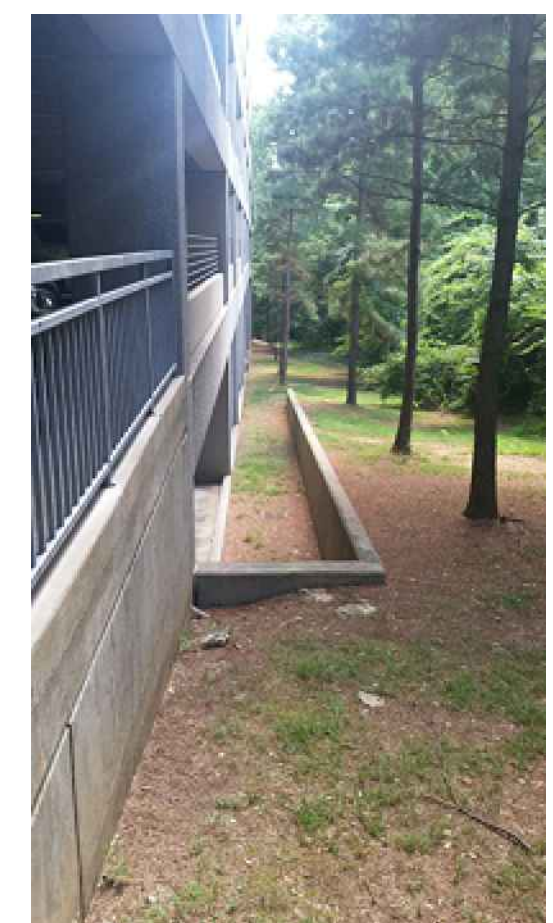
SITE PLAN LEGEND:

- ① FIRE HYDRANT
- ② FDC, REMOTE
- ③ FDC, WALL MOUNTED (EXISTING)
- HOSE LAY LENGTH

DESIGN FIRE TRUCK:

Aerial Fire Truck

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3



VIEW OF THE WESTERN SIDE OF THE EXISTING 211 PARKING DECK LOOKING TOWARD THE SOUTHWEST CORNER

FIRE NOTES:

- (GROUND & FLOOR) SURFACES ALONG ACCESSIBLE ROUTES AND WALKS, RAMPS, STAIRS, AND CURB RAMPS SHALL BE STABLE, FIRM & SLIP-RESISTANT.
- MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 208.2. (2010 ADA 208.2)
- FOR EVERY SIX OR FRACTION OF SIX PARKING SPACES REQUIRED BY SECTION 208.2 TO COMPLY WITH 502 AT LEAST ONE SPACE SHALL BE A VAN PARKING SPACE COMPLYING WITH 502 (2010 ADA 208.4)
- CURB RAMPS SHALL COMPLY WITH 2010 ADA SECTION 406 AND BE COORDINATED BETWEEN THE PROPOSED AND EXISTING SIDEWALKS.
- WHERE REQUIRED BY THE FIRE CODE OFFICIAL, FIRE APPARATUS ACCESS ROADS SHALL BE MARKED WITH PERMANENT **NO PARKING-FIRE LANE** SIGNS COMPLYING WITH FIGURE D103.6 (SEE DETAILS). SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE POSTED ON ONE OR BOTH SIDES OF THE FIRE APPARATUS ROAD AS REQUIRED BY SECTION D103.6.1 OR D103.6.2. (IFC D103.6)
- PHYSICAL PROTECTION, WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POST OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION 312 VEHICLE IMPACT PROTECTION. (IFC 312)
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. IF BUILDING IS GREATER THAN 30' IN HEIGHT THAN THE WIDTH SHALL BE 26'. (IFC 503.2.1)
- DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 1500 FEET SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS IN ACCORDANCE WITH TABLE D103.4. (IFC APPENDIX D)
- DURING CONSTRUCTION AND FOR PERMANENT ACCESS, FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED, CONSTRUCTED, AND MAINTAINED OF AN ALL-WEATHER SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 0.5 INCHES (12.7 MM). WHERE ACCESS IS BY A MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED.
- FIRE HYDRANT SYSTEMS SHALL BE SUBJECT TO PERIODIC TESTS AS REQUIRED BY THE FIRE CODE OFFICIAL. FIRE HYDRANT SYSTEMS SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES AND SHALL BE REPAIRED WHERE DEFECTIVE. ADDITIONS, REPAIRS, ALTERATIONS, AND SERVICING SHALL COMPLY WITH APPROVED STANDARDS.
- FIRE APPARATUS ACCESS ROAD DOES NOT EXCEED 10% IN GRADE.

Kimley Horn
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11720 AMBER PARK DRIVE, SUITE 600
ALBUQUERQUE, NM 87120
PHONE: (770) 619-4288
WWW.KIMLEY-HORN.COM

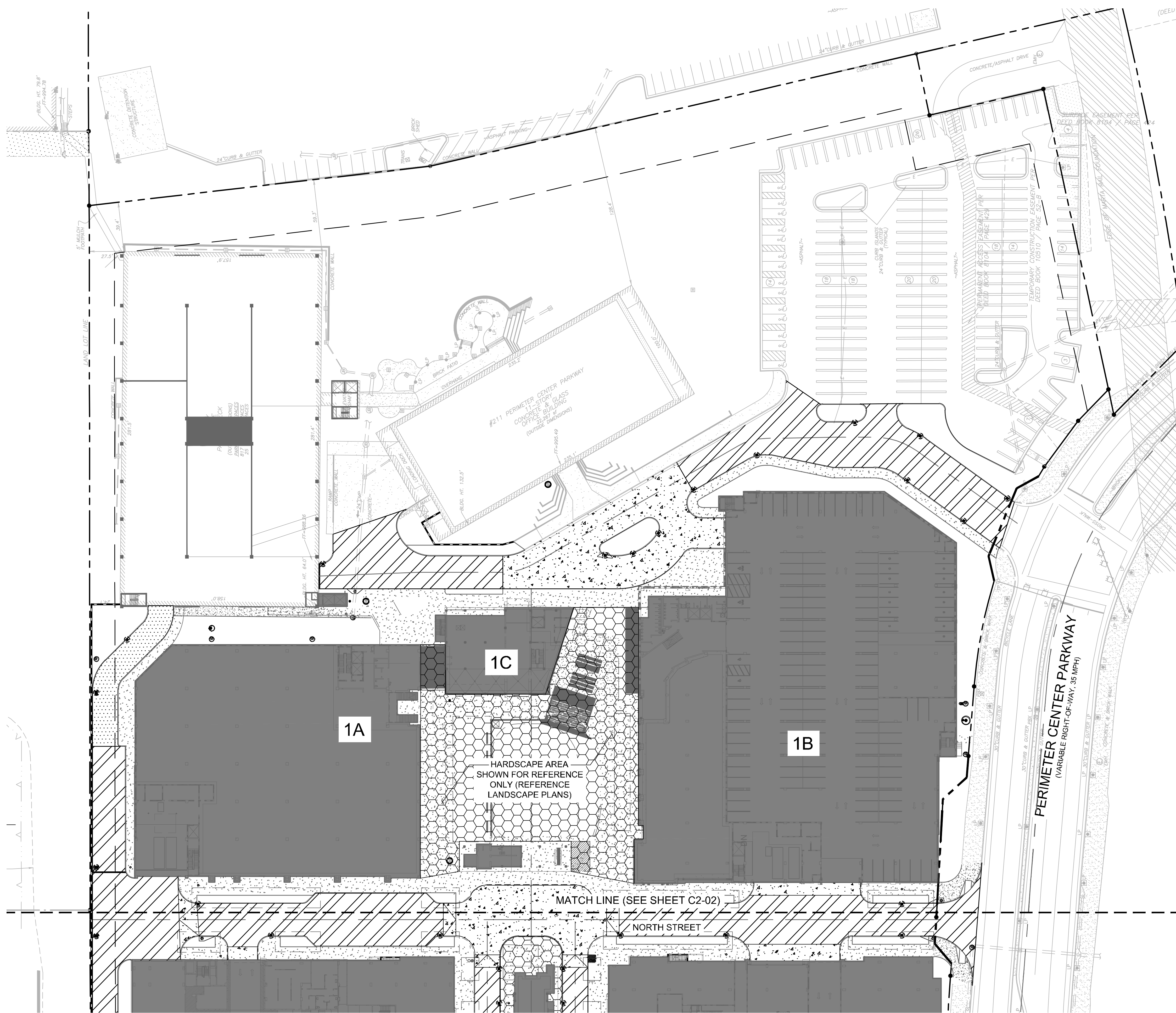
HIGH STREET - PHASE 1 DEVELOPMENT LLC
125 HIGH STREET - HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110
PHONE: (617) 654-6641

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HIGH STREET - PHASE 1
211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
LAND LOT 348, 18TH DISTRICT

GSWCC NO. (LEVEL II) 0000076500
DRAWN BY KHA
DESIGNED BY DMZ
REVIEWED BY LHF
DATE 08/16/2019
PROJECT NO. 019473006
TITLE **FIRE PROTECTION PLAN**
SHEET NUMBER **C2-30**

