

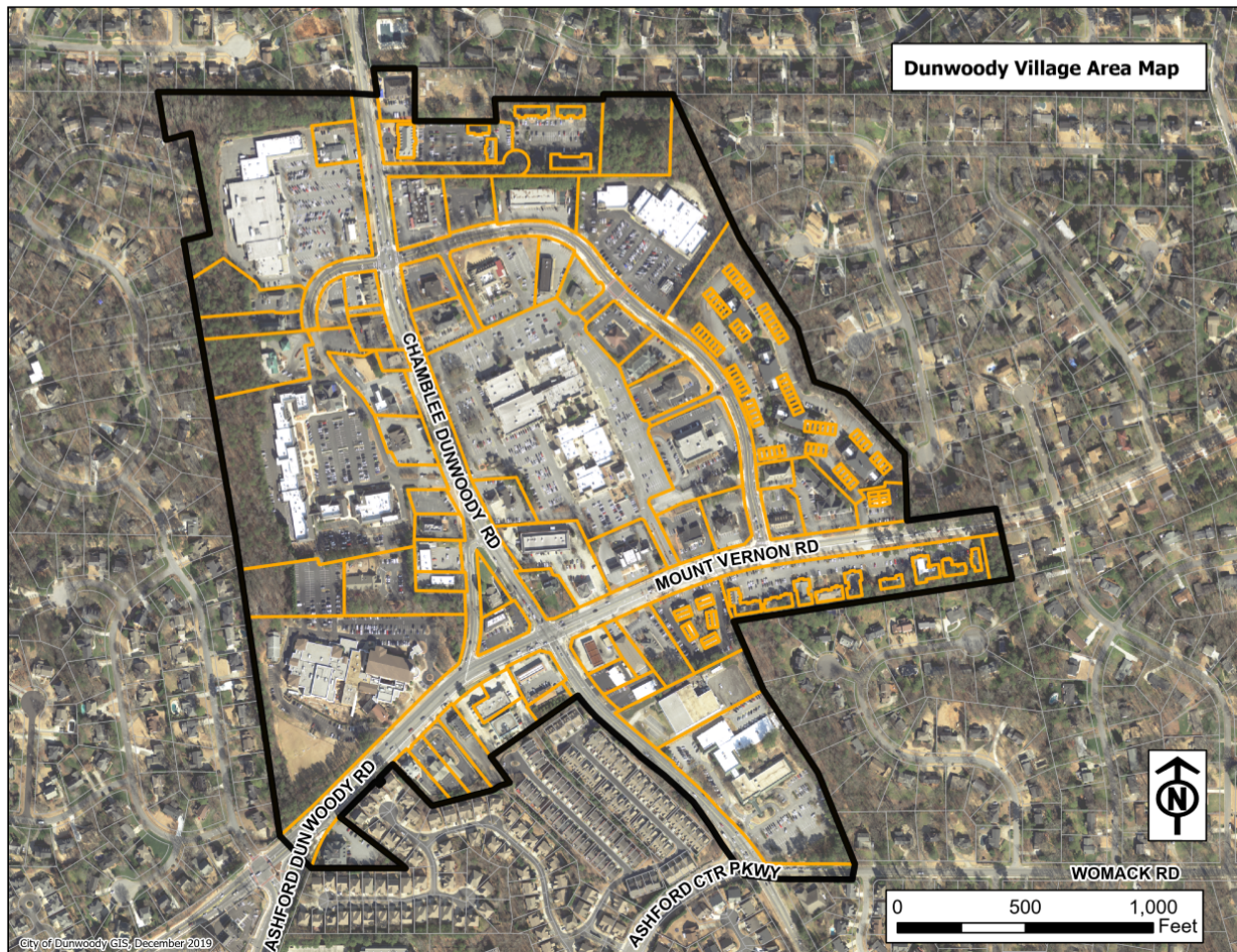
MEMORANDUM

To: Planning Commission

From: John Olson, AICP

Date: March 10, 2020

Subject: Review and consideration of an ordinance to amend Chapter 27 of the City of Dunwoody Village Zoning Ordinance to adopt new Dunwoody Village district zoning regulations and to repeal conflicting sections.

**ITEM DESCRIPTION**

This item is a request to consider zoning text amendments to amend Dunwoody's Zoning Ordinance (Chapter 27) to include the adoption of new Dunwoody Village ("DV") district regulations. These regulations pertain to properties found within the Dunwoody Village Area Map depicted above. The proposed text amendments will add a new division, division 6-Dunwoody Village Districts, to Chapter 27, Article II-Zoning Districts. All conflicting regulation

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Eric Linton, ICMA-CM City Manager
Sharon Lowery, CMC City Clerk

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Jim Riticher City Council Post 2
Tom Lambert City Council Post 3

Stacey Harris City Council Post 4
Joe Seconder City Council Post 5
John Heneghan City Council Post 6

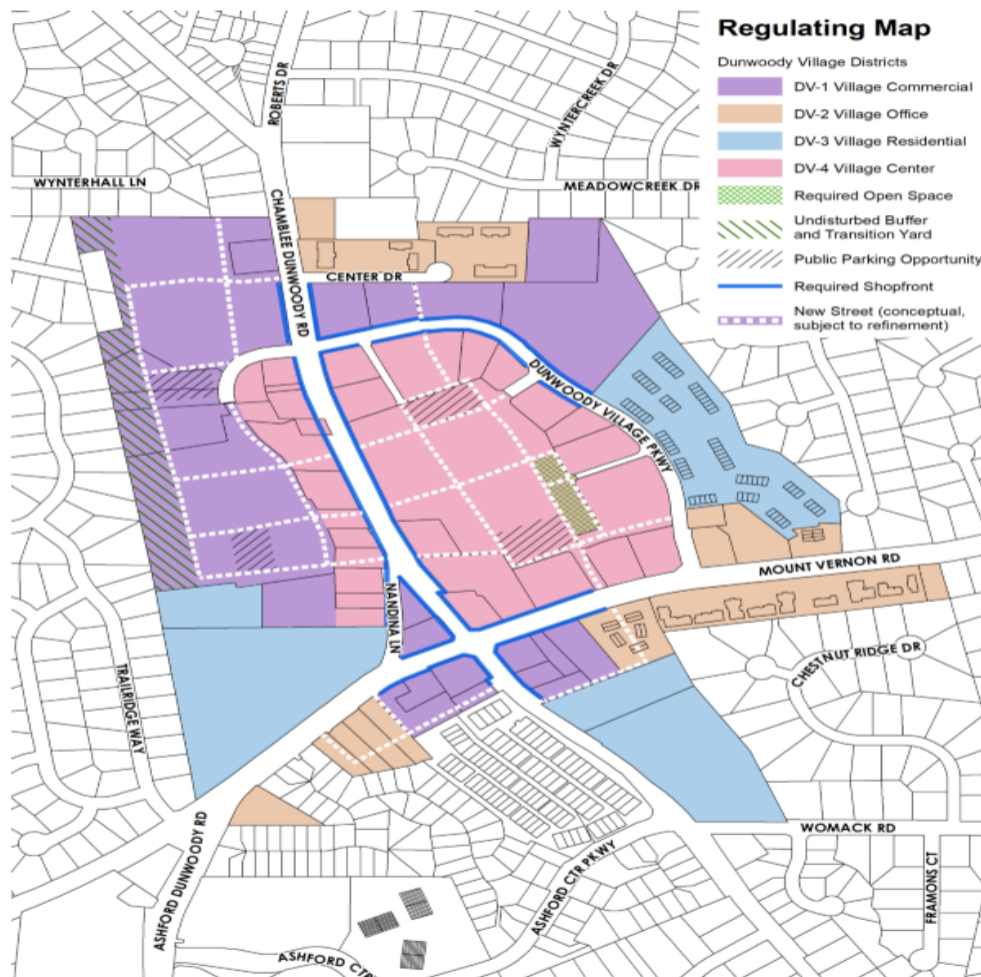
pertaining to the Dunwoody Village Overlay, found in Chapter 27-97, will be repealed and replaced with the new regulations. The proposed text changes are depicted in Exhibit "A".

BACKGROUND

In January of 2019 staff began working with TSW, an Atlanta based architecture and planning firm. In preparation for future zoning changes, the update takes into consideration, connectivity, public open space, and the future character of development. Staff has summarized some of the key components of the update below:

Dunwoody Village regulating map: A "regulating map" (see below) would replace the existing overlay district with site specific requirements. Contrary to conventional zoning, which strictly regulates use, the regulating map includes requirements on new streets, public parking decks, storefront buildings, and required opens space standards, which are assigned to streets and blocks in the designated area. More specifically, each new Dunwoody Village zoning district will follow a set of standards for building form, street types, pedestrian paths, shopfronts, and open spaces.

Figure 27-107B-1 Regulating Map



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Connectivity: As properties redevelop, new streets would be required to be built by developers in the approximate locations shown on the Regulating Map. These would ensure that all traffic is not concentrated on existing roads that already have high traffic. It would also encourage walking and allow alternate routes. Pedestrian paths would also be encouraged to connect to single-family neighborhoods adjacent to the Village. These would allow residents to walk to the amenities offered in new developments, but their design and location would be subject to future studies and access negotiations.

Public Parking Garages: Locations for public parking opportunities are shown on the Regulating Map. In these locations, developers would be allowed to exceed the maximum amount of parking that would otherwise be allowed, as an incentive to construct shared, public parking decks that serve the surrounding area. Along public or private streets, parking structures would be required to be fronted by buildings having habitable space along the full length of the parking structure.

Streetscapes: New developments will be required to upgrade sidewalks to 8-12 feet wide, with a 6-foot wide landscaping area adjacent to the curb. This would include street lights and benches and would be flexible to avoid impacting trees. Additionally, developers would be required to put utilities underground, but the City could assist with Mt. Vernon and Chamblee-Dunwoody Roads in some cases.

Architectural materials: Facades would have to brick, stone, hardiboard, true stucco, or ceramic panels.

Building Types: Form-based standards for building types are proposed to improve the quality of design. The proposed regulations would define four building types (shopfront, general, townhouse, and civic), along with regulations for their setbacks, ground floor height, facade design, and requirements on uses on the ground floor versus upper floors. Shopfront buildings would be required in the locations shown on the Regulating Map, in order to ensure that there is sidewalk activity and appropriate design along those key public street. Building types will be improved upon by eliminating blank walls as well as prohibiting parking adjacent to a street, except for on-street parking.

Use standards and restrictions: The Master Plan and code seek to support neighborhood-serving goods and services. Banks would have to be spaced at least ¼ mile apart which would effectively make it difficult for any new banks from moving in. Also, automobile-centric commercial uses will be prohibited. These include gas stations, auto repair shops, and drive-throughs and removing these uses will help us create a healthier, more pedestrian-focused Village. Further, to prevent large big box stores, uses would be limited to no more than 50,000 square feet. In regards to residential uses, detached single-family houses would not be allowed but townhouses will be allowed in DV-1 and DV-3 with owner occupied multi-unit housing allowed in all districts. Additionally, any proposed multi-family, rental would be required to be reviewed by Planning Commission and approved by City Council as a Special Land Use Permit. Finally, to ensure active streets, some degree of mixed use development is required within the DV-1, DV-2, and DV-4 districts.

Building Height: Building heights will vary based upon the following zoning districts:

- DV-1: Village Commercial 4 stories (3 stories within 100 feet of single-family zoning)
- DV-2: Village Office 3 stories
- DV-3: Village Residential 3 stories
- DV-4: Village Center 5 stories

Zoning Transitions/buffers: Where a DV-1 Village Commercial district abuts any single-family residential zoning district to the west, an undisturbed buffer with a depth of 130 feet is required abutting the single-family zoning district, except adjacent to 1205 and 1206 Hidden Ridge Lane, where an undisturbed buffer with a depth of 50 feet is required, as shown on the regulating map, figure 27-107B-1. Adjacent to the undisturbed buffer, a TY4 transition yard is required with a minimum width of 20 feet, except adjacent to the buffer adjacent to 1205 and 1206 Hidden Ridge Lane, where no transition yard is required. The total combined depth of the undisturbed buffer and transition yard shall be 150 feet, except adjacent to 1205 and 1206 Hidden Ridge Lane, where it shall be 50 feet. Transition yards

Open space: The following amounts of open space would be required for all redevelopment:

- Sites under 1 acre: minimum 5% open space
- Sites 1 to 10 acres: minimum 10% open space
- Sites over 10 acres: minimum 15% open space

Open space would have to be designed with high design standards below:



(e) Plaza.

The intent of the plaza is to provide a formal open space type of medium scale to serve as a gathering place for civic, social, and commercial purposes. The plaza may contain a greater amount of impervious coverage than any other open space type. Special features, such as fountains and public art installations, are encouraged.

PLAZA CRITERIA	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	60 feet
Minimum Percentage of Street Frontage Required	25%
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of plaza area
Maximum Impervious Surface + Semi-Permeable Surface	40% + 20%
Maximum Percentage of Open Water & Stormwater Features	30%



(f) Green.

The intent of the green is to provide informal, medium scale active or passive recreation for building occupants and visitors within walking distance, mainly fronted by streets.

GREEN CRITERIA	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	25%
Improvements	
Fully Enclosed Structures	Not Permitted
Maximum Impervious Surface + Semi-Permeable Surface	20% + 15%
Maximum Percentage of Open Water & Stormwater Features	30%



(g) Commons.

The intent of the commons is to provide an informal, small to medium scale space for active or passive recreation for a limited area. Commons are typically internal to a block and tend to serve adjacent building occupants.

COMMONS CRITERIA	
Dimensions	
Minimum Size	0.45 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	0%; requires a minimum of two acres points with a total depth of 100 feet maximum (minimum 30 feet wide)
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of commons area
Maximum Impervious Surface + Semi-Permeable Surface	30% + 10%
Maximum Percentage of Open Water & Stormwater Features	30%



(h) Park.

The intent of the park is to provide informal active and passive large-scale recreational amenities to local residents and the greater region. Parks have primarily natural plantings and are frequently created around an existing natural feature such as a water body or stands of trees.

PARK CRITERIA	
Dimensions	
Minimum Size	0.75 acres
Minimum Dimension	30 feet; minimum average width of 80 feet
Minimum Percentage of Street Frontage Required	30% for parks less than 5 acres; 20% for parks 5 or more acres in size
Improvements	
Fully Enclosed Structures	Permitted in parks 2 acres or larger in size
Maximum Impervious Surface + Semi-Permeable Surface	20% + 10%
Maximum Percentage of Open Water & Stormwater Features	30%



(i) Rooftop terrace.

The intent of the rooftop terrace is to provide a formal or informal, small to medium scale space for passive or active recreation or gatherings. Rooftop terraces tend to serve adjacent building occupants but must be open to the general public to count toward the open space requirement.

ROOFTOP TERRACE CRITERIA	
Dimensions	
Minimum Size	0.10 acre
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	0% but must have signage that is clearly visible from the street indicating how to access the terrace
Minimum Percentage of Accessible Terrace Area	25% of terrace area must be designed to be accessible; all remaining areas must be planted
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of terrace area
Maximum Impervious Surface + Semi-Permeable Surface	no maximum
Maximum Percentage of Open Water & Stormwater Features	30%

Rooftop terraces would be allowed to count as open space if they remain open to the general public. Also, a large public open space would be required in the location shown on the Regulating Map.

Variances: Variances from the zoning regulations would be referred to as major exceptions and minor exceptions. Major exceptions would need to be voted on by the Zoning Board of Appeals and minor exceptions could be authorized by the community development director.

RECOMMENDATION

Staff recommends that the changes to Chapter 27 be approved as recommended in Exhibit "A".

EXHIBIT A: Chapter 27 Dunwoody Village text Amendment

EXHIBIT B: Ordinance for Dunwoody Village Text Amendments

ATTACHMENTS

- EXHIBIT A: Chapter 27 Dunwoody Village text amendment
- EXHIBIT B: Ordinance for Dunwoody Village Text amendments
- Dunwoody Village text amendments with highlights of changes since last PC

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27-107A Administration.

Intent and applicability.

27-107A Administration.**(a) Intent and applicability.**

(1) **Intent.** The Dunwoody Village (DV) district regulations are intended to implement the policies and objectives of the comprehensive plan and the Dunwoody Village Master Plan. They are further intended to help:

- a. Maintain and enhance the identity and image of Dunwoody Village;
- b. Accommodate and promote walkable development patterns containing a complementary mix of land uses;
- c. Create opportunities for functional landscaped open and gathering spaces in the core of Dunwoody;
- d. Ensure that new development and substantial additions to existing buildings are designed to promote Dunwoody Village as an area of unique character, while requiring that all new construction makes use of design standards and materials that enhance the district, complement existing character, and allow for the introduction of new design elements while supporting the addition of walkability and open space;
- e. Support efforts to create a vibrant shopping and entertainment area in which merchants and businesses thrive and grow,

thereby helping to maintain property values and keeping vacancy rates low; and

- f. Maintain and enhance the area's role as a place for civic activities and public gatherings within well-designed open spaces.

(2) Applicability.

- a. DV district regulations apply to properties zoned to a DV district in accordance with the regulating map (figure 27-107B-1) and the amendment procedures of article V, division 2.
- b. The general applicability provisions of Sec. 27-3 of this zoning ordinance apply to properties zoned a DV district, except where alternative applicability standards exist in DV district regulations.

(b) Administration and procedures.

- (1) **Establishment of Dunwoody Village districts.** Dunwoody Village (DV) zoning district classifications may be applied to property and DV district boundaries may be amended only in accordance with the amendment procedures of article V, division 2 and the regulating map of figure 27-107B-1.
- (2) **Effect of establishment.** Once property has been classified in a DV district, that property is subject

27-107A Administration.

Administration and procedures.

exclusively to the applicable DV district regulations.

(3) Review and approval procedures.

Unless otherwise expressly stated, all uses and development in DV districts are subject to the applicable review and approval procedures of article V, as well as any applicable procedures in chapter 16 of the municipal code (land development regulations).

(4) Pre-application conference. Pre-application conferences with staff are required for development permit applications (see the pre-application provisions of section 27-305).**(5) Site plan review.** Development permits applications must be accompanied by a site plan, which is subject to review and approval in accordance with article V, division 10.**(6) Relief.** The DV districts are intended to accommodate development as-of-right when such development occurs in strict conformance with applicable regulations. In some instances, however, unique site conditions, existing building circumstances, or other constraints related to the subject property may make strict compliance impossible or highly impractical. In such instances, an applicant may seek relief from applicable regulations. Any relief granted and conditions imposed run with the land and are binding on the subject property owner and all future property owners.**a. Minor exception -**

Administrative relief. The community development director is authorized to approve the following minor exceptions in accordance with the special administrative permit procedures of article v, division 7:

1. The location of a building relative to any minimum setback requirement or build-to zone width/location, provided that the location deviates from strict compliance by no more than five feet, except when a greater deviation is necessary to minimize the impact on special or specimen trees;
2. An increase in total impervious coverage by no more than five percent, not to exceed the total amount of permitted impervious plus semi-pervious coverage;
3. A decrease in the percent of building façade in the build-to zone by no more than 10 percent, except when a greater decrease is necessary to minimize the impact on special or specimen trees;
4. A reduction in the amount of required shopfront building frontage along primary streets, by no more than 10 percent,

27-107A Administration.

Text and Graphics.

except when a greater reduction is necessary to minimize the impact on special or specimen trees;

5. Additional height of any building story by no more than two feet, provided that the overall building height does not exceed the maximum permitted height;
6. An increase in the maximum permitted height of a retaining wall by up to five feet;
7. A modification to the required streetscape along existing streets with existing utilities, special trees, or specimen trees within or adjacent to the otherwise required streetscape; and
8. Any other minor exception expressly authorized under the Dunwoody Village district regulations.

- b. **Major exceptions - Special exceptions.** Major exceptions to strict compliance with the DV district regulations include any exception to strict compliance that is not expressly authorized as a minor exception under the provisions of subsection 27-107A(b)(6)a. Major exceptions require review and approval in accordance with the special exception procedures of article V, division 6.

(c) Text and Graphics.

Graphics are included in DV districts to illustrate the intent and requirement of the text. In the case of a conflict between the text and any graphics, the text governs.

(d) Primary street designation.

When used within a DV district, “primary street” means Chamblee Dunwoody Road, Mt. Vernon Road, and Dunwoody Village Parkway.

27-107B Districts.

Districts and regulating map.

27-107B Districts.**(a) Districts and regulating map.**

- (1) **District map.** The location for each DV district is designated in figure 27-107B-1, regulating map.
- (2) **Official zoning map.** The location for each DV district shown on the regulating map shall also be designated on the official zoning map.
- (3) **District requirements.** The requirements in this subsection apply to the DV districts as follows.
 - a. **Requirements specific to each district.** Refer to sections 27-107B(b) through 27-107B(e) for specific descriptions and requirements for each district.
 - b. **Use requirements for all districts.** Refer to section 27-107B(f), uses, for use requirements applicable to all districts.
- (4) **General regulations.** Refer to section 27-107C for general regulations that apply to all DV districts.
- (5) **Building type regulations.** Refer to section 27-107D for building type regulations that apply to all DV districts.
- (6) **Open space regulations.** Refer to section 27-107E for open space

regulations that apply to all DV districts.

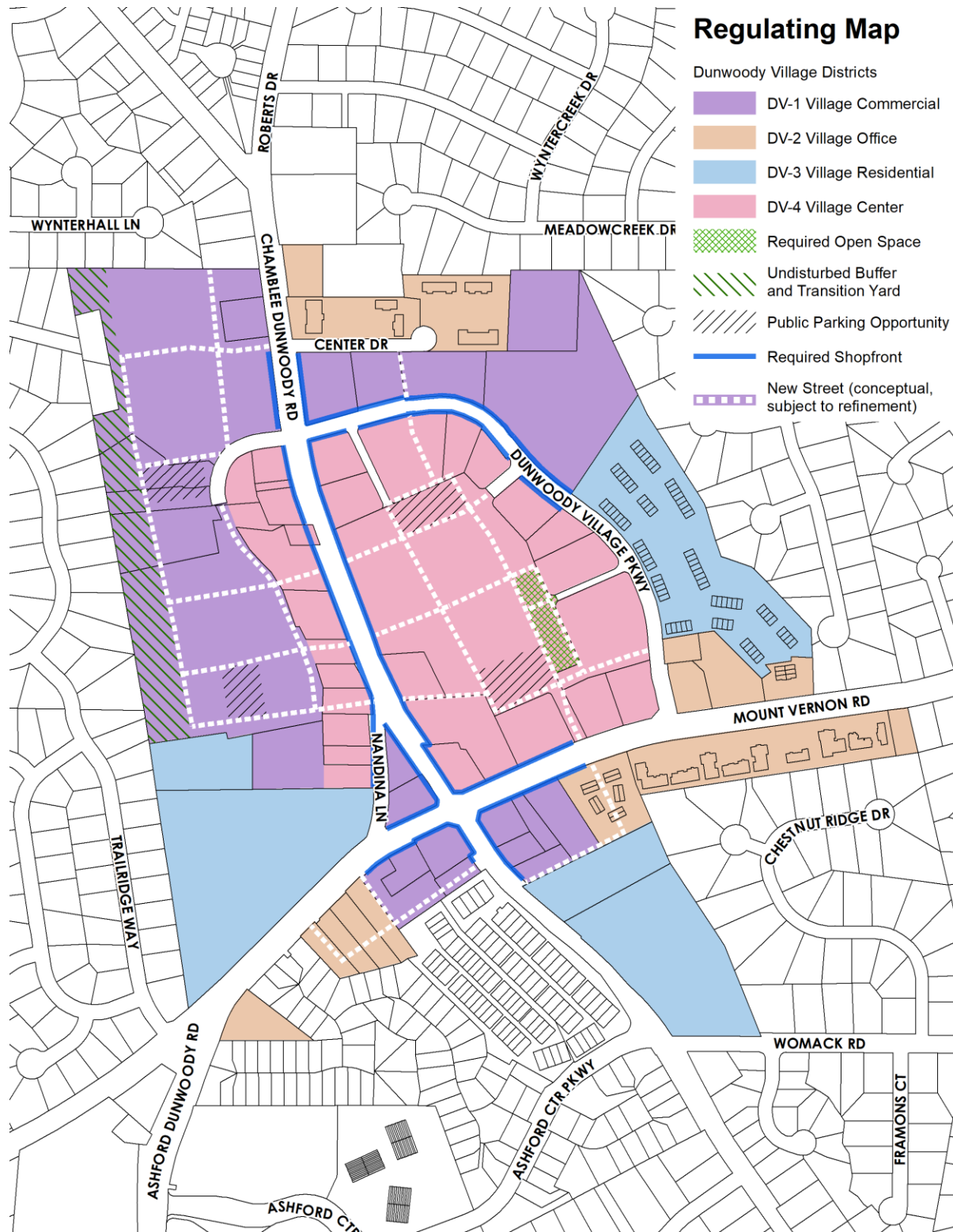
(7) Buffers and transition yards.

- a. Refer to section 27-230, transition yards, for information on buffer and screen requirements between different districts and uses, except where b. below applies.
- b. Where a DV-1 Village Commercial district abuts any single-family residential zoning district to the west, an undisturbed buffer with a depth of 130 feet is required abutting the single-family zoning district, except adjacent to 1205 and 1206 Hidden Ridge Lane, where an undisturbed buffer with a depth of 50 feet is required, as shown on the regulating map, figure 27-107B-1. Adjacent to the undisturbed buffer, a TY4 transition yard is required with a minimum width of 20 feet, except adjacent to the buffer adjacent to 1205 and 1206 Hidden Ridge Lane, where no transition yard is required. The total combined depth of the undisturbed buffer and transition yard shall be 150 feet, except adjacent to 1205 and 1206 Hidden Ridge Lane, where it shall be 50 feet.

Division 6. Dunwoody Village Districts

27-107B Districts.

Districts and regulating map.

DRAFT**Figure 27-107B-1** Regulating Map

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27-107B Districts.

DV-1 Village Commercial District.

(b) DV-1 Village Commercial District.

Requirements for this district are provided in figure 27-107B-1. DV-1 District Requirements.

- (1) **Description & Intent.** The DV-1 District is intended to provide areas for commercial uses that primarily serve the needs of nearby neighborhoods. The district also includes opportunities for residential uses when incorporated into mixed-use developments.

Figure 27-107B-2 DV-1 District Requirements

DV-1 VILLAGE COMMERCIAL DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	●	section 27-107D Building Types
	General	●	
	Townhouse	●	
	Civic	●	
USE MIX	Mixed-Use Requirement	Maximum 75% of floor area may be residential	section 27-107B(f) Uses
HEIGHT	Maximum: less than 100 feet from a lot line adjacent to single family zoning district	3 stories or 45 feet, whichever is less	section 27-107D(c) through (f) for floor-to-floor heights per Building Type
	Maximum: greater than 100 feet to a lot line adjacent to single family zoning district	4 stories or 65 feet, whichever is less	
SITE COVERAGE	Maximum Impervious Cover (Sites under 1 acre)	85 percent	section 27-621 Terms Defined
	Maximum Impervious Coverage (Sites 1 Acre or Larger)	80 percent	
LOTS	Lot Area	No minimum	
	Lot Width	20 feet minimum	
SETBACKS	Build-to Zone	No minimum / 10 feet maximum	
	Parking (front and side corner)	30 feet minimum	
	Side (interior)	No minimum	
	Side (corner)	See front	
	Rear	No minimum	
OPEN SPACE REQUIREMENTS	Plaza	●	section 27-107E Open Space Types
	Green	●	
	Commons	●	
	Park	●	
	Minimum Area (Sites Under 1 Acre)	5 percent of total site area	
	Minimum Area (1 to 10 Acres)	10 percent of total site area	
	Minimum Area (Sites Over 10 Acres)	15 percent of total site area	

● = permitted

Division 6. Dunwoody Village Districts

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27-107B Districts.

DV-2 Village Office District.

(c) **DV-2 Village Office District.**

Requirements for this district are provided in figure 27-107B-3. DV-2 District Requirements.

- (1) **Description & Intent.** The DV-2 District is intended to provide areas for small-scale office uses to serve nearby neighborhoods.

Figure 27-107B-3 DV-2 District Requirements

DV-2 VILLAGE OFFICE DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	●	section 27-107D Building Types
	General	●	
	Townhouse	●	
	Civic	●	
USE MIX	Mixed-Use Requirement	Ground floor residential use not allowed along a public or private street	section 27-107B(f) Uses
HEIGHT	Maximum	3 stories or 52 feet, whichever is less	section 27-107D(c) through (f) for floor-to-floor heights per Building Type
SITE COVERAGE	Maximum Impervious Cover (Sites under 1 acre)	85 percent	section 27-621 Terms Defined
	Maximum Impervious Coverage (Sites 1 Acre or Larger)	80 percent	
LOTS	Lot Area	No minimum	
	Lot Width	16 feet minimum	
SETBACKS	Build-to Zone	No minimum / 10 feet maximum	
	Parking (front and side corner)	30 feet minimum	
	Side (interior)	No minimum	
	Side (corner)	See front	
	Rear	No minimum	
OPEN SPACE REQUIREMENTS	Plaza	●	section 27-107E Open Space Types
	Green	●	
	Commons	●	
	Park	●	
	Minimum Area (Sites Under 1 Acre)	5 percent of total site area	
	Minimum Area (1 to 10 Acres)	10 percent of total site area	
	Minimum Area (Sites Over 10 Acres)	15 percent of total site area	

● = permitted

Division 6. Dunwoody Village Districts

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27-107B Districts.

DV-3 Village Residential District.

(d) **DV-3 Village Residential District.**

Requirements for this district are provided in figure 27-107B-4. DV-3 District Requirements.

- (1) **Description & Intent.** The DV-3 District is intended to provide areas for residential uses that are within walking distance of retail and services. The district also supports existing quasi-public and institutional uses within Dunwoody Village.

Figure 27-107B-4 DV-3 District Requirements

DV-3 VILLAGE RESIDENTIAL DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront		section 27-107D Building Types
	General	●	
	Townhouse	●	
	Civic	●	
USE MIX	Mixed-Use Requirement	n/a	section 27-107B(f) Uses
HEIGHT	Maximum	3 stories or 52 feet, whichever is less	section 27-107D(c) through (f) for floor-to-floor heights per Building Type
SITE COVERAGE	Maximum Impervious Cover (Sites under 1 acre)	85 percent	section 27-621 Terms Defined
	Maximum Impervious Coverage (Sites 1 Acre or Larger)	80 percent	
LOTS	Lot Area	No minimum	
	Lot Width	20 feet minimum	
SETBACKS	Build-to Zone	No minimum / 10 feet maximum	
	Parking (front and side corner)	30 foot minimum	
	Side (interior)	10 foot minimum	
	Side (corner)	See front	
	Rear	No minimum	
OPEN SPACE REQUIREMENTS	Plaza	●	section 27-107E Open Space Types
	Green	●	
	Commons	●	
	Park	●	
	Minimum Area (Sites Under 1 Acre)	5 percent of total site area	
	Minimum Area (1 to 10 Acres)	10 percent of total site area	
	Minimum Area (Sites Over 10 Acres)	15 percent of total site area	

● = permitted

Division 6. Dunwoody Village Districts

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27-107B Districts.

DV-4 Village Center District.

(e) DV-4 Village Center District.

Requirements for this district are provided in figure 27-107B-5. DV-4 District Requirements.

- (1) **Description & Intent.** The DV-4 District is intended to serve as the core of Dunwoody Village and provide its most intense mix of uses, centralized landscaped open spaces, and highly walkable development patterns.

Figure 27-112-5 DV-4 District Requirements

DV-4 VILLAGE CENTER DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	●	section 27-107D Building Types
	General	●	
	Townhouse	●	
	Civic	●	
USE MIX	Mixed-Use Requirement	For all developments with over 15,000 square feet of floor area, a minimum 2 use categories shall be provided	section 27-107B(f) Uses
HEIGHT	Minimum	2 stories along all public streets	section 27-107D(c) through (f) for floor-to-floor heights per Building Type
	Maximum	5 stories or 80 feet, whichever is less	
SITE COVERAGE	Maximum Impervious Cover (Sites under 1 acre)	95 percent	section 27-621 Terms Defined
	Maximum Impervious Coverage (Sites 1 Acre or Larger)	90 percent	
LOTS	Lot Area	No minimum	
	Lot Width	20 feet minimum	
SETBACKS	Build-to Zone	No minimum / 10 feet maximum	
	Parking (front and side corner)	30 foot minimum	
	Side (interior)	No minimum	
	Side (corner)	See front	
	Rear	10 foot minimum	
OPEN SPACE REQUIREMENTS	Plaza	●	section 27-107E Open Space Types
	Green	●	
	Commons	●	
	Park	●	
	Minimum Area (Sites Under 1 Acre)	5 percent of total site area	
	Minimum Area (1 to 10 Acres)	10 percent of total site area	
	Minimum Area (Sites Over 10 Acres)	15 percent of total site area	

● = permitted

Division 6. Dunwoody Village Districts

27-107B Districts.**DRAFT****Uses.****(f) Uses.**

The following applies to all DV districts.

(1) **Use table.** The following apply to the uses outlined in this section. Refer to figure 27-107B-6, use table.

- a. **Use categories.** Refer to sections 27-111 through 27-116.
- b. **Permitted and special uses.** Each use may be permitted as-of-right, permitted with a special administrative permit, permitted as a special exception, or permitted with a special land use permit. Refer to figure 27-107B-6, use tables.
- c. **Number of uses.** A lot may contain more than one use.
- d. **Principal and accessory uses.** Each of the uses may function as either a principal use or accessory use on a lot, unless otherwise specified.
- e. **Building type.** Each use shall be located within a permitted building type (refer to section 27-107D, building types), unless otherwise specified.

(2) **Use subcategories.** For the purposes of fulfilling the use mix requirements defined in each district table (refer to section 27-107B(b) through section 27-107B(e)), utilize the following subcategories of uses, consisting of those uses listed in the table, that may

contribute to the mix. Some permitted uses are not included.

a. **Lodging and residence subcategory.**

Household living
Group living
Lodging

b. **Civic subcategory.**

Club or lodge, private
Cultural exhibit
Educational services
Hospital
Place of worship

c. **Office subcategory.**

Construction and building sales and service
Medical service
Office or consumer service
Research and testing services

d. **Retail sales subcategory.**

Retail sales
Food and beverage retail sales

e. **Service use subcategory.**

Animal services
Day care
Repair or laundry services, consumer
Personal improvement services
Eating and drinking establishments
Financial services
Entertainment and spectator sports

Division 6. Dunwoody Village Districts

27-107B Districts.**DRAFT****Uses.****(3) Live-Work**

- a. **Defined.** Accessory nonresidential activity conducted wholly within a dwelling unit that allows employees, customers, or clients to visit.

limitation, noise, dust, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses, off the premises.