Drawing name: K:\ALP_PRJ019473000_GID - High Street\CADD\PlanSheets\Phase 1\C2-00 - SITE PLAN.dwg C2-41 PAVEMENT DELINEATION PLAN NORTH - Aug 16, 2019 1:55pm by: russell.noah



DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	OCRc
SITE AREA:	34.86 ACRES
ROW DEDICATION:	0.03 ACRES
ROW SWAP RECLAMATION:	0.01 ACRES
ADJUSTED SITE AREA:	34.84 ACRES
MAX IMPERVIOUS AREA ALLOWED:	29.96 ACRES (86.0%)
MIN PERVIOUS AREA ALLOWED:	4.88 ACRES (14.0%)
TOTAL DISTURBED AREA:	16.3 ACRES
BUILDING SETBACK:	
FRONT (PERIMETER CENTER PARKWAY):	0 FT
SIDE (PERIMETER CENTER PARKWAY):	0 FT
SIDE (CITY/COUNTY LOT LINE):	20 FT
REAR (NORTHERN PROPERTY LINE):	40 FT
LANDSCAPE SETBACK:	0 FT

PROPOSED LAND USES & DENSITIES:

MULTIFAMILY RESIDENTIAL	600 UNITS
RETAIL/RESTAURANT	194,800 SF
OFFICE	44,300 SF

PARKING SUMMARY:

REQUIRED PARKING (SEE SHEET C1-00):

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RETAIL/RESTAURANT (194,800 SF)	632 SPACES (3.24/1,000 SF)
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PROPOSED PARKING:

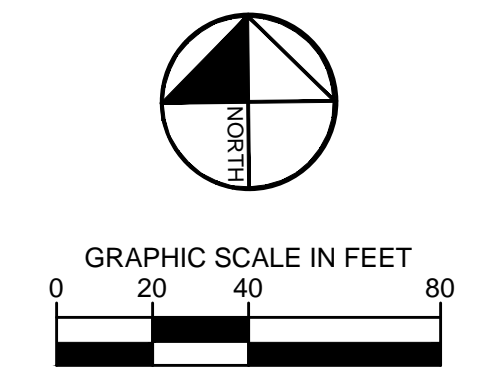
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PROPOSED PARKING DECKS	1512 SPACES
PROPOSED SURFACE PARKING	8 SPACES
	2,511 SPACES (TOTAL)

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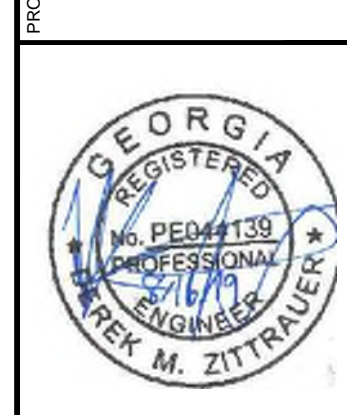
	PROPERTY LINE
	BUILDING SETBACK LINE
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	STANDARD DUTY CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT



PREPARED FOR
HIGH STREET DEVELOPMENT LLC
125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110
PHONE: (617) 654-6641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

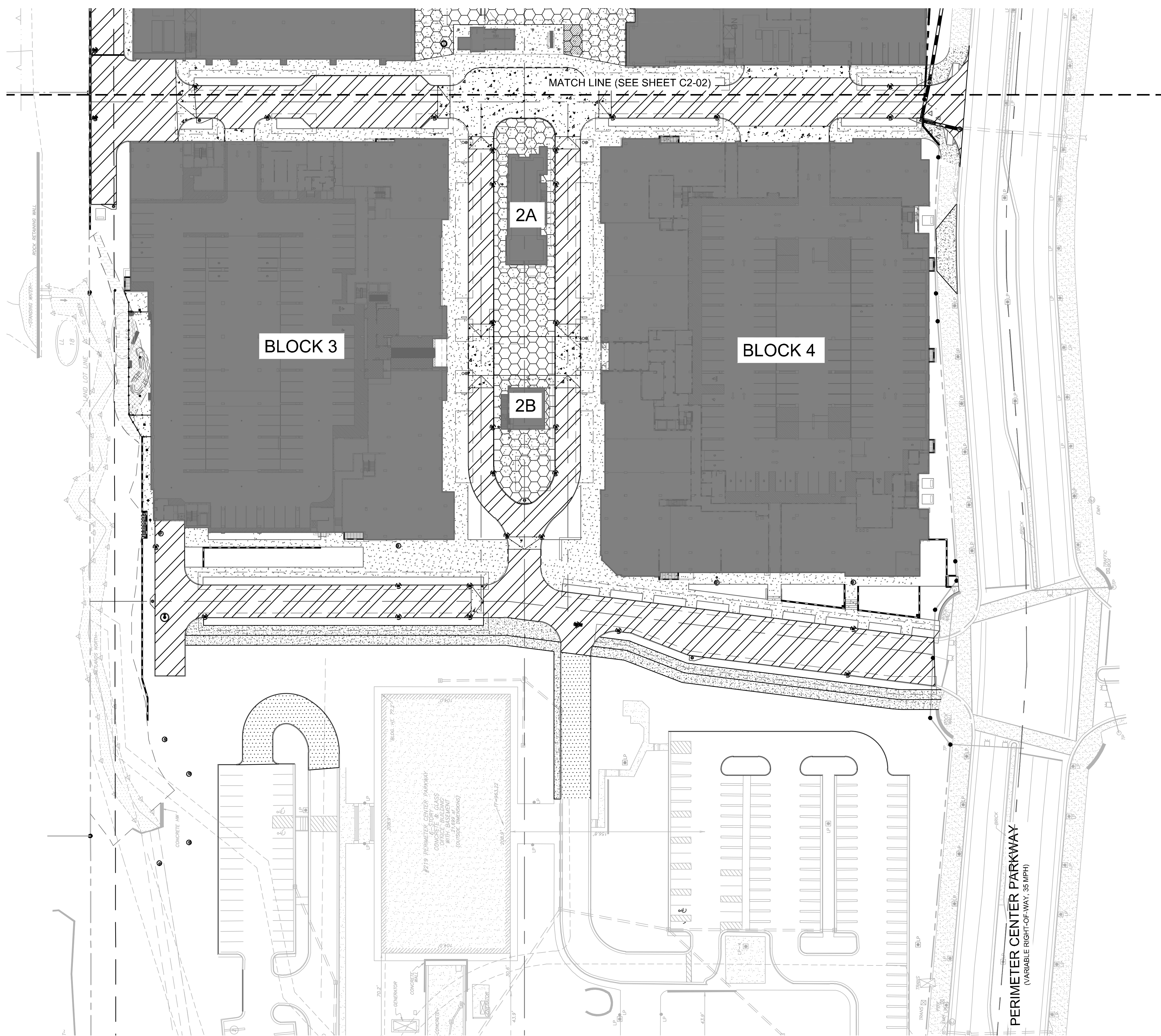
PROJECT
HIGH STREET - PHASE 1
211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
LAND LOT 348, 18TH DISTRICT



GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006

TITLE
PAVEMENT DELINEATION PLAN NORTH
SHEET NUMBER
C2-41

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SITE SUMMARY:

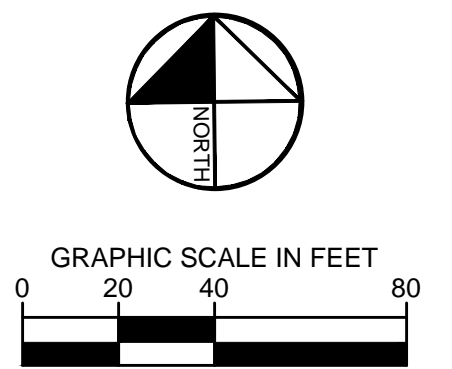
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SIDE (PERIMETER CENTER PARKWAY):	0 FT
SIDE (CITY/COUNTY LOT LINE):	20 FT
REAR (NORTHERN PROPERTY LINE):	40 FT
LANDSCAPE SETBACK:	0 FT
PROPOSED LAND USES & DENSITIES:	
MULTIFAMILY RESIDENTIAL	600 UNITS
RETAIL/RESTAURANT	194,800 SF
OFFICE	44,300 SF
PARKING SUMMARY:	
REQUIRED PARKING (SEE SHEET C1-00):	
EXISTING OFFICE (227,100 SF)	736 SPACES (3.24/1,000 SF)
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PROPOSED SURFACE PARKING	8 SPACES
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SITE PLAN LEGEND:

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	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	STANDARD DUTY CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT

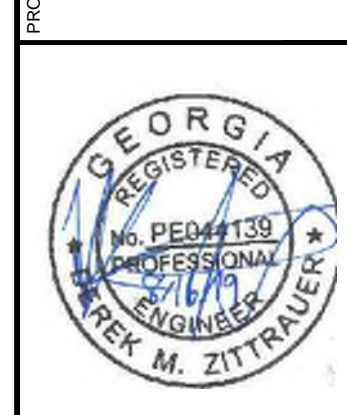


Kimley»Horn
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 11720 AMBER PARK DRIVE, SUITE 600
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PREPARED FOR
HIGH STREET DEVELOPMENT LLC
 125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
 BOSTON, MA 02110
 PHONE: (617) 654-6641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