- b. **Use Standards.** All live-work is subject to the following:

- Live-work is only allowed when the dwelling unit to which it is accessory has been approved in accordance with figure 27-107B-6, use table.
- Live-work is only allowed on the ground story of a building.
- At least one person must occupy the dwelling containing the live-work use as their primary place of residence.
- The live-work use may employ no more than two persons not living on the premises at any one time.
- No business storage or warehousing of material, supplies, or equipment is permitted outside of the dwelling containing the live-work use.
- The nonresidential use of the live-work use is limited to a use allowed in the DV district.
- No equipment or process may be used that creates, without

Figure 27-107B-6 Use Table

USES	DISTRICT				Reference
	DV-1	DV-2	DV-3	DV-4	
RESIDENTIAL					
Household Living					
Detached house	-	-	-	-	
Attached house, rental	S	-	S	-	
Attached house, owner occupied	P	-	P	-	
Multi-unit building, rental	S[1]	S[1, 4]	S[1]	S[1]	
Multi-unit building, owner occupied	P[1]	P[1, 4]	P[1]	P[1]	
Age-Restricted Multi-unit building, rental	P	P	P	P	
Age-Restricted Multi-unit building, owner occupied	P	P	P	P	
Live/work	See principal dwelling unit				27-107B(f)(3)
Group Living	S	-	S	S	
QUASI-PUBLIC & INSTITUTIONAL					
Ambulance Service	S	S	S	S	
Club or Lodge, Private	P	-	-	P	
Cultural Exhibit	P	P	P	P	
Day Care	P	P	P	P	
Educational Services	S	S	-	S	
Hospital	-	-	-	-	
Place of Worship	P	P	P	P	27-146
Utility Facility, Essential	P	P	P	P	27-151
COMMERCIAL					
Animal Services	S	S	-	P	
Microbrewery, wine specialty shop, distillery, cidery	P[2]	-	-	P[2]	
Communication Services					
Telecommunications antenna mounted to building or similar structure	A	A	A	A	

Division 6. Dunwoody Village Districts

27-107B Districts.**DRAFT**

Uses.

USES	DISTRICT				Reference
	DV-1	DV-2	DV-3	DV-4	
All other	P	P	P	P	
Standalone tower	S	S	S	S	
Construction and Building Sales and Services	P[2]	-	-	P[2]	
Eating and Drinking Establishments					
Food truck	P	P	-	P	27-138
Other eating or drinking establishment	P[2]	-	-	P[2]	
Drive-through Facility	-	-	-	-	
Entertainment and Spectator Sports					
Indoor	P[2]	-	-	P[2]	
Outdoor	-	-	-	-	
Financial Services					
Brokerage and investment services	P	P	-	P	
Banks, credit unions, savings and loan associations	P[3]	P[3]	-	P[3]	
Food and Beverage Retail Sales	P[2]	-	-	P[2]	
Funeral and Interment Services	-	-	-	-	
Lodging	P	P	-	P	
Medical Service	P	P	-	P	
Office or Consumer Service	P	P	-	P	
Parking, Non-accessory	P	P	-	P	27-107D(i)(5)
Personal Improvement Service	P[2]	P[2]	-	P[2]	
Repair or Laundry Service, Consumer	P	P	-	P	
Research and Testing Services	P	P	-	P	
Retail Sales	P[2]	-	-	P[2]	
Sports and Recreation, Participant					
Indoor	P[2]	-	-	P[2]	
Outdoor	-	-	-	-	
Vehicle and Equipment, Sales and Service					
Gasoline sales	-	-	-	-	
Vehicle sales and rental	P[5]	-	-	P[5]	27-154
Vehicle repair, minor	-	-	-	-	27-153

P = use permitted as of right

A = special administrative permit required

S = special land use permit required

- [1] No more than 60% of dwelling units may have a floor area of less than 800 square feet.
- [2] Individual establishments shall not exceed 50,000 square feet in gross floor area.
- [3] Use shall not be located within 1,320 feet of the same use (as measured in a straight line from property line to property line), including any uses not within a DV district.
- [4] Use shall not be located on the ground story along any public or private street. When the use is allowed on the ground story it must be set at least 30 feet behind the street-facing façade.
- [5] No more than 4 vehicles for sale or rent may be displayed on site. All vehicles for sale or rent must be located in conditioned space.

27-107C General Regulations

Streets, Blocks, and Paths.

27-107C General Regulations

(a) Streets, Blocks, and Paths.

(1) **Intent.** The intent of the following is to form an interconnected network of streets with multiple intersections and block sizes scaled to support multiple modes of transportation, including walking, biking, transit use, and driving, within Dunwoody Village. Refer to chapter 16 for additional regulations.

(2) **Applicability.** New development and redevelopment must meet these street, block, and path requirements under any of the following circumstances:

- a. **New structure.** Development of a new principal structure on a lot or portion of a lot.
- b. **Redevelopment or renovation.** Redevelopment or renovation to an existing structure or site that increases the gross building square footage by more than 10 percent over a 12-month period.
- c. **Parking lots.** Redevelopment or revision to 10 percent or more of an existing parking lot or development of a new parking lot, not including resurfacing, restriping, or minor repairs to an existing lot.

(3) New street locations.

- a. **Regulating map streets.** New streets must be installed in the

approximate locations shown on figure 27-107B-1, regulating map, in order establish a network that fulfills the streets, block, and path intent and regulations. Additional streets not shown on the regulating map are also allowed.

- b. **Community development approval.** The design and locations of all streets shall be approved by the community development director during the site plan review process.

(4) **Street connectivity.** The following provides requirements and guidance for locating new streets and connecting to surrounding context.

- a. The arrangement of streets must provide for the continuation of existing streets from adjoining areas into new developments.
- b. Cul-de-sac and dead-end streets shall only be allowed where topography and other existing barriers, such as or waterways, prevent street connectivity.
- c. Streets must follow natural features rather than interrupting or dead-ending at the feature.
- d. Streets must terminate at another street with either landscaped open space or a building façade across from the termination.
- e. When adjacent developments do not provide street connectivity,

27-107C General Regulations

Streets, Blocks, and Paths.

applicants must coordinate with the community development director to determine the potential for future connections and provide for those connections.

(5) **Block configuration.** Refer to figure 27-107C-1 for an illustration of typical block elements and section 16-240 for blocks.

- a. Blocks should be deep enough to accommodate buildings that face streets with parking located in the interior of the block.

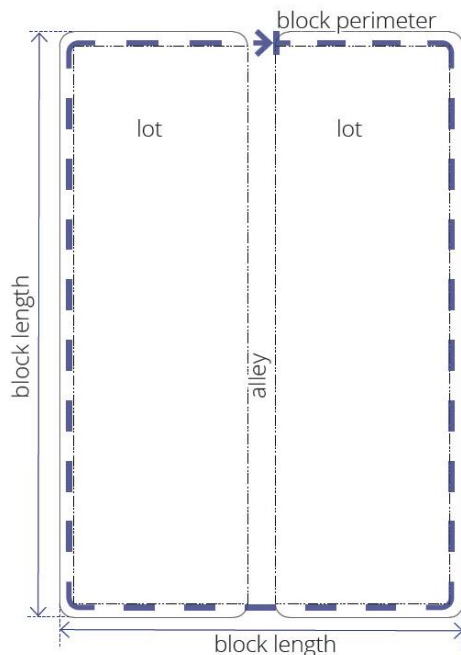


Figure 27-107C-1 Typical Block Elements

- b. Blocks may be configured to include existing lots within an existing zoning district that is not a DV district.

- c. A network of streets is required to meet the maximum block size requirement.
- d. Maximum block perimeter is 1,800 feet, except where the new streets required by the regulating map result in a smaller block perimeter, in which case such smaller block perimeter shall apply.
- e. Exceptions to block sizes may be granted by the community development director for new blocks that contain only open spaces or in locations adjacent to natural features such as steep grades and drainage areas, or other existing physical barriers.

(6) **Block driveway access.**

- a. Blocks may include internal alleys, drives, or driveway entrances for service, parking accessibility, and other routes internal to the development.
- b. Alleys shall have a maximum paved surface width of:
 1. Twelve feet when only serving attached houses; otherwise
 2. Twenty-four feet.
- c. Alleys and driveways should be aligned with alleys, driveways, and similar access points in other blocks.

27-107C General Regulations

Streets, Blocks, and Paths.

(7) Mid-block pedestrian ways.

- a. Mid-block pedestrian ways are required through blocks longer than 800 feet and at locations that connect public rights-of-way with other public facilities such as parks and transit stops.
- b. When combined with mid-block street crossings, these pathways should align to facilitate easy pedestrian movements.
- c. Mid-block pedestrian ways should be located in the middle third of a block face.
- d. The minimum width for mid-block pedestrian ways rights-of-way or easements is 20 feet.
- e. A minimum of one canopy tree per 600 square feet of area is required.
- f. Mid-block pedestrian ways shall be treated with the same design requirements as existing streets per subsection (8), streetscapes.
- g. Required new pedestrian paths per figure 27-107B-1 may fulfill the requirements for mid-block pedestrian ways.

(8) Streetscapes.

- a. **Applicability.** The following standards apply on existing and new public or private streets.
- b. **Landscape area.** All streets must incorporate the following

landscape area abutting the back of the curb:

- 1. **New streets.** Refer to section 27-107C(9), new streets.
- 2. **Existing streets.** A minimum 6-foot wide landscaped area, except when an official City plan or project uses an alternate design. When an alternate design is used, existing streets must conform to said design.
- c. **Sidewalk area.** All streets must incorporate the following sidewalks immediately adjacent to the required landscape area:
 - 1. **New streets.** Refer to section 27-107C(9), new streets.
 - 2. **Existing streets.** A minimum 12-foot wide sidewalk, except when an official City plan or project uses an alternate design. When an alternate design is used, existing streets must conform to said design.
- d. **Buildings.** Buildings must be built to the back of the sidewalk as established by build-to zone regulations. If buildings are set back from the edge of the required sidewalk, the setback area must include features such as outdoor dining and seating areas or plazas and landscaped open spaces that provide a safe, comfortable, and

27-107C General Regulations

Streets, Blocks, and Paths.

- active environment for pedestrians.
- e. **Lighting.** Lighting must conform to the following:
1. Pedestrian and street lighting must be installed in the streetscape landscape zone at intervals of 50 to 70 feet on center and must be located an equal distance from required street trees.
 2. Pole height may not exceed 15 feet.
 3. Light poles and lamps must be selected from the city's approved streetscape list, which is available in the public works department. Alternative designs may be approved on a case-by-case basis with the approval of the community development director.
- f. **Street Furniture.** Street furniture must be provided as follows:
1. Benches and trash and recycling receptacles must be installed every 250 feet along the street and at each building entrance adjacent to a pedestrian walkway.
 2. Furniture must be selected from the city's approved streetscape list, which is available in the community development department;
- alternative designs may be approved on a case-by-case basis with the approval of the community development director.
- g. **Maintenance.** Maintenance of trash and recycling receptacles, including servicing, repair, and replacement, is the full responsibility of the nearest adjacent property owner.
- h. **Recycling receptacles.** Recycling receptacles must be clearly identified with symbols and/or text indicating its intended use.
- (9) **New Streets.** The following apply to all new streets, including those not required by the regulating map.
- a. **Street type.** All new streets must be designed in accordance with new street type a, except where new street type b or new street type c are authorized by approval of both the community development director and the public works director, and except as provided for in "d" below.
 - b. **Public use.** All streets shall be available for public use at all times. Gated streets and streets posted as private are not permitted.
 - c. **Public street standards.** All new streets shall be public streets or private streets built to public standards.

27-107C General Regulations

Streets, Blocks, and Paths.

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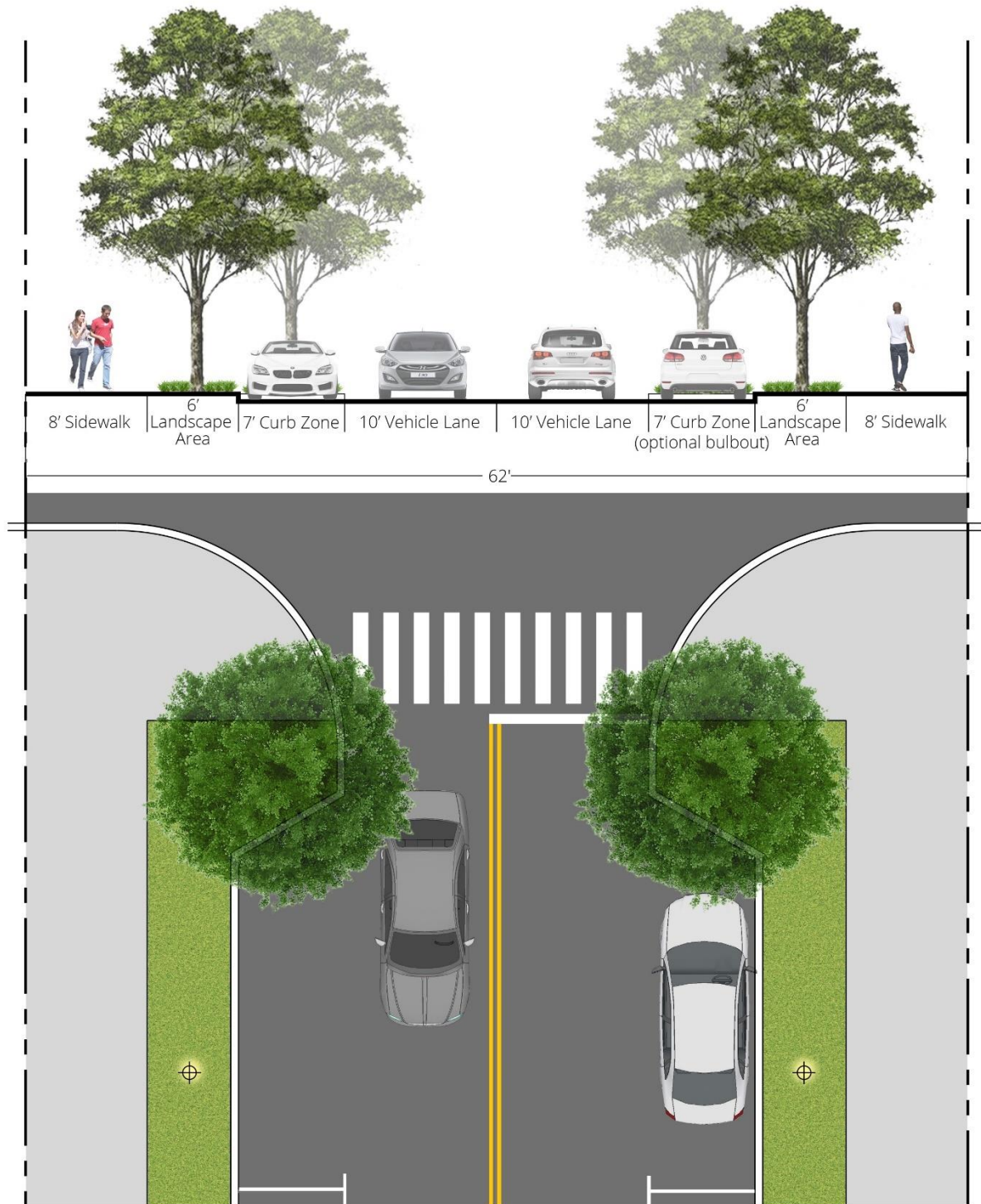
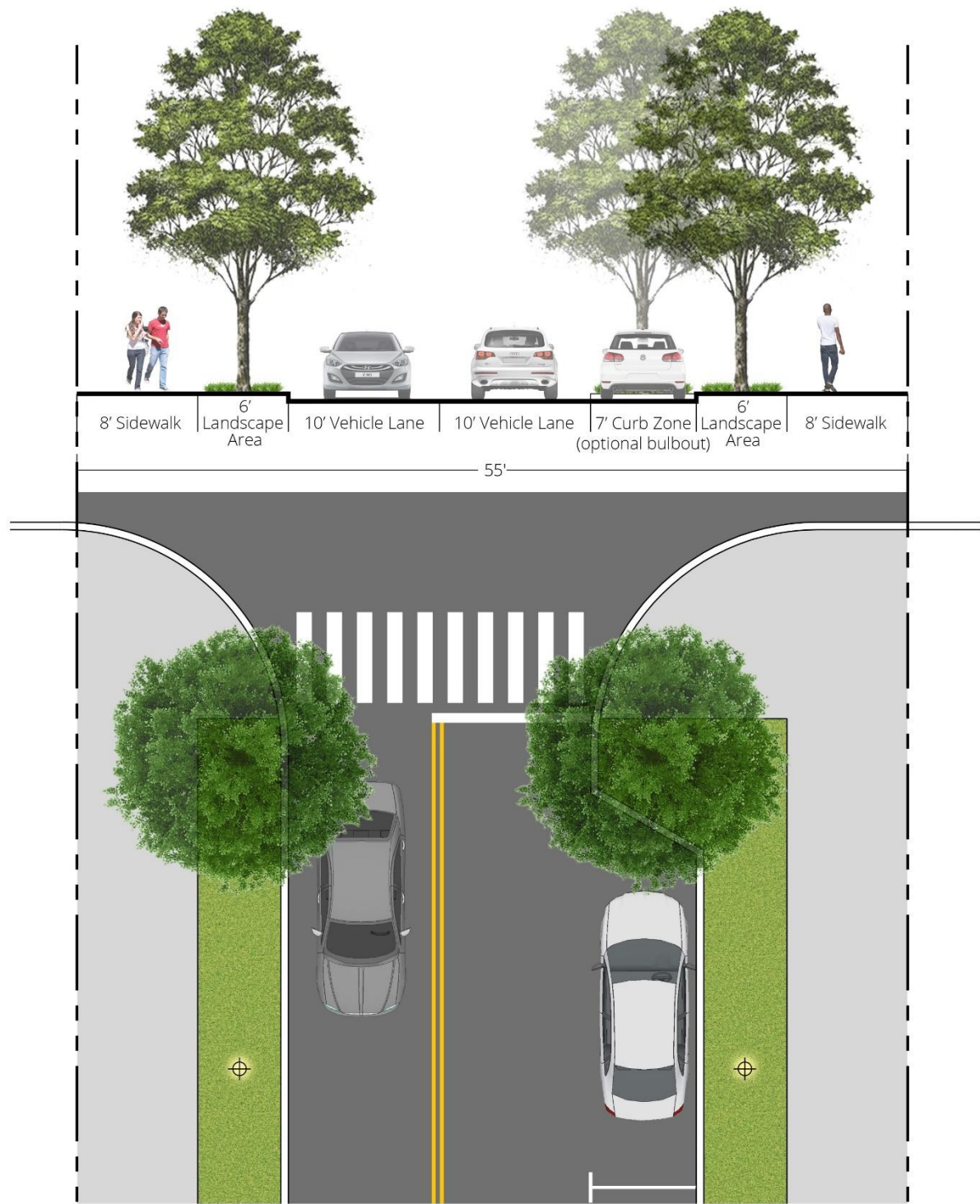


Figure 27-107C-4 New Street Type A (not to scale)

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Streets, Blocks, and Paths.

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27-107C General Regulations

Streets, Blocks, and Paths.

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Figure 27-107C-3 New Street Type B (not to scale)

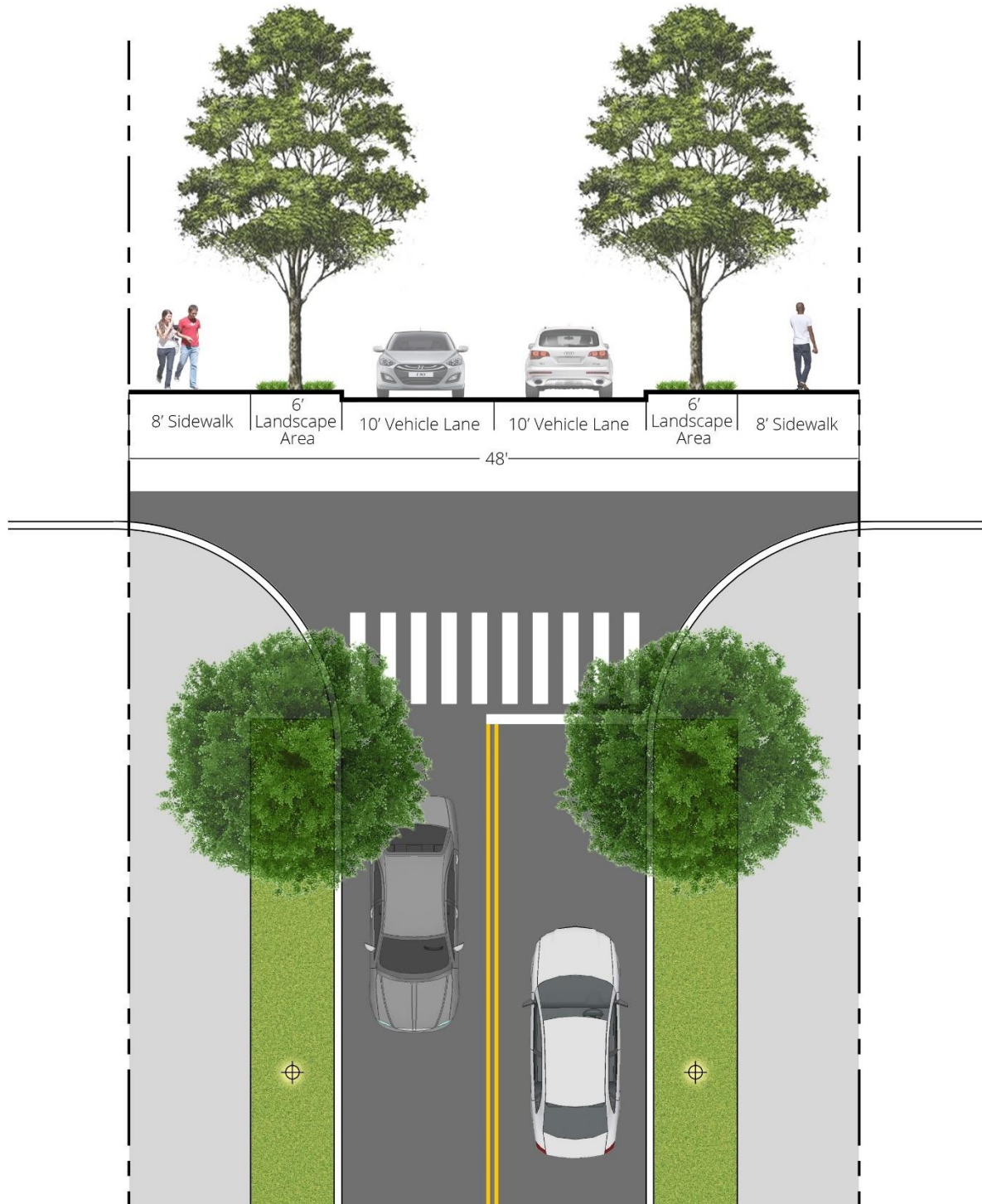


Figure 27-107C-2 New Street Type C (not to scale)

27-107C General Regulations

Streets, Blocks, and Paths.

d. Street design minor exceptions.

Minor exceptions to the street types identified in “a” above may be authorized by approval of both the community development director and the public works director where both directors find that the minor exception is for one or more of the following public purposes:

1. To provide on- or off-street bicycle facilities;
2. To provide narrower sidewalks or landscaped zones in order to accommodate existing buildings, existing landscaping, existing topography, other existing features, lot size, or lot shape which restrict the ability to provide the required width;
3. To provide a median, a left turn lane, or combination thereof;
4. To add or eliminate bulb-outs;
5. To provide hardscape surface in the landscaped zone in order to provide pedestrian access to adjacent on-street parking;
6. To provide alternative curb zone or on-street parking configurations, such as angled parking, or to eliminate on-street parking along one or both sides;

7. To increase or decrease the travel lane width; or

8. To provide traffic calming or pedestrian safety measures.

(10) Pedestrian paths.

- a. **Location.** New pedestrian paths shall be required in the approximate location shown in the Dunwoody Village Master Plan or other plan that has been adopted by the City, in order to establish an off-street bicycle and pedestrian network. Additional pedestrian paths not shown in adopted plans are also allowed.
- b. **Path type.** All new paths shall be designed in accordance with figure 27-107C-5, new pedestrian path.
- c. **Public use.** All pedestrian paths shall be available for public use at all times. Gated pedestrian paths or paths posted as private are not permitted.
- d. **Adjustments to requirements.** During the pre-submittal conference, the community development director and/or public works director may adjust requirements for path location, right-of-way width and alignment, pavement width, or pedestrian path elements depending on

unique site locations and characteristics.



Figure 27-107C-5 New Pedestrian Path (not to scale)

(b) **Required shopfronts.** New shopfront buildings (refer to section 27-107D(e)) must be constructed in areas shown on figure 27-107B-1, regulating map, in order to concentrate commercial activity in a pedestrian-friendly location.

(c) **Parking and circulation.**

The parking and circulation regulations of article IV, division 1 apply except as modified by the following regulations. (Refer also to the parking regulations of 27-107D(i)(5).)

(1) Parking may be provided in excess of the citywide parking maximums by special exception (see article V, division 6) only when all of the following occur:

- a. The excess parking is located within a parking deck having at least two parking levels.
- b. The excess parking is located in a location identified as a public parking opportunity on the regulating map.
- c. The excess parking is available to the general public, either with or without paying a fee, on a daily basis.
- d. The excess parking may not be assigned to or otherwise deemed accessory to any on-site or off-site use.

(2) Parking lots and parking structures must observe the parking setbacks established by district regulation and building type. Parking lot and parking structure setbacks are shown in figure 27-107C-6.

(3) Parking lots must be set back from a lot line abutting another property a minimum of five feet.

(4) Any parking deck which faces any public or private street must provide an intervening building having habitable space along the full length of the parking structure.

(5) Wherever possible, parking lots must be confined to the rear of structures and parking decks must be placed underground.

27-107C General Regulations

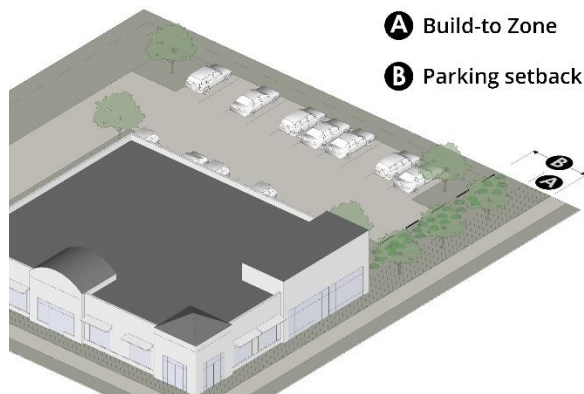


Figure 27-107C-6 Parking setback for parking lots and parking structures

(d) Landscaping.

- (1) The landscaping and screening regulations of article IV, division 2, apply.
- (2) Street tree regulations of chapter 16, section 16-238 apply.

(e) Service areas, retaining walls, parking, and drive-throughs.

- (1) Dumpsters and other building service areas must be concealed from view of public rights-of-way, publicly accessible areas of the site, and residential zoning districts. All dumpsters must be concealed with secured gates screening in accordance with section 27-231.
- (2) Retaining walls must comply with the city building code. Visible areas of retaining wall must be faced with brick or stone compatible with the façade materials of the closest downhill building. Visible horizontal retaining wall expanses exceeding 20 feet must

include offset pilasters faced with the same brick or stone as the wall, rising three courses above the top of the adjoining wall, and finished with a double course capital of the same brick or stone. As used here, “visible” means visible from a public street, private street, or adjacent parcels.

- (3) Parking must be concealed from view of public rights-of-way by buildings, evergreen hedges, or street walls. Evergreen hedges and street walls must be no less than 75 percent opaque and built along the build-to-line. Street walls must be a minimum of 3.5 feet in height. The street wall shall have other individual openings not exceeding four square feet in area at height of less than 3.5 feet.
- (4) Utilities must be placed underground unless otherwise approved by the director of community development.
- (5) New drive-throughs are prohibited and existing drive-throughs shall be deemed non-conforming uses subject to section 27-554.

27-107D Building Types.

General standards.

27-107D Building Types.**(a) General standards.**

The building types detailed in this section define the required building forms for new construction and renovated structures within the DV districts defined in section 27-107B, districts.

(b) Applicability. The provisions of this section shall only apply to improvements which involve one or more of the following:

- (1) **New structure.** Development of a new principal structure on a lot or portion of a lot; or
- (2) **Expansions of existing structures.** Redevelopment or expansion that results in an increase in existing building gross floor area on the subject property by more than 10 percent, based on the total floor area added over the previous 12-month period.

(c) Districts, building types.

For each lot, a designated DV district is found on figure 27-107B-1, regulating map.

- (1) **District.** Each district, per section 27-107B, districts, has a set of requirements related to permitted building types, building height, site coverage, lot dimensions, setbacks, uses, and open spaces.
- (2) **Building types.** Each building type, as established in this section has a set of requirements.

- (3) **Uses.** Uses are permitted by district, per 27-107B27-107B(f), uses. Each building type can house a variety of uses depending on the district in which it is located. Some building types have additional limitations on permitted uses as located within the building.

- (4) **Multiple principal structures.** Multiple structures are permitted on all lots. All structures shall meet the requirements of one of the permitted building types for the district.

- (5) **Permanent structures.** All buildings constructed shall be permanent construction, unless otherwise noted.

- (6) **Other structures.** Utility structures and towers permitted in the district are exempt from the building type standards.

(7) Build to the corner.

- a. The corner of the lot is defined as the intersection of the two build-to zones of each street.
- b. Buildings shall be built up to the corner along both adjoining streets, occupying the intersection of the two build-to zones of any intersection streets. Courtyards shall not be located in this area.

- (8) **Treatment of build-to zones, setbacks.** See section 27-621 terms defined for definition of build-to zones and setbacks.

27-107D Building Types.

Districts, building types.

- a. **Landscape areas.** All build-to zones and setbacks not containing authorized buildings shall only contain courtyards (as permitted by street type frontage), plazas (as permitted by street type frontage), patios (as permitted by street type frontage), sidewalk or path extensions, buffers, and/or landscape yards, unless otherwise specifically noted.

(9) Driveways.

- a. **Public works director.** The public works director shall determine the need to close existing driveways, width of driveways, and proximity of driveways to other driveways or streets.
- b. **Alleys/lanes.** Access from an adjacent alley or lane is unlimited. Construction of new private or public alleys/lanes through blocks is encouraged. Typically, alleys or lanes cut through a block and provide vehicular access to multiple garages, parking lots, or service areas.
- c. **Secondary street access.** If no alley exists, one driveway access per 200 linear feet of street frontage or two total driveway access points, whichever is greater, are permitted from each secondary street per site.

- d. **Driveway access.** If no alley or secondary street exists, one driveway access point is permitted off each primary street.
- e. **Shared driveways.** Shared driveways are required for all adjacent developments.
- f. **Inter-lot drives.** When two or more parking lots are located adjacent to each other and each lot is within the same DV district, the parking lots shall be connected with a drive perpendicularly crossing the transition yard. Other parking lots should be connected wherever practical.
- g. **Pedestrian facilities.** At-grade, designated pedestrian routes, including sidewalks and crosswalks, shall be provided to connect each parking area to either the primary sidewalk (and front entrance) or a rear public entrance.
 - 1. Vehicular areas, such as driveways, parking lot aisles, bike lanes/facilities, and parking areas, shall not be utilized as designated pedestrian routes.
 - 2. Pedestrian connections are required between all adjacent sites and land uses.
- h. **Driveway location.** Driveways may cross perpendicularly through build-to zones and setbacks, or to

27-107D Building Types.

connect to a parking lot on an abutting lot.

(10) Loading facilities.

- a. Loading facilities may not face a primary street.
- b. Loading facilities may not be located in any required building setback area or within the build-to zone.
- c. The preferred location for loading facilities is in the interior of the lot, not visible from any streets.
- d. Loading facilities visible from a street must be screened from the sidewalk by a fence/wall or a combination of fence/wall and landscape screening.
 1. **Fence/wall.** Fences and walls shall be no taller than six feet and shall have a minimum overall opacity of 80 percent. Materials must meet the requirements of section 27-107D(d)(3)a, predominant exterior materials.
 2. **Landscape.** Tree canopies shall be used to screen above the six-foot wall or fence.
 3. **Shrubs and hedges.** Shrubs and hedges may be utilized to fulfill no more than one third of the screening, as measured along the screen length. A double row of five-gallon

shrubs, with mature height of a minimum six feet, is required.

(11) Accessory buildings.

- a. Attached accessory structures are considered part of the principal structure and shall meet all requirements of the principal structure.
- b. Detached accessory structures are not permitted between the face of the building and any public or private street right-of-way line.

(d) Architectural standards.

- (1) **Applicable façades.** These standards shall apply to all façades visible from the street, facing streets, facing main parking lots, and adjacent to open spaces, unless otherwise noted.
- (2) **Applicability.** In addition to the applicability requirements of 27-107D27-107D(b), the provisions of this section shall apply to any alteration to an existing structure that includes renovation of more than 25 percent of an applicable façade. Work that includes maintenance and repair of the existing doors, windows, paint, and roofs does not apply.
- (3) **Exterior materials.**
 - a. **Predominant exterior materials.** Predominant exterior finish materials are limited to:
 1. Brick;

27-107D Building Types.

Architectural standards.

2. Unpainted natural stone;
 3. Fiber cement siding;
 4. Hard-coat stucco; or
 5. Architectural ceramic panels.
- b. **Secondary exterior materials.** Secondary façade materials include all predominant materials. Other materials may be approved by the director of community development during the site plan review process.
- c. **Accent materials.** The following materials may be used for trim, details, soffits, eaves, and other accent areas: all predominant exterior materials, wood (including painted wood), synthetic materials, fiber cement, and aluminum or other durable metals. Other materials may be approved by the director of community development.
- d. **Restrictions.** The use of plain concrete block, aluminum siding, and vinyl siding are prohibited as façade materials.
- e. **Roof materials.** Acceptable roofing materials include asphalt shingles, wood shingles, reflective flat roofing systems, and other materials approved by the director of community development. Wherever asphalt shingles are used, they shall be a minimum three-dimensional architectural

type. Standing seam metal roofs are permitted only as accents on porches or dormers.

(4) Building façades.

- a. Façades shall provide front entrance(s) that are distinct and visible from the street, but should not exaggerate or double the height of the entrance.
- b. Simple massing is preferred and should be used with stoops, porches, galleries, arcades, roof eaves, and/or balconies to provide expressive character.
- c. Façades of all buildings with two or more stories shall provide a discernable base, middle, and cap that are clearly defined by horizontal elements along the bottom and top of the building. Expression of the elements should be handled through changes in material selection, color, or plane. Use of horizontal bands, cornices, and/or varied window patterns can assist in expression.
- d. Building wall materials may be combined on each façade only horizontally, with the lighter above more substantial materials.
- e. All glass shall be clear and free of color.
- f. Low pitch or flat roofs must be enclosed by a parapet that is a minimum of 42 inches in height, or

27-107D Building Types.