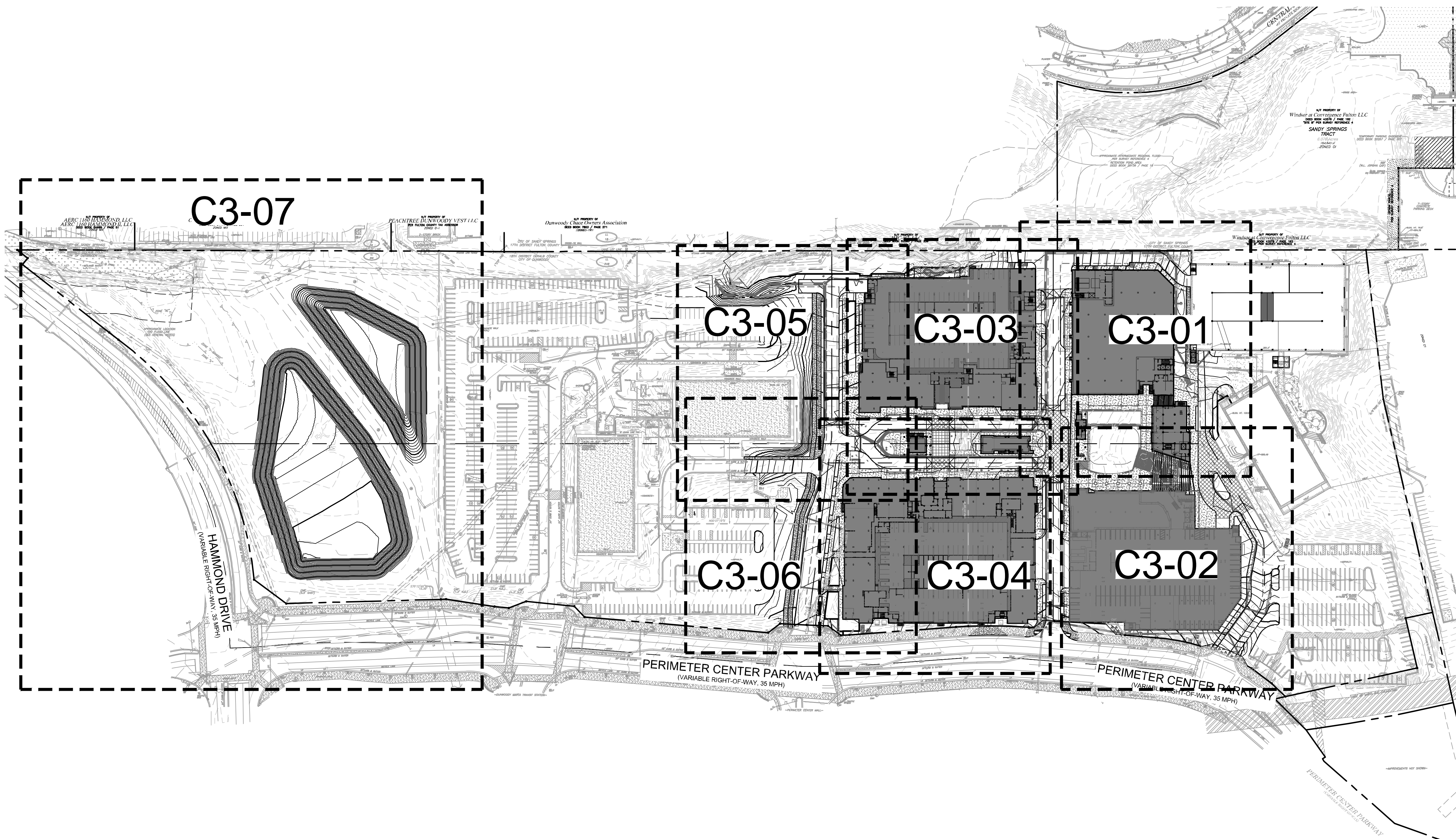
HIGH STREET - PHASE 1
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
 LAND LOT 348, 18TH DISTRICT



GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006

TITLE
PAVEMENT DELINEATION PLAN SOUTH
 SHEET NUMBER
C2-42

Drawing name: K:\ALP_PRJ\019473000_GID - High Street Center\DDI\PlanSheets\Phase 1\C3-00 - GRADING PLAN.dwg C3-00 GRADING & DRAINAGE PLAN Aug 16, 2019 1:56pm by: russell.noah



GRADING & DRAINAGE NOTES:

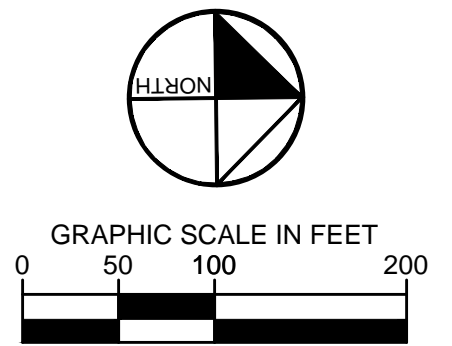
1. SITE AREA: 34.84 ACRES
DISTURBED AREA: 16.3 ACRES
2. CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
4. ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
5. ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
6. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
7. THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13089C0011J, DATED 05/16/2013.
8. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
9. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
10. NO GRADED SLOPE SHALL EXCEED 2H:1V
11. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
12. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.

GRADING LEGEND:

- 950 — EXISTING MAJOR CONTOUR
- 948 — EXISTING MINOR CONTOUR
- 945 — PROPOSED MAJOR CONTOUR
- 944 — PROPOSED MINOR CONTOUR
- x 945.00 PROPOSED SPOT GRADE
- x TC:945.00 PROPOSED TOP GRADE AT WALL
- x BG:945.00 PROPOSED BOTTOM GRADE AT WALL
- x TS:945.00 PROPOSED TOP OF STAIR GRADE
- x BS:945.00 PROPOSED BOTTOM OF STAIR GRADE
- x HP:945.00 PROPOSED HIGH POINT GRADE
- x LP:945.00 PROPOSED LOW POINT GRADE
- x TC:945.00 PROPOSED TOP OF CURB GRADE
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- DRAINAGE FLOW ARROW

STORM DRAINAGE LEGEND:

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- CI HOODED GRATE CURB INLET (GDOT 1019A, TYPE E)
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- CO CLEAN OUT
- WQ WATER QUALITY DEVICE
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- TD TRENCH DRAIN
- - - PROPOSED ROOF DRAIN PIPE
- — — PROPOSED STORM PIPE

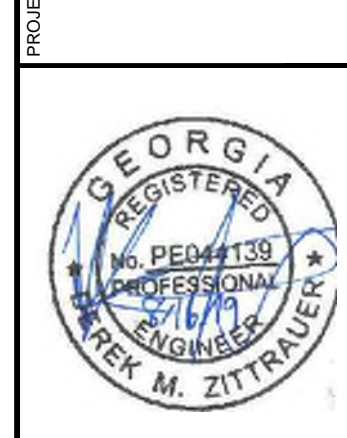


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PREPARED FOR
HIGH STREET DEVELOPMENT LLC
 125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
 BOSTON, MA 02110
 PHONE: (617) 684-6641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