Architectural standards.

- a greater height as necessary to conceal mechanical equipment.
 - g. Hardwood used for rafters, fascia boards, and all visible portions of roof decking shall be varnished, oiled, stained, or painted. Pressure treated wood shall be painted.
- (5) **Awnings.** All awnings must be canvas, glass, or metal. Plastic awnings are prohibited. Canvas and metal awnings may not be translucent.
- (6) **Shutters.** Where installed, shutters, whether functional or not, must be designed to the following standards:
 - a. All shutters must be sized for the windows, so that if the shutters were to be closed, they would not be too small for complete coverage of the window.
 - b. Shutters must be wood, metal, or fiber cement. Other "engineered" woods may be approved during the site plan review process with an approved sample and examples of successful, high quality local installations.
- (7) **Garage doors.** The following requirements apply to garage doors provided on any street façade:
 - a. **Location.** Garage doors are not permitted on primary street façades unless not utilized for vehicular access (but may be used for patio access, open air dining, or similar purposes). Garage doors are permitted on secondary street façades with direct access to the street. The preferred location is on interior lot façades.
 - b. **Recessed from façades.** Garage doors located on street facing façades shall be recessed a minimum of three feet from the dominant façade of the principal building facing the same street.
 - c. **Design.** Garage doors facing a secondary street and intended to be closed during business hours shall be clad with materials consistent with the design of the building. Carriage-style doors are required on the townhouse building type.
- (8) **Ground story at sloping façades.**
 - a. **Intent.** Given the topography in many parts of Dunwoody Village, building design must accommodate grade changes along the sidewalk without creating tall, out-of-scale blank walls. Large, unarticulated building façades signal to pedestrians that an area is not intended for walking, reducing activity in the area and creating dead zones.
 - b. **Regulations for shopfronts.**
 - 1. Grade transitions on the building along the sidewalk should be designed to maximize active pedestrian-

27-107D Building Types.

Architectural standards.

scale frontages between waist and eye level while minimizing blank walls.

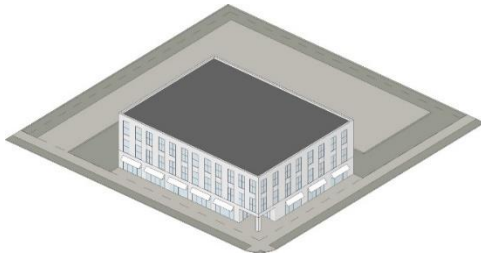
2. Unless impracticable, the interior floor level shall step to match the exterior grade.
 3. If it is necessary for the interior floor to remain constant along the grade, changes may be accommodated by a storefront window display space.
 4. Knee wall and retaining walls shall not exceed 30 inches in height except along a maximum 15-foot section of façade length.
 5. If grade change is more than 12 feet along a single block face, entrance requirements may be increased to one entrance per 80 feet of building frontage.
- c. **Regulations for residential and other building frontages.**
1. Grade transitions at the building along the sidewalk

should be designed to minimize blank walls.

2. Unless impracticable, the interior floor level should step to match the exterior grade.
3. Transition zones between the sidewalk and building façade of porches, terraces, and landscape areas may be used assist with grade changes.
4. If it is necessary for the interior floor to remain constant along the grade, changes can be accommodated by terraced planters and retaining walls.
5. Retaining walls shall not exceed 30 inches in height except along a maximum 15-foot section of frontage.
6. When the elevation of the first floor is more than three feet above grade, windows should be provided into the basement or lower floor elevations.

27-107D Building Types.**DRAFT****(e) Shopfront building regulations.**

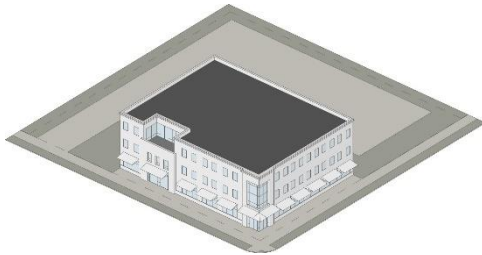
- (1) **Intent.** The shopfront building is intended for use as a mixed-use building located close to the sidewalk with parking in the rear or side of the lot. The most distinctive element of this building type is the ground floor front façade with large amounts of storefront glass and regularly spaced pedestrian entrances along the sidewalk, typically for retail and service uses.
- (2) **Standards.** The following are the regulations for shopfront buildings.

SHOPFRONT BUILDING STANDARDS				
	DV-1 Village Commercial District	DV-2 Village Office District	DV-4 Village Center District	
	BUILDING SITING See section 27-107B, districts, for build-to zone dimensions by DV district			
	Percent of building façade in build-to zone (primary street)	70% min.	60% min.	90% min.
	Percent of building façade in build-to zone (all other existing and new streets)	50% min.	No min.	50% min.
Off-street parking along frontage	Not permitted	Not permitted	Not permitted	
FLOOR-TO-FLOOR HEIGHT See figure 27-107D-2 Measuring Story Height and section 27-107(i)(2) Floor-To-Floor Height.				
Ground Story Minimum Height	14 ft.	14 ft.	14 ft.	
Ground Story Maximum Height	30 ft.	24 ft.	30 ft.	
Ground Story Elevation	80% between 0 to 2 ft. above adjacent sidewalk in right-of-way; visible basement not permitted (see 27-107D(d)(8) Ground Story at Sloping Façades for stepping façades at sloped sidewalks)			
USES				
Ground Story	any retail subcategory, service subcategory, lobbies for lodging (see 27-107B(f) uses) permitted in the district			
Upper Story	any use permitted in the district			
Parking within Building	permitted fully in any basement and in rear of ground and upper stories; parking entrance shall not be on a primary street			
Required Occupied Space	30 ft. deep from any façade on all ground and upper stories			
STREET FAÇADE DESIGN REQUIREMENTS See section 27-114(d)(4) Street Façade Design Requirements				
Ground Story Fenestration Measured between 2 and 10 ft. above grade	75% min.	60% min.	75% min.	
Upper Story Fenestration	15% min.	15% min.	15% min.	
Ground Story Blank Wall along a Primary Street	20 ft. max. length or height			
Entry Area	recessed between 3 and 8 ft. from the façade closest to the street			
Entrance Elevation	within 2 ft. of average grade at the sidewalk adjacent to entrance			
Required Number of Street Entrances along a Primary Street	1 per establishment located along the front façade			
Vertical Façade Divisions	1 per 30 ft. of façade width max.			

27-107D Building Types.**DRAFT****(f) General building regulations.**

(1) **Intent.** The general building is intended to be built close to the sidewalk, but may also have a landscape yard. This building can be structured to house offices or residential uses including multi-family, and may have limited amounts of accessory retail and service uses in the ground floor. Parking is typically provided in structures at the rear of the lot, internally in the rear of the building, but may also have limited surface parking along the side of the building.

(2) **Standards.** The following are the regulations for general buildings.

GENERAL BUILDING STANDARDS					
	DV-1 Village Commercial District	DV-2 Village Office District	DV-3 Village Residential District	DV-4 Village Core District	
	BUILDING SITING See section 27-107B, districts, for build-to zone dimensions by DV district				
	Percent of building façade in build-to zone (primary street)	80% min.	70% min.	60% min.	80% min.
	Percent of building façade in build-to zone (all other existing and new streets)	30% min.	30% min.	30% min.	30% min.
	Off-street parking along Frontage	Not permitted	Not permitted	Not permitted	Not permitted
FLOOR-TO-FLOOR HEIGHT See figure 27-107D-2 Measuring Story Height and section 27-107(i)(2) Floor-To-Floor Height.					
Ground Story Minimum Height	14 ft.	14 ft.	12 ft.	14 ft.	
Ground Story Maximum Height	30 ft.	24 ft.	24 ft.	30 ft.	
Ground Story Elevation	maximum of 2.5 ft. above the adjacent sidewalk in right-of-way without visible basement and a maximum of 4.5 ft. above the sidewalk with a visible basement				
USES					
Ground Story	any use permitted in the district				
Upper Story	any use permitted in the district				
Parking within Building	permitted fully in any basement and in rear of ground and upper floors; parking entrance shall not on a primary street				
Required Occupied Space	30 ft. deep from any façade on all ground and upper stories				
STREET FAÇADE DESIGN REQUIREMENTS See section 27-114(d)(4) Street Façade Design Requirements					
Ground Story Fenestration Measured between 2 and 10 ft. above grade	20% min.	20% min.	20% min.	20% min.	
Upper Story Fenestration	15% min.	15% min.	15% min.	15% min.	
Ground Story Blank Wall along a primary street	30 ft. max. length or height				
Entry Area	recessed minimum 3 ft. from the façade closest to the street				
Required Number of Street Entrances along a primary street	1 per 150 ft. width of front façade				
Vertical Façade Divisions	1 per 150 ft. of façade width max.				

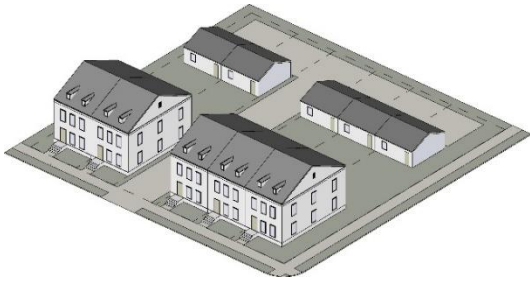
Division 6. Dunwoody Village Districts

27-107D Building Types.

Townhouse building regulations

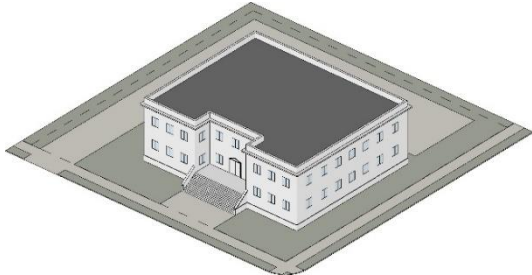
DRAFT**(g) Townhouse building regulations**

- (1) **Intent.** The townhouse building is typically comprised of several multi-story single-family units, located adjacent to each other, each with its own pedestrian entrance to the street.
- (2) **Standards.** The following are the regulations for townhouse buildings.

TOWNHOUSE BUILDING STANDARDS					
	DV-1 Village Commercial District	DV-2 Village Office District	DV-3 Village Residential District	DV-4 Village Center District	
	BUILDING SITING See section 27-107B districts, for build-to zone dimensions by DV district				
	Percent of building façade in build-to zone (primary street)	65% max.	65% max.	65% max.	65% max.
	Percent of building façade in build-to zone (all other existing and new streets)	No min.	No min.	No min.	No min.
Off-street parking along Frontage	Not permitted	Not permitted	Not permitted	Not permitted	
FLOOR-TO-FLOOR HEIGHT See figure 27-107D-2 Measuring Story Height and section 27-107(i)(2) Floor-To-Floor Height.					
Ground Story Minimum Height	9 ft.	9 ft.	9 ft.	9 ft.	
Ground Story Maximum Height	14 ft.	14 ft.	14 ft.	14 ft.	
Ground Story Elevation	maximum of 2.5 ft. above the sidewalk without a visible basement and a maximum of 4.5 ft. above the sidewalk with a visible basement				
USES					
Ground Stories	attached house, live-work				
Upper Story	attached house				
Parking within Building	permitted fully in any basement and in rear of ground and upper floors; garage doors and access to structured parking shall be off an interior side or rear façade (not a street façade), except parking may be front or rear loaded from an internal driveway				
Required Occupied Space	20 feet deep from any façade along a primary street on all ground and upper stories				
STREET FAÇADE DESIGN REQUIREMENTS See section 27-114(d)(4) Street Façade Design Requirements					
Ground Story Fenestration Measured between 2 and 10 ft. above grade	15% min.	15% min	15% min.	15% min.	
Ground Story Blank Wall along a Primary Street	No max.				
Entry Area	Entrance shall be off a stoop or a porch. See 27-621 Terms Defined. The porch shall be at least 5 feet deep and 8 feet wide. The stoop shall be at least 3 feet deep and 5 feet wide.				
Required Number of Street Entrances	1 per unit	1 per unit	1 per unit	1 per unit	
Vertical Façade Divisions	No more than two side by side units may share the same façade plane and then a 2 foot offset is required.				

27-107D Building Types.**DRAFT****(h) Civic building regulations**

- (1) **Intent.** The civic building is the most flexible building type and is limited to civic and institutional types of uses. These buildings are distinctive within the village fabric created by the other building types and could be designed as iconic structures.
- (2) **Standards.** The following are the regulations for civic buildings.

CIVIC BUILDING STANDARDS				
	DV-1 Village Commercial District	DV-2 Village Office District	DV-3 Village Residential District	DV-4 Village Center District
BUILDING SITING See section 27-107B, districts, for build-to zone dimensions by DV district				
Percent of building façade in build-to zone (all streets)	No min.	No min.	No min.	No min.
Off-street parking along Frontage	Not permitted	Not permitted	Not permitted	Not permitted
FLOOR-TO-FLOOR HEIGHT See figure 27-107D-2 Measuring Story Height and section 27-107(i)(2) Floor-To-Floor Height.				
Ground Story Minimum Height	14 ft.	14 ft.	14 ft..	14 ft.
Ground Story Maximum Height	30 ft.	30 ft.	30 ft.	30 ft.
Ground Story Elevation	maximum of 2.5 ft. above the adjacent sidewalk in right-of-way without visible basement and a maximum of 4.5 ft. above the sidewalk with a visible basement			
USES				
All Stories	Limited to civic subcategory of uses			
Parking within Building	Permitted fully in any basement and in rear of ground and upper floors; entrance should be from an interior façade			
Required Occupied Space	30 feet deep from any façade along a primary street on all ground floor and upper stories			
STREET FAÇADE DESIGN REQUIREMENTS See section 27-114(d)(4) Street Façade Design Requirements				
Ground Story Fenestration Measured between 2 and 10 ft. above grade	20% min.	20% min.	20% min.	20% min.
Ground Story Blank Wall along a Primary Street	No max.			
Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-621 Terms Defined. Porch shall be at least 5 feet deep and 8 feet wide. Stoop shall be at least 3 feet deep and 5 feet wide.			
Required Number of Street Entrances	One per building			
Ground Story Vertical Façade Divisions	none required			

27-107D Building Types.

Explanation of specific building type requirements.

(i) **Explanation of specific building type requirements.**

The following explains and further defines the standards outlined on the tables on the previous pages, specific to each building type.

(1) **Building siting.** The following explains the line item requirements for each building type table within the section entitled "Building siting."

a. **Build-to zone coverage.** The minimum percentage of building wall or façade along the street for each street is designated on each building type table.

1. **Measurement.** The width of the principal structures (as measured within the build-to zone along the frontage edge) is divided by the length of the frontage parallel to the property line following the street.

2. **Courtyards.** Courtyards, per section 27-621, terms defined, located along the façade in the build-to zone count towards the minimum coverage. Refer to street types for limitations of courtyards along some frontages.

b. **Build-to zone.**

1. **Defined.** The build-to zone is the area on the lot where a certain percentage of the front

building façade must be located, measured as a minimum and maximum yard (setback) range from the edge of the right-of-way.

2. **Measurement.**

a. The percent of building façade in build-to zone specifies the amount of the front building façade that must be located in the build-to zone, based on the width of the street-facing building façade divided by the width of the lot. The build-to zone is measured from the edge of the street frontage area onto the site. The lot width shall exclude any portions of the lot used for required transitions, provided new streets, or provided open space.

b. When a lot contains multiple buildings, the build-to zone requirements are measured as the sum of all buildings. There are no build-to zone requirements when a building is located behind another building that conforms to build-to zone requirements.

27-107D Building Types.

Explanation of specific building type requirements.