PROJECT
HIGH STREET - PHASE 1
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
 LAND LOT 348, 18TH DISTRICT

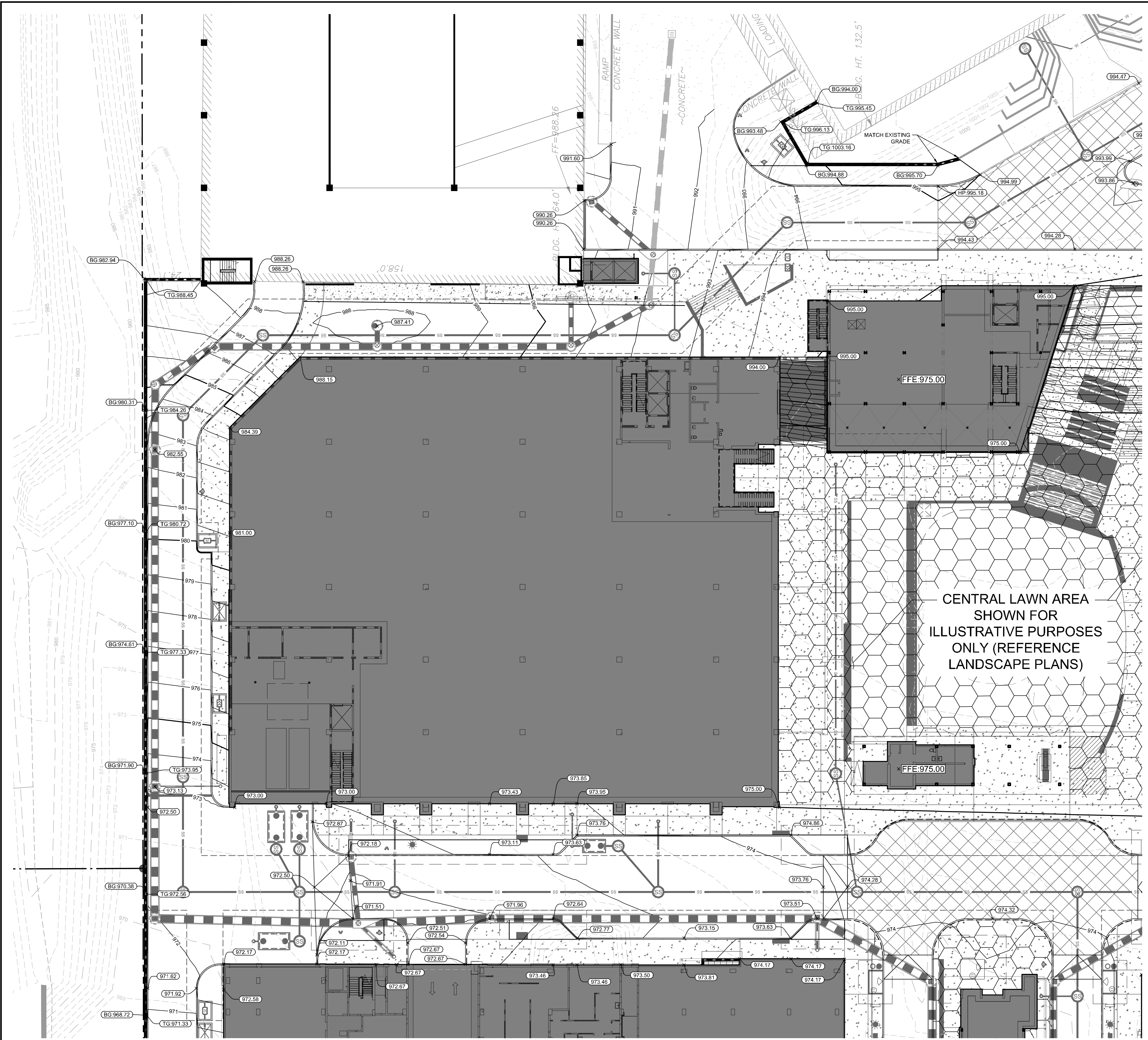


GSWCC NO. (LEVEL II) 0000076500
 DRAWN BY KHA
 DESIGNED BY DMZ
 REVIEWED BY LHF
 DATE 08/16/2019
 PROJECT NO. 019473006

TITLE
OVERALL GRADING PLAN
 SHEET NUMBER
C3-00

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Drawing name: K:\ALP_PR\019473000_GID - High Street\CADD\PlanSheets\Phase 1\C3-00 - GRADING PLAN.dwg CS-01 GRADING & DRAINAGE PLAN NORTH - Aug 16, 2019 1:56pm by: russell.noah



CENTRAL LAWN AREA
SHOWN FOR
ILLUSTRATIVE PURPOSES
ONLY (REFERENCE
LANDSCAPE PLANS)

GRADING & DRAINAGE NOTES:

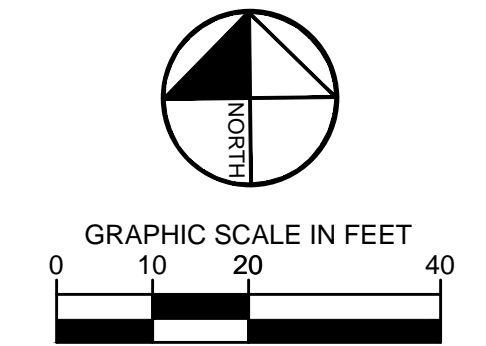
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PREPARED FOR
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125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
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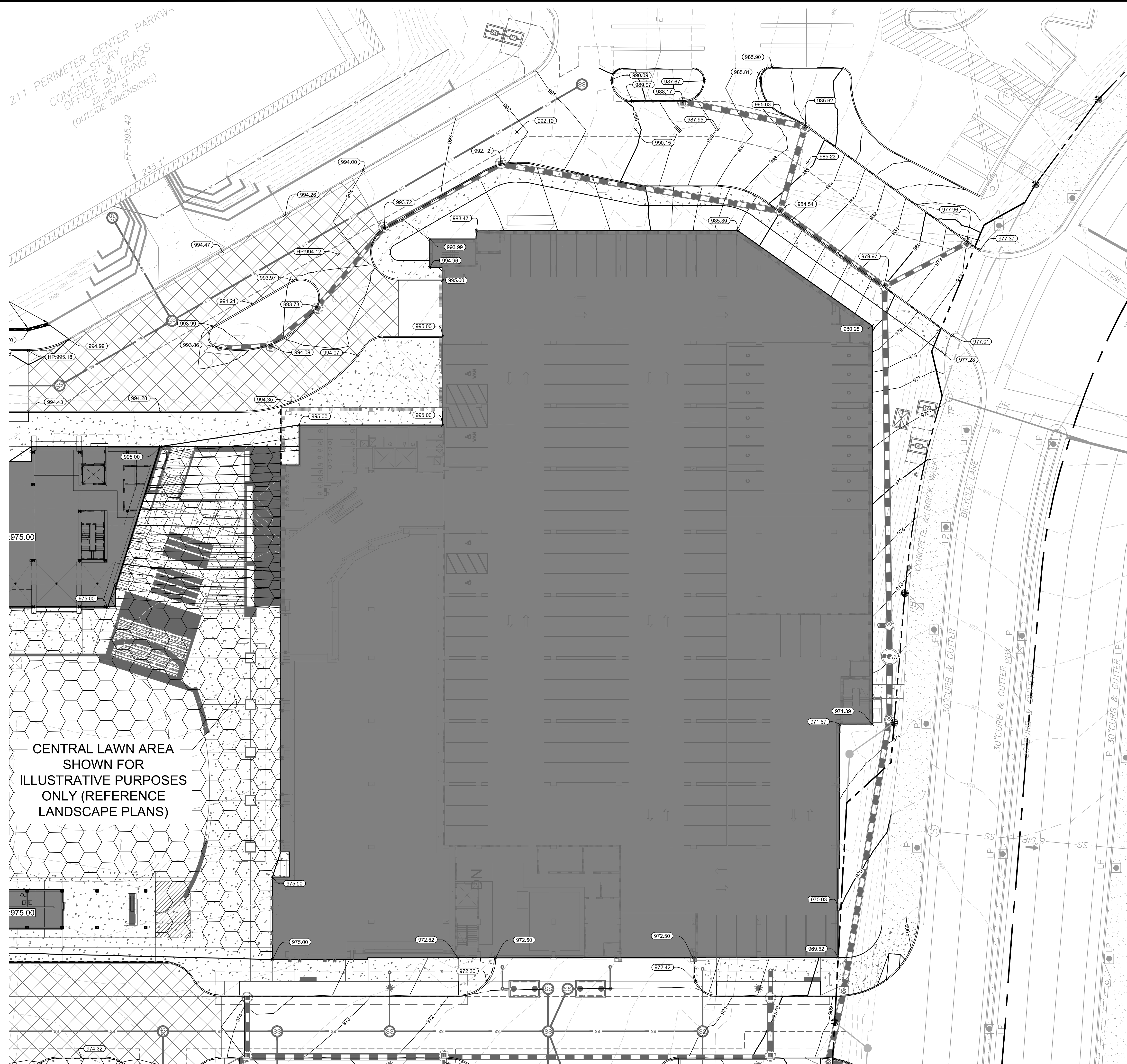
No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HIGH STREET - PHASE 1
211, 219, 223 PERIMETER CENTER PARKWAY & 1051
HAMOND DRIVE, DUNWOODY, GA 30346
LAND LOT 348, 18TH DISTRICT

GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006
TITLE	GRADING PLAN
SHEET NUMBER	C3-01

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Drawing name: K:\ALP_PR\019473000_GID - High Street\CAD\DDI\PlanSheets\Phase 1\C3-00 - GRADING PLAN.dwg CS-02 GRADING PLAN Aug 16, 2019 1:56pm by: russell.noah



CENTRAL LAWN AREA
SHOWN FOR
ILLUSTRATIVE PURPOSES
ONLY (REFERENCE
LANDSCAPE PLANS)

211 PERIMETER CENTER PARKWAY
11-STORY
CONCRETE & GLASS
OFFICE BUILDING
22,267 SF
(OUTSIDE DIMENSIONS)

GRADING & DRAINAGE NOTES:

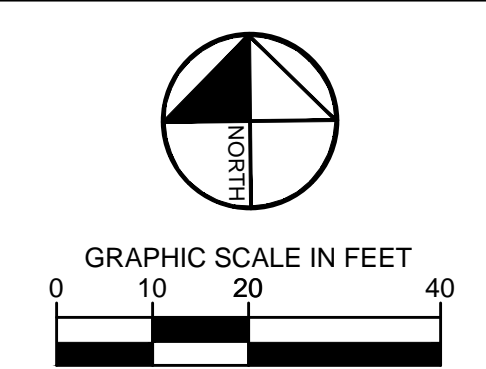
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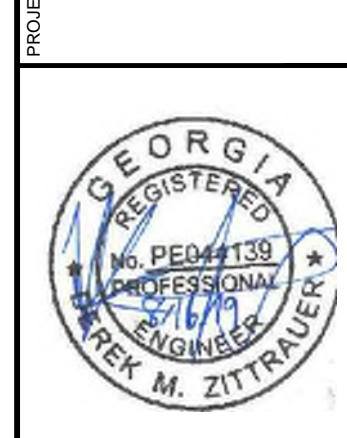