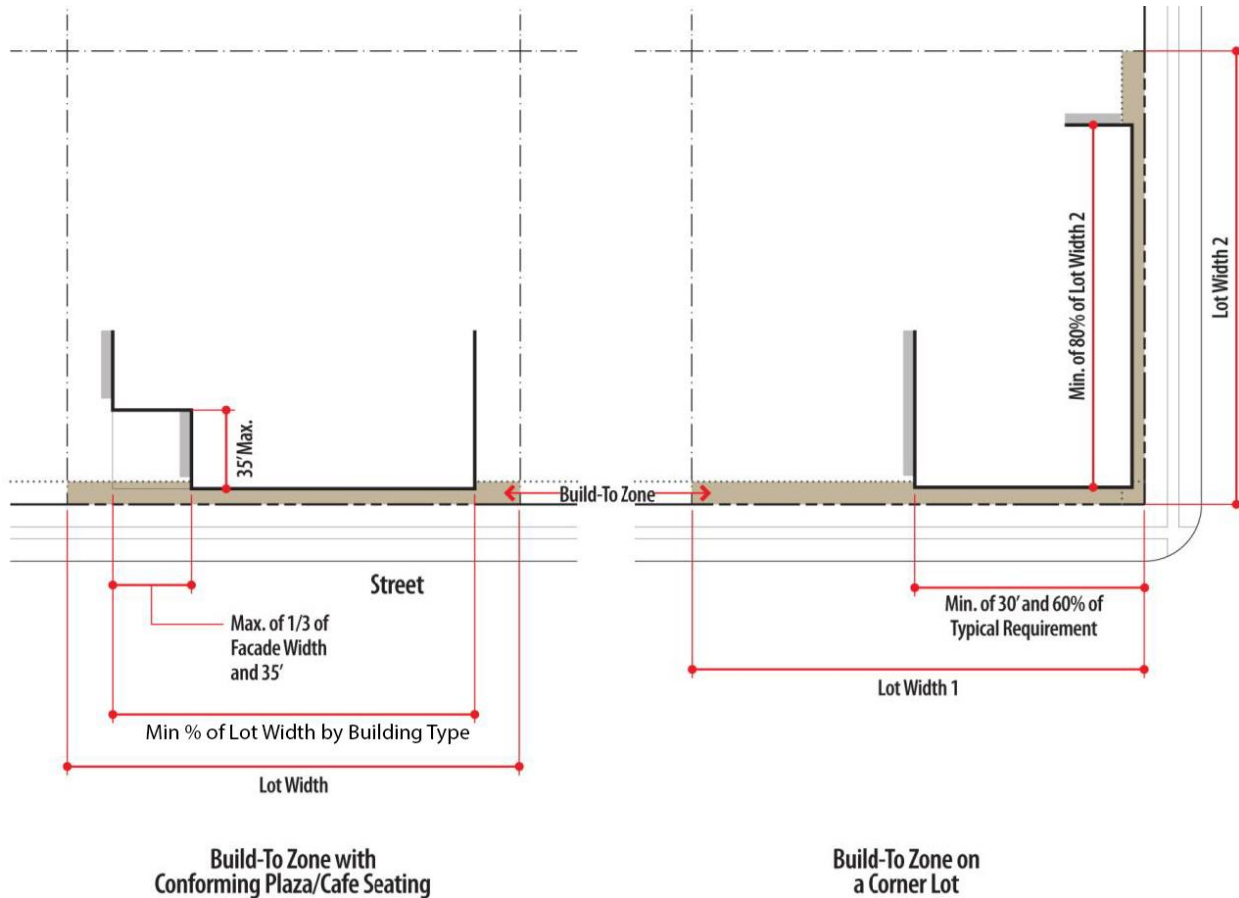


Figure 27-107D-1 Build-to zone with allowed plaza (left) and on corner lot (right)

3. **Open Spaces.** Outdoor open space, plazas, and outdoor dining areas are counted as part of the building for the purpose of measuring compliance with build-to zone requirements, provided that:
 - a. The area does not exceed one-third the length of the building face or 35 feet, whichever is less; and
 - b. The area is no more than 35 feet in depth (refer to figure 27-107D-1).
- c. **Corner Lots.** On corner lots, minimum requirements governing the percent of building façade that must be located in the build-to zone may be reduced by 60 percent along one of the frontages, at the property owner's option, provided that a building façade must be placed in the build-to zone for the first 30 feet along each street extending from the corner (refer to figure 27-107D-1).
 1. **Encroachments.** Awnings and building mounted signage may

27-107D Building Types.

Explanation of specific building type requirements.

extend beyond the build-to zone into the frontage area, but may not extend into the street right-of-way.

2. **Porches, arcades, galleries.**

Porches, arcades, and galleries may be included on the building façade design, utilizing the range of depth permitted by the build-to zone. If located outside the building coverage requirement, the depth of the arcade or gallery may exceed the build-to zone.

(2) **Floor-to-floor height.** The following explains the line item requirements for each building type table within the section entitled "Floor-to-floor height."

- a. Overall permitted building heights are designated by district in stories. Refer to section 27-107B(b) through (e).
- b. **Ground story, minimum and maximum height.** (Refer to figure 27-107D-2, measuring story height). Each building type provides a permitted range of height in feet for the ground story of the building.

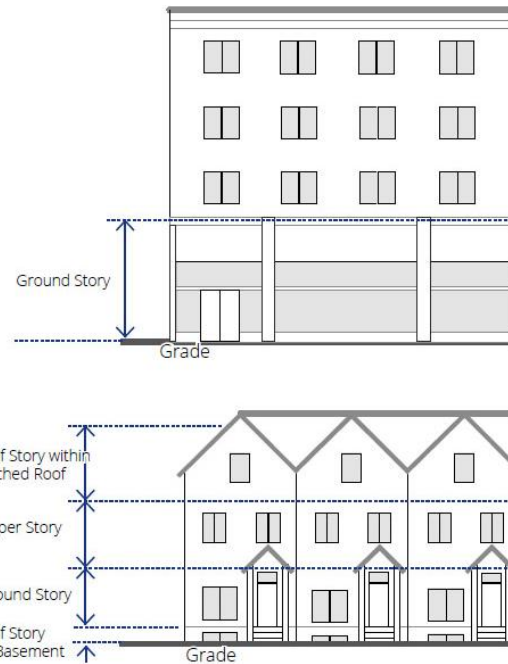


Figure 27-107D-2 Measuring Story Height

1. **Taller spaces.** Spaces exceeding the allowable floor-to-floor heights of the building type are not permitted on primary street façades. These spaces are unlimited on interior lot and other street façades.
- c. **Ground story elevation.** The allowable ground story elevation for each building type is defined, establishing whether or not a visible basement is permitted.
 1. **Visible basements.** Visible basements, permitted by entrance type, are optional. The visible basement must not

27-107D Building Types.

Explanation of specific building type requirements.

exceed one-half the height of the tallest story.

- (3) **Uses within building.** The following explains the line item requirements for each building type table within the section entitled "Uses within building." Refer to section 27-107B(f) uses for uses permitted within each DV district. The requirements in this section of the building type tables may limit those uses within a specific building type.

- a. **Ground and upper story.** The uses or category of uses which may occupy the ground and/or upper story of a building.
- b. **Parking within building.** The area(s) of a building in which parking is permitted within the structure.
- c. **Required occupied space.** The required depth of occupied space from the noted façade(s). Refer to section 27-621, terms defined, for the definition of occupied space.

- (4) **Street façade design requirements.** The following explains the line item requirements for each building type within the section entitled "street façade requirements".

These requirements apply only to façades facing public or private streets and façades facing main parking lots where visitors or customers park.

- a. **Minimum fenestration.** (refer to figure 27-107D-4, measuring

fenestration, per façade). Fenestration shall be measured as the percentage of the total façade area of each story dedicated to glazing. The following articulates the minimum amount of ground story transparent glass required on all façades facing streets.

1. **Measurement.** Ground story fenestration, when defined separately from the overall minimum fenestration, shall be measured as the percentage of the total façade area dedicated to glazing between two feet and ten feet above average grade at the base of the front façade. Refer to figure 27-107D-3, measuring ground story fenestration.
2. **Transparent.** Transparent means any glass in windows and/or doors, including any mullions, that is highly transparent with low reflectance. Glazed elements must be clear and non-reflective and not be painted or tinted, except that low-emission (Low-E) glass coatings are permitted.

27-107D Building Types.

Explanation of specific building type requirements.

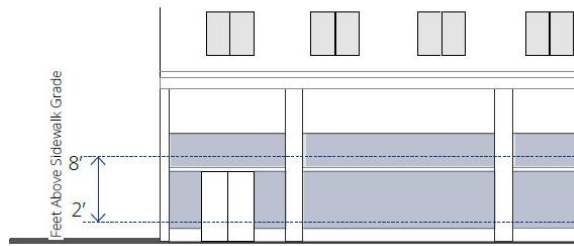


Figure 27-107D-3 Measuring Ground Story Fenestration



Figure 27-107D-4 Measuring Fenestration per Façade

windows shall be located on the interior façade of any arcade or gallery. Ground story windows shall continue around a minimum of 60 percent of courtyard façades.

b. Blank wall area.

1. Blank walls are areas on the exterior façade of a building that do not include a substantial material change; windows or doors; columns, pilasters or other articulation greater than 12 inches in depth. Blank wall limits are established in 27-107D(e) through 27-107D(h).
2. Blank wall area regulations apply in both a vertical and horizontal direction.

c. Entry area. Size requirements and recommended types of entrance areas per building type.

d. Required number of street entrances. The minimum number of and maximum spacing between entrances on the ground floor building façade with street frontage. Street entrances for all non-residential uses shall remain unlocked during business hours. Entrances located on corners may satisfy the requirement of both adjacent streets.

3. **Other stories.** A general minimum fenestration requirement applies to all other stories visible from any street. The fenestration is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper-story fenestration is measured from the top of the finished floor to the top of the wall plate.
4. **Arcades, galleries, courtyards.** Ground story

27-107D Building Types.

Explanation of specific building type requirements.

- e. **Vertical façade divisions.** The use of a vertically oriented expression line or form to divide the façade into vertical divisions at increments no greater than the dimension shown, as measured along the base of the façade. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of 1.5 inch depth. Refer to section 27-621, terms defined, for the definition of expression line.

(5) **Parking structures fronting a street.**

The following applies to parking structures fronting a public street, in addition to the requirements of 27-107C(c).

- a. **Primary streets.** Parking structures, whether accessory or principal use, shall not front a primary street, unless otherwise approved with special land use permit per article V, division 3.
- b. **Parking structure design requirements.**
 - 1. **Blank wall limitations.** On any street façade, no rectangular area greater than 30 percent of any story's façade, as measured from floor to floor, and no horizontal segment of a story's façade greater than 15 feet in width may be solid, blank wall.

- 2. **Pedestrian entry.** A defined pedestrian entrance/exit is required separate from the vehicular entrance and directly accessing the sidewalk. If the entry is enclosed, 65 percent of the entry must be transparent glass.
- 3. **Screening.** All openings of any parking deck must be fully screened from view from any residential dwelling or adjacent public or private streets so that cars, sloped ramps, and interior deck lighting are not visible.

27-107E Open Space Types.

Intent.

27-107E Open Space Types.

(a) Intent.

To provide open space as an amenity that promotes physical and environmental health within the community and to provide access to a variety of active and passive open space types.

(b) Applicability.

These standards apply to open space required by 27-107B.

(1) **Existing open space.** At the discretion of the city, existing open space on the site may be used to meet the minimum requirement; however, the existing open space shall conform to one of the types defined.

(2) **Historic preservation incentive.** When buildings built before 1930 are incorporated into a development and when no changes are made to their exterior (other than paint color), an area equal to three times the building footprint is may be used to meet the minimum requirement.

(3) **Fee in-lieu.** Open space requirements of this section must be met by open space provided on the development site, unless off-site open space or a fee in lieu of open space provision is approved in accordance with the special administrative permit process.

(c) General requirements.

All open space shall meet the following:

- (1) **Open space types.** All open space provided shall comply with one of the open space types defined by subsections (e) through (i).
- (2) **Location.** Open space must be provided in the approximate location required on figure 27-107B-1, regulating map.
- (3) **Access.** All open space types shall provide public access from a pedestrian route associated with a vehicular right-of-way and/or adjacent building entrances/exits.
- (4) **Fencing.** Open space types may incorporate fencing, provided that the following requirements are met.
 - a. **Height.** Fencing shall be a maximum height of 48 inches, unless approved by the community development director for such circumstances as use around athletic facilities.
 - b. **Level of opacity.** Fence opacity shall be no greater than 60 percent.
 - c. **Type.** Chain-link fencing is not permitted along any street frontage, with the exception of dedicated athletic facility fencing approved by the community development director.
 - d. **Spacing of openings.** Openings or gates shall be provided on every street face at a minimum of one per every 200 feet.

27-107E Open Space Types.

General requirements.

- (5) **Open water body.** All open water bodies, such as lakes, ponds, pools, creeks, and streams within an open space type shall be located at least 20 feet from a property line to allow for pedestrian and bicycle access as well as a landscape area surrounding the water body.
- (6) **Parking requirements.** Parking shall not be required for any open space type, unless otherwise determined by the community development director.
- (7) **Continuity.** New open space shall connect to abutting or proximate existing or planned trail rights-of-way.
- (8) **Measuring size.**
 - a. **Size.** The size of the open space shall be is measured to include all landscape and paving areas associated directly with the open space.
 - b. **Minimum dimension.** The minimum dimension shall be the minimum length or width of the open space, as measured along the longest two straight lines intersecting at a right angle which define the maximum length and width of the lot. Refer to figure 27-107E-1, measuring minimum dimensions.

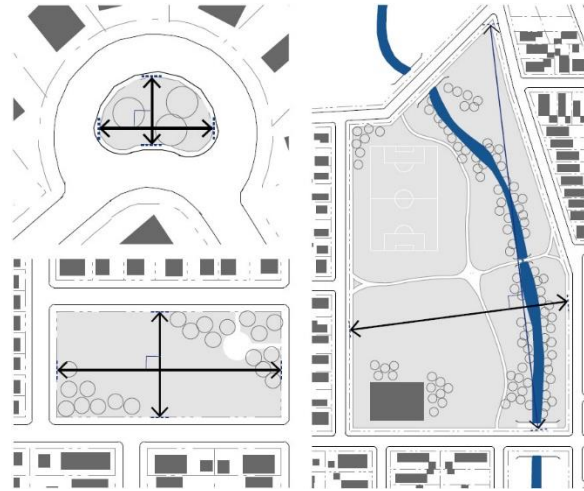


Figure 27-107E-1 Measuring Minimum Dimensions

- (9) **Minimum percentage of street frontage required.** A minimum percentage of the open space perimeter, as measured along the outer edge of the space, shall be located directly adjacent to a primary or secondary street. This requirement provides access and visibility to the open space.

27-107E Open Space Types.

Stormwater in open space types.

(10)**Improvements.** As noted in the specific requirements for each open space type (subsections (e) through (i)), the following types of site improvements and structures may be permitted on an open space.

a. **Fully enclosed structures permitted.**

Fully enclosed structures may include such uses as small cafes, kiosks, community centers, and restrooms.

1. **Maximum area.** For some civic open space types, fully enclosed structures are permitted, but limited to a maximum building coverage as a percentage of the open space area.

2. **Semi-enclosed structures.** Open-air structures, such as gazebos, are permitted in all open space types.

b. **Maximum impervious and semi-pervious surface permitted.** The amounts of impervious and semi-pervious coverage are provided separately for each open space type (subsections (e) through (i)) to allow an additional amount of semi-pervious surface, such as permeable paving, above the impervious surfaces permitted, including, but not limited to, sidewalks, paths, and structures as permitted.

c. Maximum percentage of open water body. The maximum amount of area within an open space type that may be covered by an open water body, including, but not limited to, ponds, lakes, and pools.

(d) **Stormwater in open space types.**

Stormwater management practices, such as normally dry storage and retention facilities or ponds maintaining water at all times, may be integrated into open space types and utilized to meet stormwater requirements for surrounding parcels.

(1) **Stormwater features.** Stormwater features in open space may be designed as formal or natural amenities with additional uses other than stormwater management, such as an amphitheater, sports field, or a pond or pool as part of the landscape design. Stormwater features shall not be fenced and shall not impede public use of the land they occupy.

(2) **Walls.** Retaining walls over 30 inches in height are not permitted in any open space accommodating stormwater.

(3) **Qualified professional.** A qualified design professional shall be utilized to incorporate the stormwater features into the design of the open spaces.

27-107E Open Space Types.**Plaza.****(e) Plaza.**

The intent of the plaza is to provide a formal open space type of medium scale to serve as a gathering place for civic, social, and commercial purposes. The plaza may contain a greater amount of impervious coverage than any other open space type. Special features, such as fountains and public art installations, are encouraged.

PLAZA CRITERIA	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	60 feet
Minimum Percentage of Street Frontage Required	25%
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of plaza area
Maximum Impervious Surface + Semi-Pervious Surface	40% + 20%
Maximum Percentage of Open Water & Stormwater Features	30%

**(f) Green.**

The intent of the green is to provide informal, medium scale active or passive recreation for building occupants and visitors within walking distance, mainly fronted by streets.

GREEN CRITERIA	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	25%
Improvements	
Fully Enclosed Structures	Not Permitted
Maximum Impervious Surface + Semi-Pervious Surface	20% + 15%
Maximum Percentage of Open Water & Stormwater Features	30%

27-107E Open Space Types.**Commons.****DRAFT****(g) Commons.**

The intent of the commons is to provide an informal, small to medium scale space for active or passive recreation for a limited area. Commons are typically internal to a block and tend to serve adjacent building occupants.

COMMONS CRITERIA	
Dimensions	
Minimum Size	0.45 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	0%; requires a minimum of two access points with a total depth of 100 feet maximum (minimum 30 feet wide)
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of commons area
Maximum Impervious Surface + Semi-Pervious Surface	30% + 10%
Maximum Percentage of Open Water & Stormwater Features	30%

**(h) Park.**

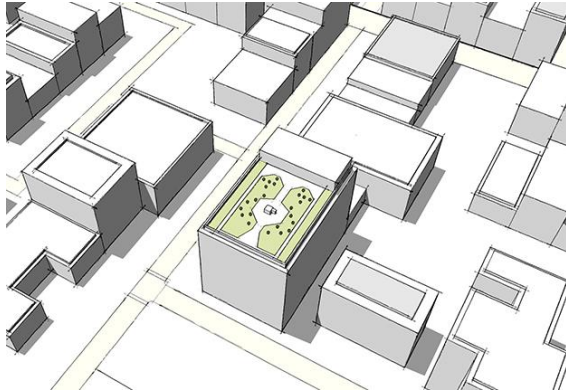
The intent of the park is to provide informal active and passive large-scale recreational amenities to local residents and the greater region. Parks have primarily natural plantings and are frequently created around an existing natural feature such as a water body or stands of trees.

PARK CRITERIA	
Dimensions	
Minimum Size	0.75 acres
Minimum Dimension	30 feet; minimum average width of 80 feet
Minimum Percentage of Street Frontage Required	30% for parks less than 5 acres; 20% for parks 5 or more acres in size
Improvements	
Fully Enclosed Structures	Permitted in parks 2 acres or larger in size
Maximum Impervious Surface + Semi-Pervious Surface	20% + 10%
Maximum Percentage of Open Water & Stormwater Features	30%

Division 6. Dunwoody Village Districts

27-107E Open Space Types.**DRAFT**

Rooftop terrace.