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PREPARED FOR
HIGH STREET DEVELOPMENT LLC
125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110
PHONE: (617) 684-6641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HIGH STREET - PHASE 1
211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
LAND LOT 348, 18TH DISTRICT

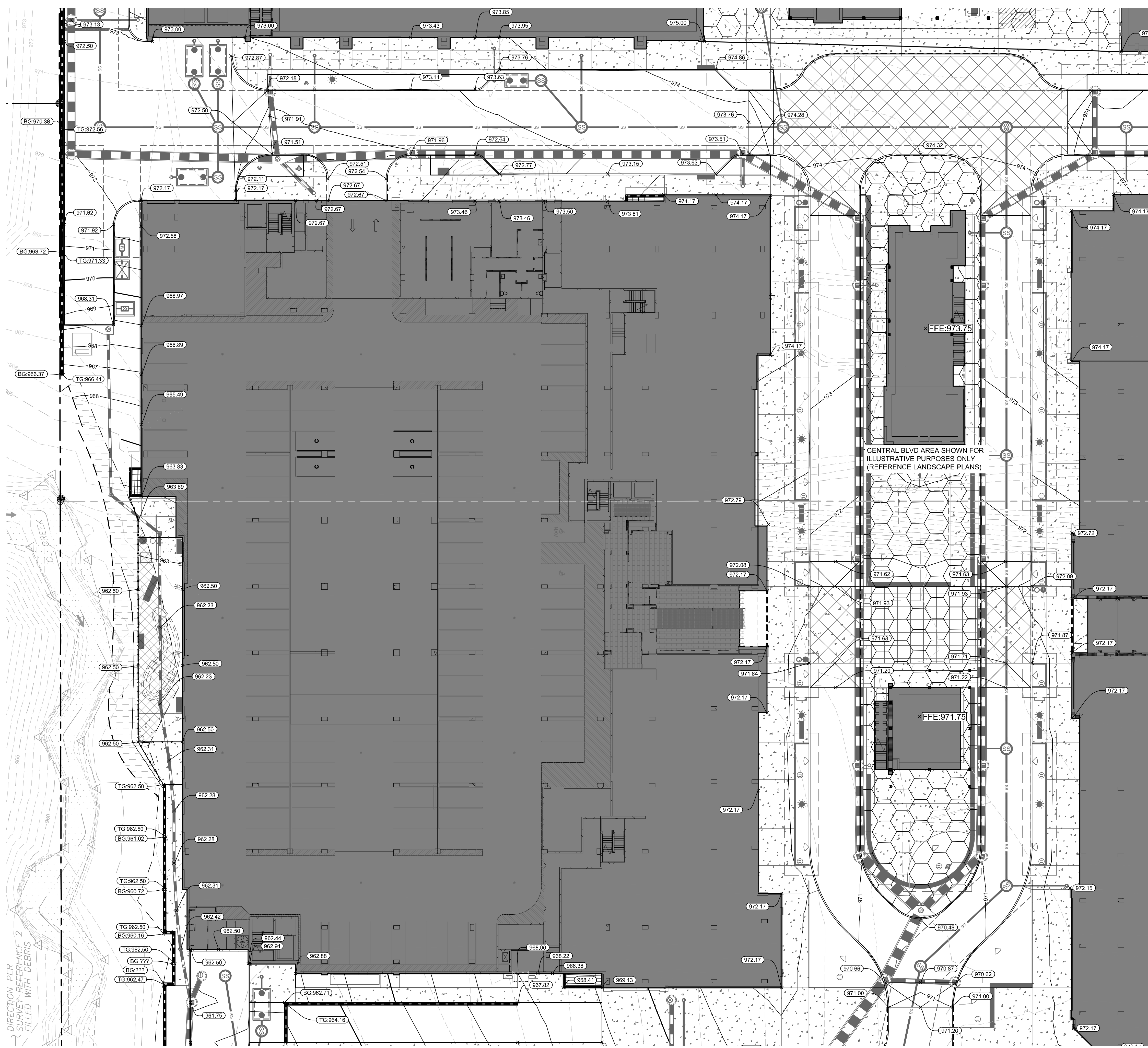


GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006
TITLE	GRADING PLAN

SHEET NUMBER
C3-02

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Drawing name: K:\ALP_PR\019473000_GID - High Street\CADD\PlanSheets\Phase 1\C3-03 - GRADING PLAN.dwg CS-03 GRADING PLAN Aug 16, 2019 1:57pm by: russell.noah



GRADING & DRAINAGE NOTES:

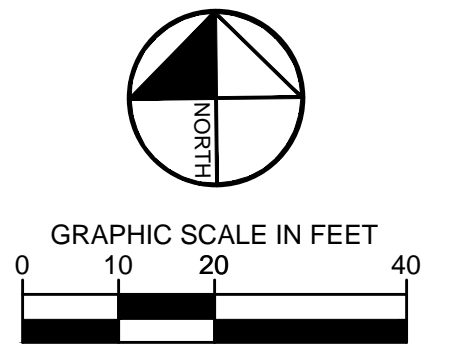
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 125 HIGH STREET - HIGH STREET TOWER, 27TH FLOOR
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No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HIGH STREET - PHASE 1
 PROJECT
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 LAND LOT 348, 18TH DISTRICT

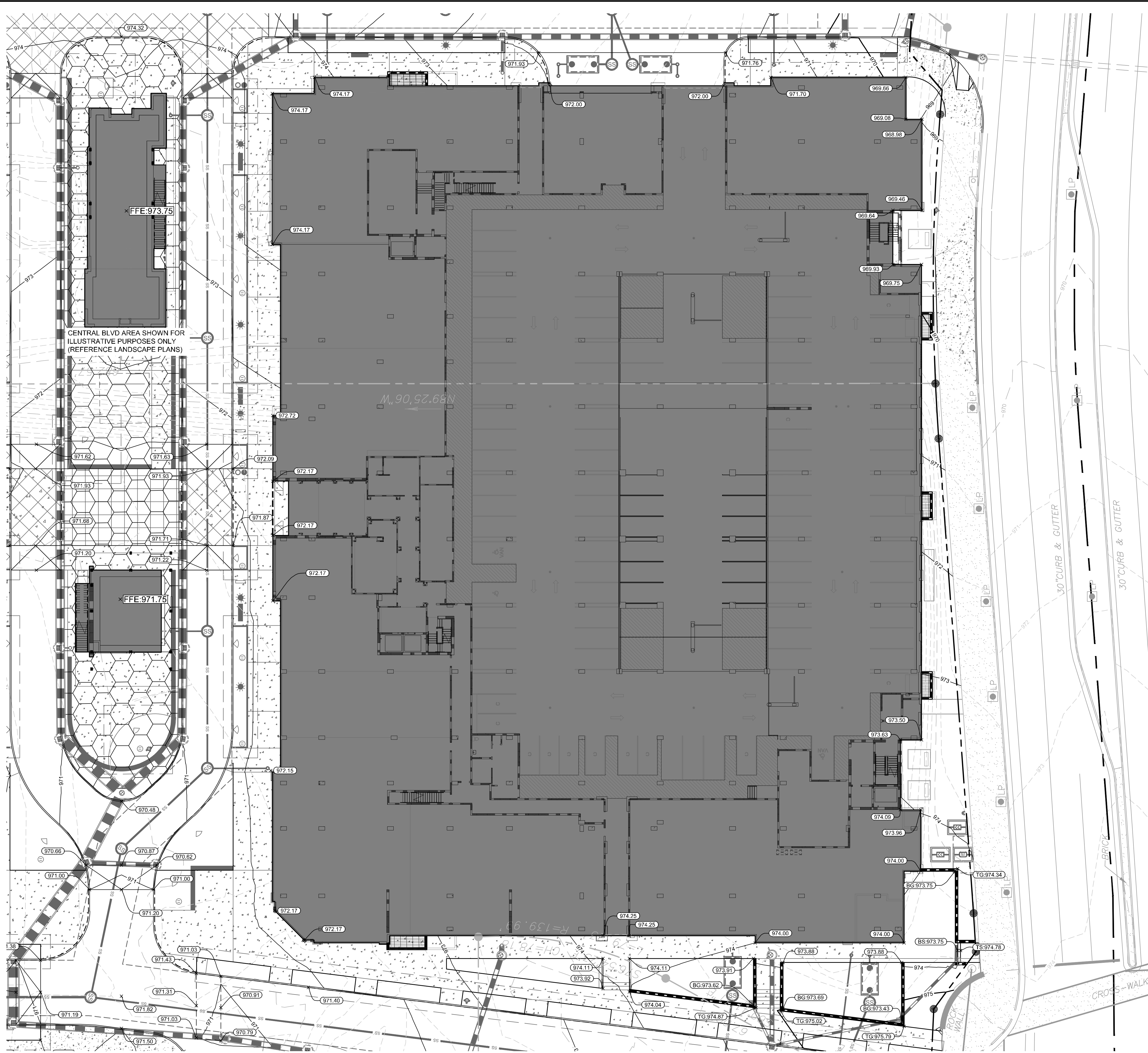


GSWCC NO. (LEVEL II) 0000076500
 DRAWN BY KHA
 DESIGNED BY DMZ
 REVIEWED BY LHF
 DATE 08/16/2019
 PROJECT NO. 019473006
 TITLE

GRADING PLAN
 SHEET NUMBER
C3-03

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Drawing name: K:\ALP_PR\019473000_GID - High Street\CADD\PlanSheets\Phase 1\C3-00 - GRADING PLAN.dwg CS-04 GRADING PLAN Aug 16, 2019 1:57pm by: russell.noah



GRADING & DRAINAGE NOTES:

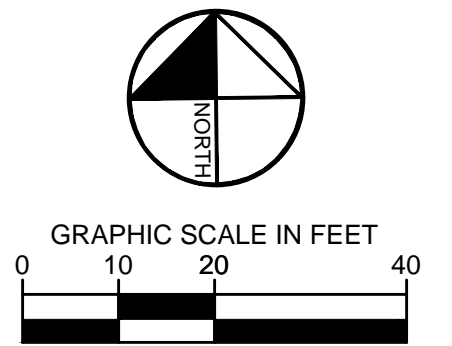
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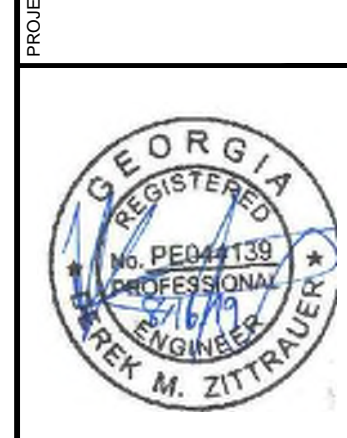


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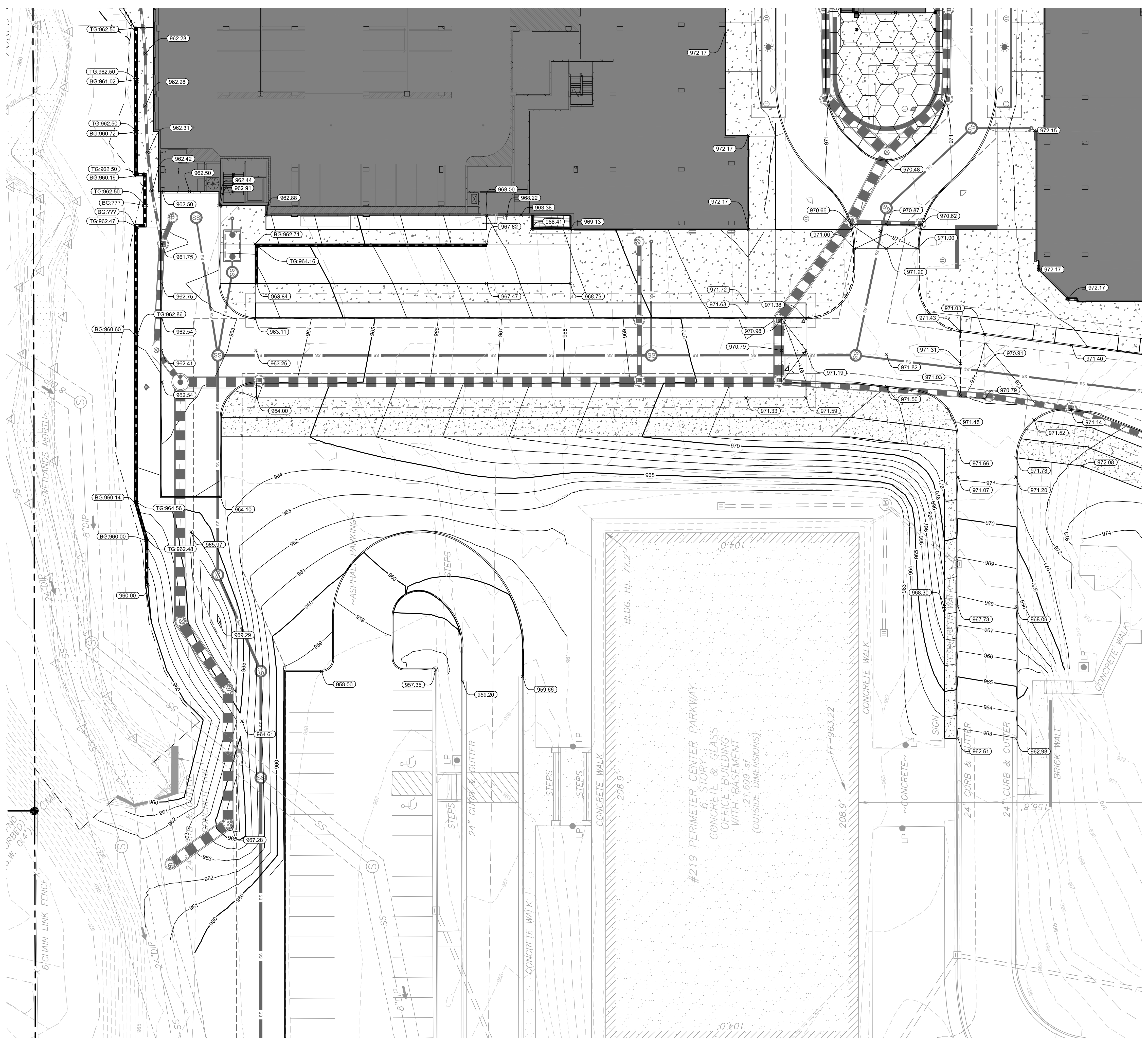
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DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006
TITLE	GRADING PLAN

GRADING PLAN
 SHEET NUMBER
C3-04

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GRADING & DRAINAGE NOTES:

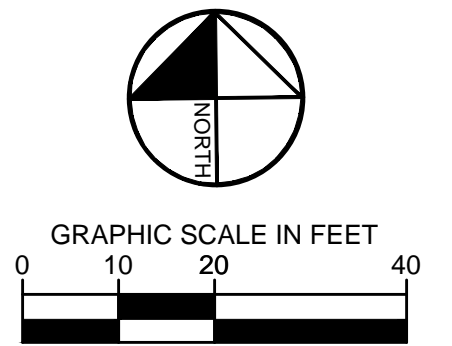
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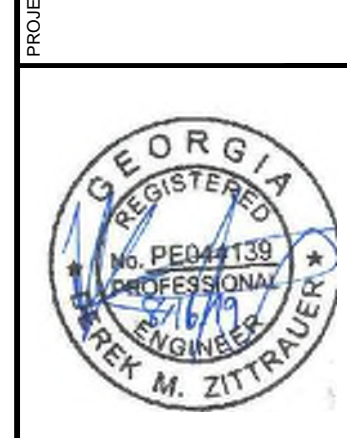


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PREPARED FOR
HIGH STREET DEVELOPMENT LLC
 125 HIGH STREET, HIGH STREET TOWER, 27TH FLOOR
 BOSTON, MA 02110
 PHONE: (617) 684-6641

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HIGH STREET - PHASE 1
 211, 219, 223 PERIMETER CENTER PARKWAY & 1051 HAMMOND DRIVE, DUNWOODY, GA 30346
 LAND LOT 348, 18TH DISTRICT



GSWCC NO. (LEVEL II)	0000076500
DRAWN BY	KHA
DESIGNED BY	DMZ
REVIEWED BY	LHF
DATE	08/16/2019
PROJECT NO.	019473006
TITLE	GRADING PLAN

GRADING PLAN
 SHEET NUMBER
C3-05

Drawing name: K:\ALP_PR\019473000_GID - High Street\CAD\DDI\PlanSheets\Phase 1\C3-00 - GRADING PLAN.dwg CS-06 GRADING PLAN Aug 16, 2019 4:28pm by: derek.zittrauer



GRADING & DRAINAGE NOTES:

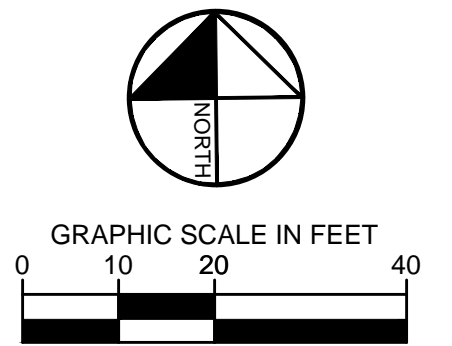
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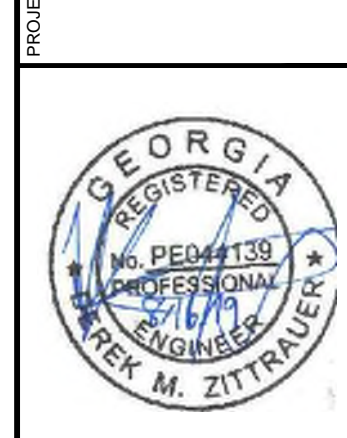