**(i) Rooftop terrace.**

The intent of the rooftop terrace is to provide a formal or informal, small to medium scale space for passive or active recreation or gatherings. Rooftop terraces tend to serve adjacent building occupants but must be open to the general public to count toward the open space requirement.

ROOFTOP TERRACE CRITERIA	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	0% but must have signage that is clearly visible from the street indicating how to access the terrace
Minimum Percentage of Accessible Terrace Area	25% of terrace area must be designed to be accessible; all remaining areas must be planted
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of terrace area
Maximum Impervious Surface + Semi-Pervious Surface	No maximum
Maximum Percentage of Open Water & Stormwater Features	30%

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2020-__-__

**AN ORDINANCE TO AMEND CHAPTER 27 OF THE CITY OF DUNWOODY ZONING
ORDINANCE TO ADOPT A NEW DUNWOODY VILLAGE DISTRICT ZONING
REGULATION AND TO REPEAL CONFLICTING SECTIONS**

- WHEREAS:** The Dunwoody Village contains over 150 acres of property made up of eight individual zoning districts (C-1, C-2, O-I, RM-100, O-I-T, R-100, R-150, and CR-1c) and one overlay district; and
- WHEREAS:** These districts consist of a combination of multi-family, office, commercial, and institutional uses, which are isolated by zoning type; and
- WHEREAS:** The development within Dunwoody Village consists of three suburban scale shopping centers, a church, the Dunwoody Village Townhomes, which are currently under construction, and several auto-repair shops, gas stations, office buildings and banks; and
- WHEREAS:** Most of the development within the Village was constructed in the 1970s and 1980s and as automobile-oriented developments, the buildings are mostly one-story in height, contain large surface parking lots and have minimal functional public open space; and
- WHEREAS:** In January of 2019 City staff began working with TSW, an Atlanta-based architecture and planning firm, to rewrite the regulations of the Dunwoody Village Overlay and Master Plan; and
- WHEREAS:** The analysis and revisions seek to take into consideration connectivity, public open space, and the future character of development in the areas of the Dunwoody Village Overlay and Master Plan; and
- WHEREAS:** A “regulating map” would replace the existing overlay district with site-specific requirements, including new Dunwoody Village zoning districts, required new streets, pedestrian paths, shopfronts, and open spaces; and
- WHEREAS:** The new regulations would address connectivity by requiring new streets in connection with redevelopment, required streetscapes, potential public parking locations, architectural requirements, building types, use standards and restrictions, building heights, zoning transition/buffers, open spaces, and variances; and
- WHEREAS:** One of the main objectives of this rezoning is to implement policies and objectives of the City of Dunwoody’s Comprehensive Plan and the Dunwoody Village Master Plan; and
- WHEREAS:** By adopting these changes, the City of Dunwoody intends to: maintain and enhance the identity and image of Dunwoody Village; accommodate and promote walkable, development patterns containing a complementary mix of land uses; create opportunities for functional, landscaped, open and gathering spaces in the commercial core of Dunwoody; ensure that new development and substantial additions to existing buildings are designed to promote Dunwoody Village as an area

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2020-__-__

of unique character while requiring that all new construction makes use of design standards and materials that enhance the district, complement existing character, and allow for the introduction of new design elements while encouraging the addition of walkability and green space; support efforts to create a vibrant shopping and entertainment area in which merchants and businesses thrive and grow, thereby helping to maintain property values and keeping vacancy rates low; and maintain and enhance the area's role as a place for civic activities and public gatherings within well-designed open spaces; and

WHEREAS: The Mayor and City Council find that the proposed changes are appropriate and will enhance the public health, safety, and welfare within the City; and

WHEREAS: Notice to the public regarding said rezoning has been duly published in *The Dunwoody Crier*, the Official News Organ of the City of Dunwoody; and

WHEREAS: A public hearing was held by the Mayor and City Council of the City of Dunwoody as required by the Zoning Procedures Act.

NOW THEREFORE, The Mayor and City Council of the City of Dunwoody hereby **ORDAIN AND APPROVE** the adoption of the new Chapter 27 of the Dunwoody Zoning Ordinance as attached hereto.

Attachments

EXHIBIT A: Chapter 27 Dunwoody Village text Amendment

SO ORDAINED AND EFFECTIVE, this the ____ day of _____, 2020.

Approved by:

Approved as to Form and Content

Lynn Deutsch, Mayor

City Attorney

Attest:

Sharon Lowery, City Clerk

SEAL

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27-107A Administration.

Intent and applicability.

27-107A Administration.**(a) Intent and applicability.**

(1) **Intent.** The Dunwoody Village (DV) district regulations are intended to implement the policies and objectives of the comprehensive plan and the Dunwoody Village Master Plan. They are further intended to help:

- a. Maintain and enhance the identity and image of Dunwoody Village;
- b. Accommodate and promote walkable development patterns containing a complementary mix of land uses;
- c. Create opportunities for functional landscaped open and gathering spaces in the core of Dunwoody;
- d. Ensure that new development and substantial additions to existing buildings are designed to promote Dunwoody Village as an area of unique character, while requiring that all new construction makes use of design standards and materials that enhance the district, complement existing character, and allow for the introduction of new design elements while supporting the addition of walkability and open space;
- e. Support efforts to create a vibrant shopping and entertainment area in which merchants and businesses thrive and grow,

thereby helping to maintain property values and keeping vacancy rates low; and

- f. Maintain and enhance the area's role as a place for civic activities and public gatherings within well-designed open spaces.

(2) Applicability.

- a. DV district regulations apply to properties zoned to a DV district in accordance with the regulating map (figure 27-107B-1) and the amendment procedures of article V, division 2.
- b. The general applicability provisions of Sec. 27-3 of this zoning ordinance apply to properties zoned a DV district, except where alternative applicability standards exist in DV district regulations.

(b) Administration and procedures.

- (1) **Establishment of Dunwoody Village districts.** Dunwoody Village (DV) zoning district classifications may be applied to property and DV district boundaries may be amended only in accordance with the amendment procedures of article V, division 2 and the regulating map of figure 27-107B-1.
- (2) **Effect of establishment.** Once property has been classified in a DV district, that property is subject

27-107A Administration.

Administration and procedures.

exclusively to the applicable DV district regulations.

(3) Review and approval procedures.

Unless otherwise expressly stated, all uses and development in DV districts are subject to the applicable review and approval procedures of article V, as well as any applicable procedures in chapter 16 of the municipal code (land development regulations).

(4) Pre-application conference. Pre-application conferences with staff are required for development permit applications (see the pre-application provisions of section 27-305).**(5) Site plan review.** Development permits applications must be accompanied by a site plan, which is subject to review and approval in accordance with article V, division 10.**(6) Relief.** The DV districts are intended to accommodate development as-of-right when such development occurs in strict conformance with applicable regulations. In some instances, however, unique site conditions, existing building circumstances, or other constraints related to the subject property may make strict compliance impossible or highly impractical. In such instances, an applicant may seek relief from applicable regulations. Any relief granted and conditions imposed run with the land and are binding on the subject property owner and all future property owners.**a. Minor exception -**

Administrative relief. The community development director is authorized to approve the following minor exceptions in accordance with the special administrative permit procedures of article v, division 7:

1. The location of a building relative to any minimum setback requirement or build-to zone width/location, provided that the location deviates from strict compliance by no more than five feet, except when a greater deviation is necessary to minimize the impact on special or specimen trees;
2. An increase in total impervious coverage by no more than five percent, not to exceed the total amount of permitted impervious plus semi-pervious coverage;
3. A decrease in the percent of building façade in the build-to zone by no more than 10 percent, except when a greater decrease is necessary to minimize the impact on special or specimen trees;
4. A reduction in the amount of required shopfront building frontage along primary streets, by no more than 10 percent,

27-107A Administration.

Text and Graphics.

except when a greater reduction is necessary to minimize the impact on special or specimen trees;

5. Additional height of any building story by no more than two feet, provided that the overall building height does not exceed the maximum permitted height;
6. An increase in the maximum permitted height of a retaining wall by up to five feet;
7. A modification to the required streetscape along existing streets with existing utilities, special trees, or specimen trees within or adjacent to the otherwise required streetscape; and
8. Any other minor exception expressly authorized under the Dunwoody Village district regulations.

- b. **Major exceptions - Special exceptions.** Major exceptions to strict compliance with the DV district regulations include any exception to strict compliance that is not expressly authorized as a minor exception under the provisions of subsection 27-107A(b)(6)a. Major exceptions require review and approval in accordance with the special exception procedures of article V, division 6.

(c) Text and Graphics.

Graphics are included in DV districts to illustrate the intent and requirement of the text. In the case of a conflict between the text and any graphics, the text governs.

(d) Primary street designation.

When used within a DV district, “primary street” means Chamblee Dunwoody Road, Mt. Vernon Road, and Dunwoody Village Parkway.

27-107B Districts.

Districts and regulating map.

27-107B Districts.**(a) Districts and regulating map.**

- (1) **District map.** The location for each DV district is designated in figure 27-107B-1, regulating map.
- (2) **Official zoning map.** The location for each DV district shown on the regulating map shall also be designated on the official zoning map.
- (3) **District requirements.** The requirements in this subsection apply to the DV districts as follows.
 - a. **Requirements specific to each district.** Refer to sections 27-107B(b) through 27-107B(e) for specific descriptions and requirements for each district.
 - b. **Use requirements for all districts.** Refer to section 27-107B(f), uses, for use requirements applicable to all districts.
- (4) **General regulations.** Refer to section 27-107C for general regulations that apply to all DV districts.
- (5) **Building type regulations.** Refer to section 27-107D for building type regulations that apply to all DV districts.
- (6) **Open space regulations.** Refer to section 27-107E for open space

regulations that apply to all DV districts.

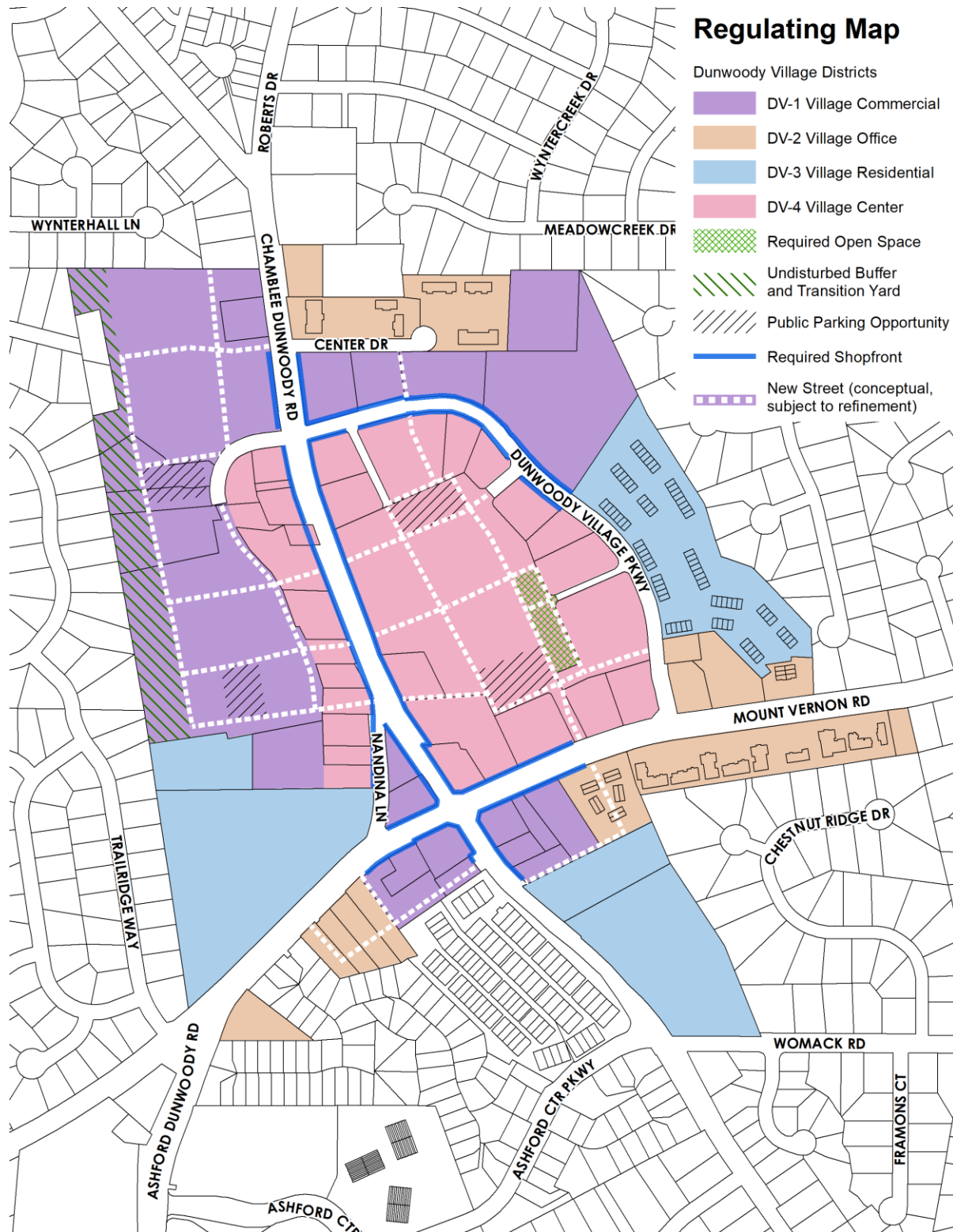
(7) Buffers and transition yards.

- a. Refer to section 27-230, transition yards, for information on buffer and screen requirements between different districts and uses, except where b. below applies.
- b. Where a DV-1 Village Commercial district abuts any single-family residential zoning district to the west, an undisturbed buffer with a depth of 130 feet is required abutting the single-family zoning district, except adjacent to 1205 and 1206 Hidden Ridge Lane, where an undisturbed buffer with a depth of 50 feet is required, as shown on the regulating map, figure 27-107B-1. Adjacent to the undisturbed buffer, a TY4 transition yard is required with a minimum width of 20 feet, except adjacent to the buffer adjacent to 1205 and 1206 Hidden Ridge Lane, where no transition yard is required. The total combined depth of the undisturbed buffer and transition yard shall be 150 feet, except adjacent to 1205 and 1206 Hidden Ridge Lane, where it shall be 50 feet.

Division 6. Dunwoody Village Districts

27-107B Districts.

Districts and regulating map.

DRAFT**Figure 27-107B-1 Regulating Map**

Division 6. Dunwoody Village Districts

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27-107B Districts.

DV-1 Village Commercial District.

(b) **DV-1 Village Commercial District.**

Requirements for this district are provided in figure 27-107B-1. DV-1 District Requirements.

- (1) **Description & Intent.** The DV-1 District is intended to provide areas for commercial uses that primarily serve the needs of nearby neighborhoods. The district also includes opportunities for residential uses when incorporated into mixed-use developments.

Figure 27-107B-2 DV-1 District Requirements

DV-1 VILLAGE COMMERCIAL DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	●	section 27-107D Building Types
	General	●	
	Townhouse	●	
	Civic	●	
USE MIX	Mixed-Use Requirement	Maximum 75% of floor area may be residential	section 27-107B(f) Uses
HEIGHT	Maximum: less than 100 feet from a lot line adjacent to single family zoning district	3 stories or 45 feet, whichever is less	section 27-107D(c) through (f) for floor-to-floor heights per Building Type
	Maximum: greater than 100 feet to a lot line adjacent to single family zoning district	4 stories or 65 feet, whichever is less	
SITE COVERAGE	Maximum Impervious Cover (Sites under 1 acre)	85 percent	section 27-621 Terms Defined
	Maximum Impervious Coverage (Sites 1 Acre or Larger)	80 percent	
LOTS	Lot Area	No minimum	
	Lot Width	20 feet minimum	
SETBACKS	Build-to Zone	No minimum / 10 feet maximum	
	Parking (front and side corner)	30 feet minimum	
	Side (interior)	No minimum	
	Side (corner)	See front	
	Rear	No minimum	
OPEN SPACE REQUIREMENTS	Plaza	●	section 27-107E Open Space Types
	Green	●	
	Commons	●	
	Park	●	
	Minimum Area (Sites Under 1 Acre)	5 percent of total site area	
	Minimum Area (1 to 10 Acres)	10 percent of total site area	
	Minimum Area (Sites Over 10 Acres)	15 percent of total site area	

● = permitted

Division 6. Dunwoody Village Districts

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27-107B Districts.

DV-2 Village Office District.

(c) **DV-2 Village Office District.**

Requirements for this district are provided in figure 27-107B-3. DV-2 District Requirements.

- (1) **Description & Intent.** The DV-2 District is intended to provide areas for small-scale office uses to serve nearby neighborhoods.

Figure 27-107B-3 DV-2 District Requirements

DV-2 VILLAGE OFFICE DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	●	section 27-107D Building Types
	General	●	
	Townhouse	●	
	Civic	●	
USE MIX	Mixed-Use Requirement	Ground floor residential use not allowed along a public or private street	section 27-107B(f) Uses
HEIGHT	Maximum	3 stories or 52 feet, whichever is less	section 27-107D(c) through (f) for floor-to-floor heights per Building Type
SITE COVERAGE	Maximum Impervious Cover (Sites under 1 acre)	85 percent	section 27-621 Terms Defined
	Maximum Impervious Coverage (Sites 1 Acre or Larger)	80 percent	
LOTS	Lot Area	No minimum	
	Lot Width	16 feet minimum	
SETBACKS	Build-to Zone	No minimum / 10 feet maximum	
	Parking (front and side corner)	30 feet minimum	
	Side (interior)	No minimum	
	Side (corner)	See front	
	Rear	No minimum	
OPEN SPACE REQUIREMENTS	Plaza	●	section 27-107E Open Space Types
	Green	●	
	Commons	●	
	Park	●	
	Minimum Area (Sites Under 1 Acre)	5 percent of total site area	
	Minimum Area (1 to 10 Acres)	10 percent of total site area	
	Minimum Area (Sites Over 10 Acres)	15 percent of total site area	

● = permitted

Division 6. Dunwoody Village Districts

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27-107B Districts.