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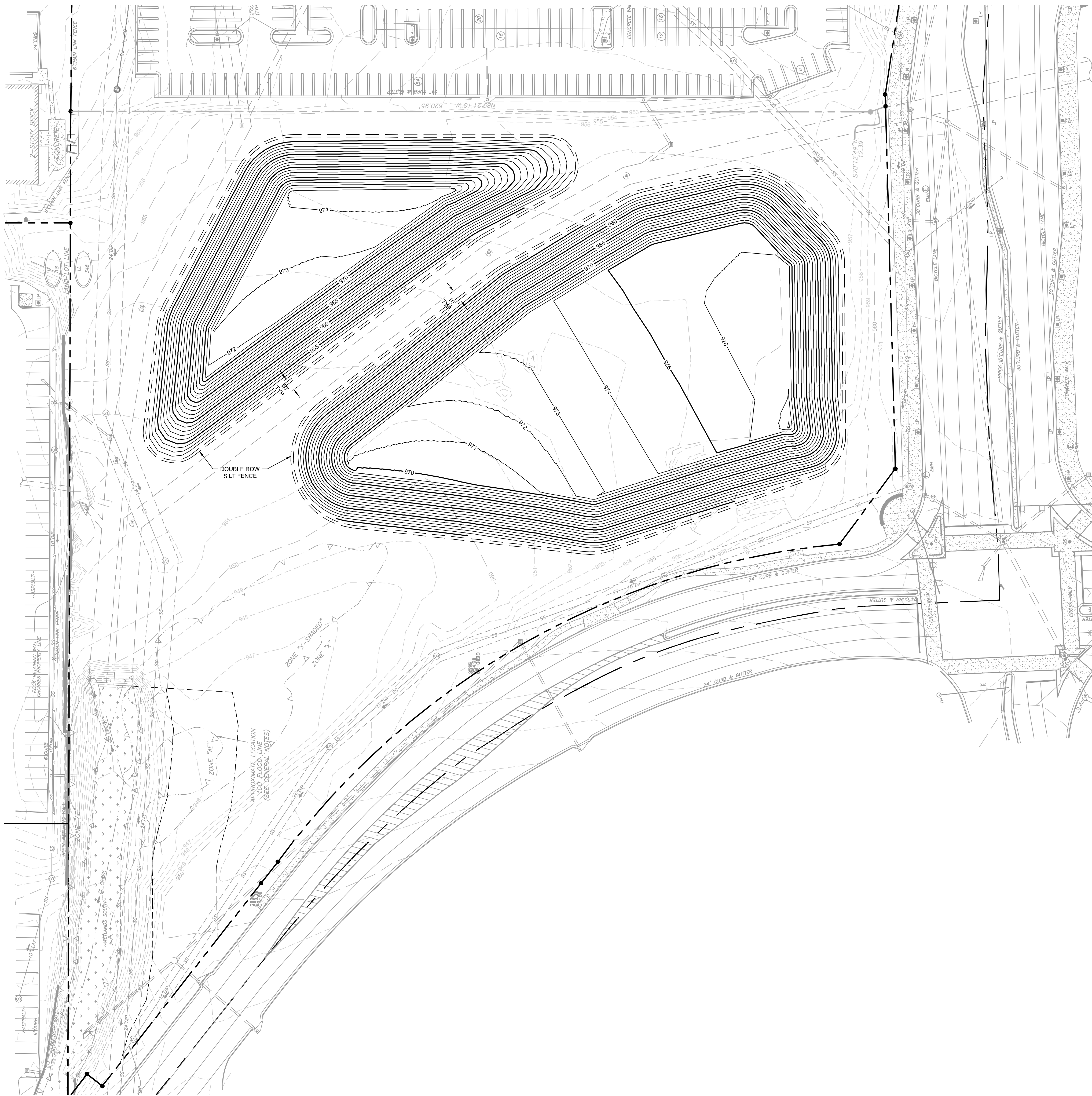
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GSWCC NO. (LEVEL II) 0000076500
 DRAWN BY KHA
 DESIGNED BY DMZ
 REVIEWED BY LHF
 DATE 08/16/2019
 PROJECT NO. 019473006
 TITLE

GRADING PLAN
 SHEET NUMBER
C3-06

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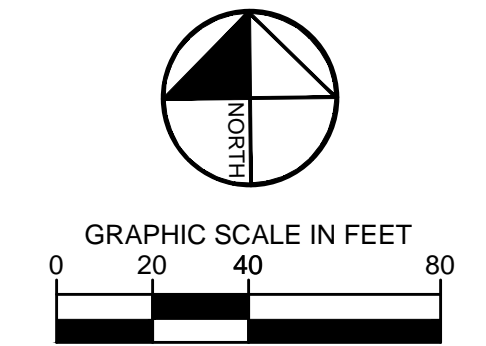
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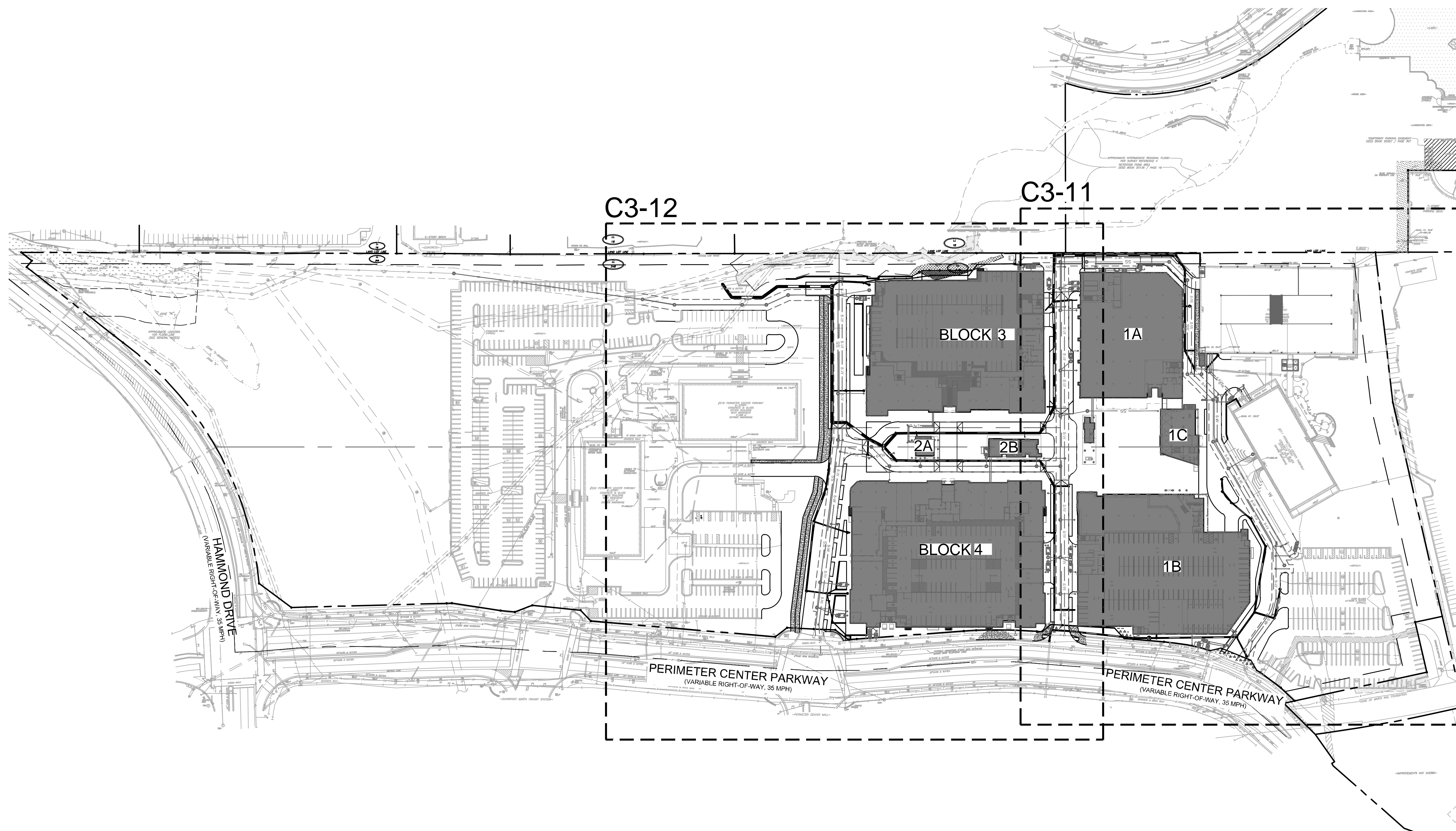
HIGH STREET - PHASE 1
 PROJECT
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GSWCC NO. (LEVEL II) 0000076500
 DRAWN BY KHA
 DESIGNED BY DMZ
 REVIEWED BY LHF
 DATE 08/16/2019
 PROJECT NO. 019473006
 TITLE

GRADING PLAN
 SHEET NUMBER
C3-07

Drawing name: K:\ALP_PRJ\019473000_GID - High Street\CAD\DDI\PlanSheets\Phase 1\C3-10 - OVERALL DRAINAGE PLAN Aug 16, 2019 4:46pm by: derek.zittrauer



GRADING & DRAINAGE NOTES:

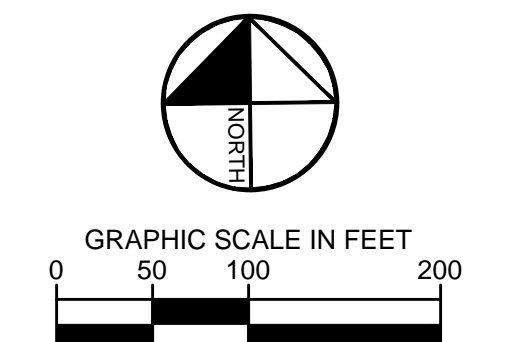
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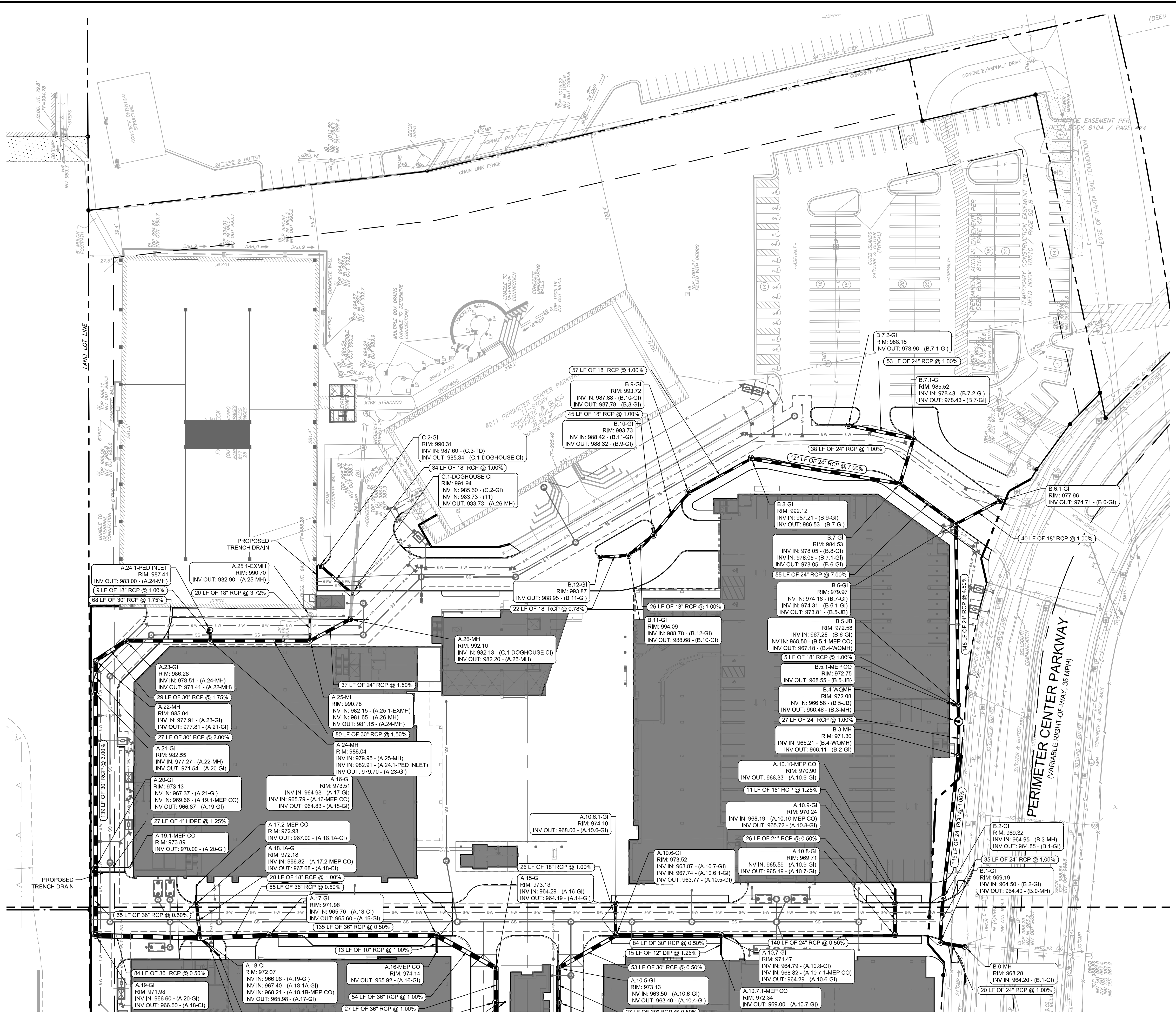
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TITLE
OVERALL DRAINAGE PLAN
 SHEET NUMBER
C3-10

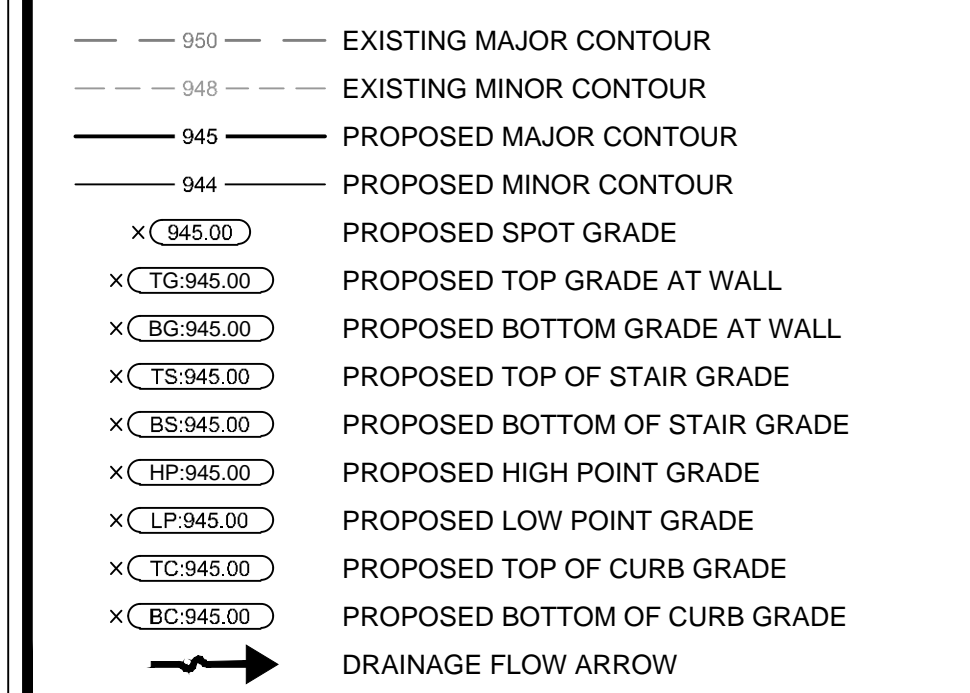
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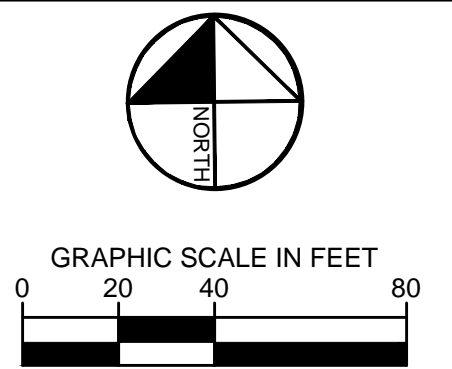
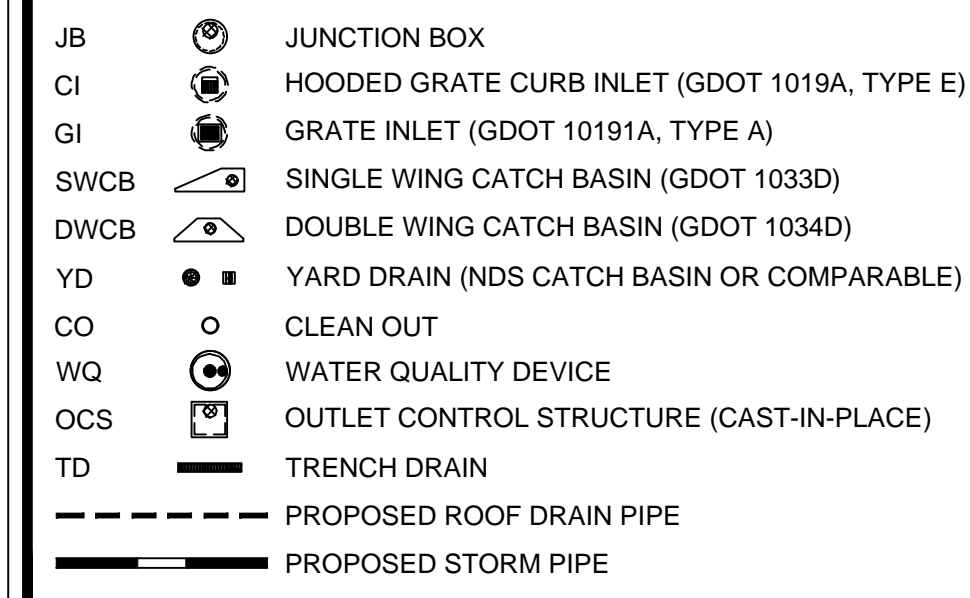
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STORM DRAINAGE LEGEND:



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LAND LOT 348, 18TH DISTRICT

DRAINAGE PLAN NORTH

SHEET NUMBER
C3-11

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

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DRAWN BY: KHA
DESIGNED BY: DMZ
REVIEWED BY: LHF
DATE: 08/16/2019
PROJECT NO.: 019473006
TITLE: DRAINAGE PLAN NORTH

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