DV-3 Village Residential District.

(d) **DV-3 Village Residential District.**

Requirements for this district are provided in figure 27-107B-4. DV-3 District Requirements.

- (1) **Description & Intent.** The DV-3 District is intended to provide areas for residential uses that are within walking distance of retail and services. The district also supports existing quasi-public and institutional uses within Dunwoody Village.

Figure 27-107B-4 DV-3 District Requirements

DV-3 VILLAGE RESIDENTIAL DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront		section 27-107D Building Types
	General	●	
	Townhouse	●	
	Civic	●	
USE MIX	Mixed-Use Requirement	n/a	section 27-107B(f) Uses
HEIGHT	Maximum	3 stories or 52 feet, whichever is less	section 27-107D(c) through (f) for floor-to-floor heights per Building Type
SITE COVERAGE	Maximum Impervious Cover (Sites under 1 acre)	85 percent	section 27-621 Terms Defined
	Maximum Impervious Coverage (Sites 1 Acre or Larger)	80 percent	
LOTS	Lot Area	No minimum	
	Lot Width	20 feet minimum	
SETBACKS	Build-to Zone	No minimum / 10 feet maximum	
	Parking (front and side corner)	30 foot minimum	
	Side (interior)	10 foot minimum	
	Side (corner)	See front	
	Rear	No minimum	
OPEN SPACE REQUIREMENTS	Plaza	●	section 27-107E Open Space Types
	Green	●	
	Commons	●	
	Park	●	
	Minimum Area (Sites Under 1 Acre)	5 percent of total site area	
	Minimum Area (1 to 10 Acres)	10 percent of total site area	
	Minimum Area (Sites Over 10 Acres)	15 percent of total site area	

● = permitted

Division 6. Dunwoody Village Districts

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27-107B Districts.

DV-4 Village Center District.

(e) DV-4 Village Center District.

Requirements for this district are provided in figure 27-107B-5. DV-4 District Requirements.

- (1) **Description & Intent.** The DV-4 District is intended to serve as the core of Dunwoody Village and provide its most intense mix of uses, centralized landscaped open spaces, and highly walkable development patterns.

Figure 27-112-5 DV-4 District Requirements

DV-4 VILLAGE CENTER DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	●	section 27-107D Building Types
	General	●	
	Townhouse	●	
	Civic	●	
USE MIX	Mixed-Use Requirement	For all developments with over 15,000 square feet of floor area, a minimum 2 use categories shall be provided	section 27-107B(f) Uses
HEIGHT	Minimum	2 stories along all public streets	section 27-107D(c) through (f) for floor-to-floor heights per Building Type
	Maximum	5 stories or 80 feet, whichever is less	
SITE COVERAGE	Maximum Impervious Cover (Sites under 1 acre)	95 percent	section 27-621 Terms Defined
	Maximum Impervious Coverage (Sites 1 Acre or Larger)	90 percent	
LOTS	Lot Area	No minimum	
	Lot Width	20 feet minimum	
SETBACKS	Build-to Zone	No minimum / 10 feet maximum	
	Parking (front and side corner)	30 foot minimum	
	Side (interior)	No minimum	
	Side (corner)	See front	
	Rear	10 foot minimum	
OPEN SPACE REQUIREMENTS	Plaza	●	section 27-107E Open Space Types
	Green	●	
	Commons	●	
	Park	●	
	Minimum Area (Sites Under 1 Acre)	5 percent of total site area	
	Minimum Area (1 to 10 Acres)	10 percent of total site area	
	Minimum Area (Sites Over 10 Acres)	15 percent of total site area	

● = permitted

27-107B Districts.**Uses.****(f) Uses.**

The following applies to all DV districts.

(1) **Use table.** The following apply to the uses outlined in this section. Refer to figure 27-107B-6, use table.

- a. **Use categories.** Refer to sections 27-111 through 27-116.
- b. **Permitted and special uses.** Each use may be permitted as-of-right, permitted with a special administrative permit, permitted as a special exception, or permitted with a special land use permit. Refer to figure 27-107B-6, use tables.
- c. **Number of uses.** A lot may contain more than one use.
- d. **Principal and accessory uses.** Each of the uses may function as either a principal use or accessory use on a lot, unless otherwise specified.
- e. **Building type.** Each use shall be located within a permitted building type (refer to section 27-107D, building types), unless otherwise specified.

(2) **Use subcategories.** For the purposes of fulfilling the use mix requirements defined in each district table (refer to section 27-107B(b) through section 27-107B(e)), utilize the following subcategories of uses, consisting of those uses listed in the table, that may

contribute to the mix. Some permitted uses are not included.

a. **Lodging and residence subcategory.**

Household living
Group living
Lodging

b. **Civic subcategory.**

Club or lodge, private
Cultural exhibit
Educational services
Hospital
Place of worship

c. **Office subcategory.**

Construction and building sales and service
Medical service
Office or consumer service
Research and testing services

d. **Retail sales subcategory.**

Retail sales
Food and beverage retail sales

e. **Service use subcategory.**

Animal services
Day care
Repair or laundry services, consumer
Personal improvement services
Eating and drinking establishments
Financial services
Entertainment and spectator sports

Division 6. Dunwoody Village Districts

27-107B Districts.**DRAFT****Uses.****(3) Live-Work**

a. **Defined.** Accessory nonresidential activity conducted wholly within a dwelling unit that allows employees, customers, or clients to visit.

b. **Use Standards.** All live-work is subject to the following:

1. Live-work is only allowed when the dwelling unit to which it is accessory has been approved in accordance with figure 27-107B-6, use table.
2. Live-work is only allowed on the ground story of a building.
3. At least one person must occupy the dwelling containing the live-work use as their primary place of residence.
4. The live-work use may employ no more than two persons not living on the premises at any one time.
5. No business storage or warehousing of material, supplies, or equipment is permitted outside of the dwelling containing the live-work use.
6. The nonresidential use of the live-work use is limited to a use allowed in the DV district.
7. No equipment or process may be used that creates, without

limitation, noise, dust, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses, off the premises.

Figure 27-107B-6 Use Table

USES	DISTRICT				Reference
	DV-1	DV-2	DV-3	DV-4	
RESIDENTIAL					
Household Living					
Detached house	-	-	-	-	
Attached house, rental	S	-	S	-	
Attached house, owner occupied	P	-	P	-	
Multi-unit building, rental	S[1]	S[1, 4]	S[1]	S[1]	
Multi-unit building, owner occupied	P[1]	P[1, 4]	P[1]	P[1]	
Age-Restricted Multi-unit building, rental	P	P	P	P	
Age-Restricted Multi-unit building, owner occupied	P	P	P	P	
Live/work	See principal dwelling unit				27-107B(f)(3)
Group Living	S	-	S	S	
QUASI-PUBLIC & INSTITUTIONAL					
Ambulance Service	S	S	S	S	
Club or Lodge, Private	P	-	-	P	
Cultural Exhibit	P	P	P	P	
Day Care	P	P	P	P	
Educational Services	S	S	-	S	
Hospital	-	-	-	-	
Place of Worship	P	P	P	P	27-146
Utility Facility, Essential	P	P	P	P	27-151
COMMERCIAL					
Animal Services	S	S	-	P	
Microbrewery, wine specialty shop, distillery, cidery	P[2]	-	-	P[2]	
Communication Services					
Telecommunications antenna mounted to building or similar structure	A	A	A	A	

Division 6. Dunwoody Village Districts

27-107B Districts.**DRAFT**

Uses.

USES	DISTRICT				Reference
	DV-1	DV-2	DV-3	DV-4	
All other	P	P	P	P	
Standalone tower	S	S	S	S	
Construction and Building Sales and Services	P[2]	-	-	P[2]	
Eating and Drinking Establishments					
Food truck	P	P	-	P	27-138
Other eating or drinking establishment	P[2]	-	-	P[2]	
Drive-through Facility	-	-	-	-	
Entertainment and Spectator Sports					
Indoor	P[2]	-	-	P[2]	
Outdoor	-	-	-	-	
Financial Services					
Brokerage and investment services	P	P	-	P	
Banks, credit unions, savings and loan associations	P[3]	P[3]	-	P[3]	
Food and Beverage Retail Sales	P[2]	-	-	P[2]	
Funeral and Interment Services	-	-	-	-	
Lodging	P	P	-	P	
Medical Service	P	P	-	P	
Office or Consumer Service	P	P	-	P	
Parking, Non-accessory	P	P	-	P	27-107D(i)(5)
Personal Improvement Service	P[2]	P[2]	-	P[2]	
Repair or Laundry Service, Consumer	P	P	-	P	
Research and Testing Services	P	P	-	P	
Retail Sales	P[2]	-	-	P[2]	
Sports and Recreation, Participant					
Indoor	P[2]	-	-	P[2]	
Outdoor	-	-	-	-	
Vehicle and Equipment, Sales and Service					
Gasoline sales	-	-	-	-	
Vehicle sales and rental	P[5]	-	-	P[5]	27-154
Vehicle repair, minor	-	-	-	-	27-153

P = use permitted as of right

A = special administrative permit required

S = special land use permit required

- [1] No more than 60% of dwelling units may have a floor area of less than 800 square feet.
- [2] Individual establishments shall not exceed 50,000 square feet in gross floor area.
- [3] Use shall not be located within 1,320 feet of the same use (as measured in a straight line from property line to property line), including any uses not within a DV district.
- [4] Use shall not be located on the ground story along any public or private street. When the use is allowed on the ground story it must be set at least 30 feet behind the street-facing façade.
- [5] No more than 4 vehicles for sale or rent may be displayed on site. All vehicles for sale or rent must be located in conditioned space.

27-107C General Regulations

Streets, Blocks, and Paths.

27-107C General Regulations

(a) Streets, Blocks, and Paths.

(1) **Intent.** The intent of the following is to form an interconnected network of streets with multiple intersections and block sizes scaled to support multiple modes of transportation, including walking, biking, transit use, and driving, within Dunwoody Village. Refer to chapter 16 for additional regulations.

(2) **Applicability.** New development and redevelopment must meet these street, block, and path requirements under any of the following circumstances:

- a. **New structure.** Development of a new principal structure on a lot or portion of a lot.
- b. **Redevelopment or renovation.** Redevelopment or renovation to an existing structure or site that increases the gross building square footage by more than 10 percent over a 12-month period.
- c. **Parking lots.** Redevelopment or revision to 10 percent or more of an existing parking lot or development of a new parking lot, not including resurfacing, restriping, or minor repairs to an existing lot.

(3) New street locations.

- a. **Regulating map streets.** New streets must be installed in the

approximate locations shown on figure 27-107B-1, regulating map, in order establish a network that fulfills the streets, block, and path intent and regulations. Additional streets not shown on the regulating map are also allowed.

- b. **Community development approval.** The design and locations of all streets shall be approved by the community development director during the site plan review process.

(4) **Street connectivity.** The following provides requirements and guidance for locating new streets and connecting to surrounding context.

- a. The arrangement of streets must provide for the continuation of existing streets from adjoining areas into new developments.
- b. Cul-de-sac and dead-end streets shall only be allowed where topography and other existing barriers, such as or waterways, prevent street connectivity.
- c. Streets must follow natural features rather than interrupting or dead-ending at the feature.
- d. Streets must terminate at another street with either landscaped open space or a building façade across from the termination.
- e. When adjacent developments do not provide street connectivity,

27-107C General Regulations

Streets, Blocks, and Paths.

applicants must coordinate with the community development director to determine the potential for future connections and provide for those connections.

(5) **Block configuration.** Refer to figure 27-107C-1 for an illustration of typical block elements and section 16-240 for blocks.

- a. Blocks should be deep enough to accommodate buildings that face streets with parking located in the interior of the block.

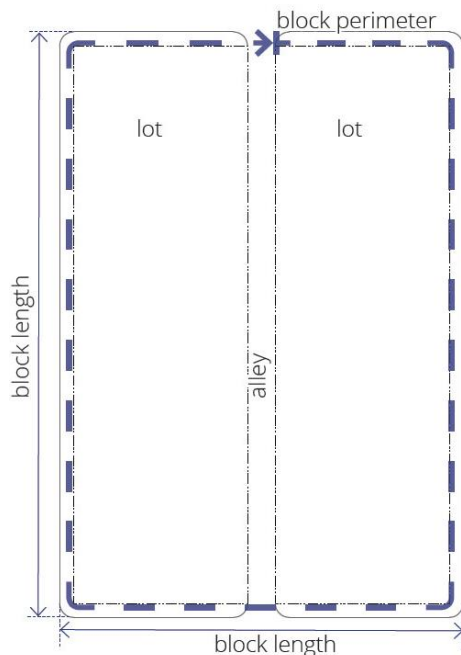


Figure 27-107C-1 Typical Block Elements

- b. Blocks may be configured to include existing lots within an existing zoning district that is not a DV district.

- c. A network of streets is required to meet the maximum block size requirement.
- d. Maximum block perimeter is 1,800 feet, except where the new streets required by the regulating map result in a smaller block perimeter, in which case such smaller block perimeter shall apply.
- e. Exceptions to block sizes may be granted by the community development director for new blocks that contain only open spaces or in locations adjacent to natural features such as steep grades and drainage areas, or other existing physical barriers.

(6) **Block driveway access.**

- a. Blocks may include internal alleys, drives, or driveway entrances for service, parking accessibility, and other routes internal to the development.
- b. Alleys shall have a maximum paved surface width of:
 1. Twelve feet when only serving attached houses; otherwise
 2. Twenty-four feet.
- c. Alleys and driveways should be aligned with alleys, driveways, and similar access points in other blocks.

27-107C General Regulations

Streets, Blocks, and Paths.

(7) Mid-block pedestrian ways.

- a. Mid-block pedestrian ways are required through blocks longer than 800 feet and at locations that connect public rights-of-way with other public facilities such as parks and transit stops.
- b. When combined with mid-block street crossings, these pathways should align to facilitate easy pedestrian movements.
- c. Mid-block pedestrian ways should be located in the middle third of a block face.
- d. The minimum width for mid-block pedestrian ways rights-of-way or easements is 20 feet.
- e. A minimum of one canopy tree per 600 square feet of area is required.
- f. Mid-block pedestrian ways shall be treated with the same design requirements as existing streets per subsection (8), streetscapes.
- g. Required new pedestrian paths per figure 27-107B-1 may fulfill the requirements for mid-block pedestrian ways.

(8) Streetscapes.

- a. **Applicability.** The following standards apply on existing and new public or private streets.
- b. **Landscape area.** All streets must incorporate the following

landscape area abutting the back of the curb:

- 1. **New streets.** Refer to section 27-107C(9), new streets.
- 2. **Existing streets.** A minimum 6-foot wide landscaped area, except when an official City plan or project uses an alternate design. When an alternate design is used, existing streets must conform to said design.
- c. **Sidewalk area.** All streets must incorporate the following sidewalks immediately adjacent to the required landscape area:
 - 1. **New streets.** Refer to section 27-107C(9), new streets.
 - 2. **Existing streets.** A minimum 12-foot wide sidewalk, except when an official City plan or project uses an alternate design. When an alternate design is used, existing streets must conform to said design.
- d. **Buildings.** Buildings must be built to the back of the sidewalk as established by build-to zone regulations. If buildings are set back from the edge of the required sidewalk, the setback area must include features such as outdoor dining and seating areas or plazas and landscaped open spaces that provide a safe, comfortable, and

27-107C General Regulations

Streets, Blocks, and Paths.

- active environment for pedestrians.
- e. **Lighting.** Lighting must conform to the following:
1. Pedestrian and street lighting must be installed in the streetscape landscape zone at intervals of 50 to 70 feet on center and must be located an equal distance from required street trees.
 2. Pole height may not exceed 15 feet.
 3. Light poles and lamps must be selected from the city's approved streetscape list, which is available in the public works department. Alternative designs may be approved on a case-by-case basis with the approval of the community development director.
- f. **Street Furniture.** Street furniture must be provided as follows:
1. Benches and trash and recycling receptacles must be installed every 250 feet along the street and at each building entrance adjacent to a pedestrian walkway.
 2. Furniture must be selected from the city's approved streetscape list, which is available in the community development department;
- alternative designs may be approved on a case-by-case basis with the approval of the community development director.
- g. **Maintenance.** Maintenance of trash and recycling receptacles, including servicing, repair, and replacement, is the full responsibility of the nearest adjacent property owner.
- h. **Recycling receptacles.** Recycling receptacles must be clearly identified with symbols and/or text indicating its intended use.
- (9) **New Streets.** The following apply to all new streets, including those not required by the regulating map.
- a. **Street type.** All new streets must be designed in accordance with new street type a, except where new street type b or new street type c are authorized by approval of both the community development director and the public works director, and except as provided for in "d" below.
 - b. **Public use.** All streets shall be available for public use at all times. Gated streets and streets posted as private are not permitted.
 - c. **Public street standards.** All new streets shall be public streets or private streets built to public standards.

27-107C General Regulations

Streets, Blocks, and Paths.

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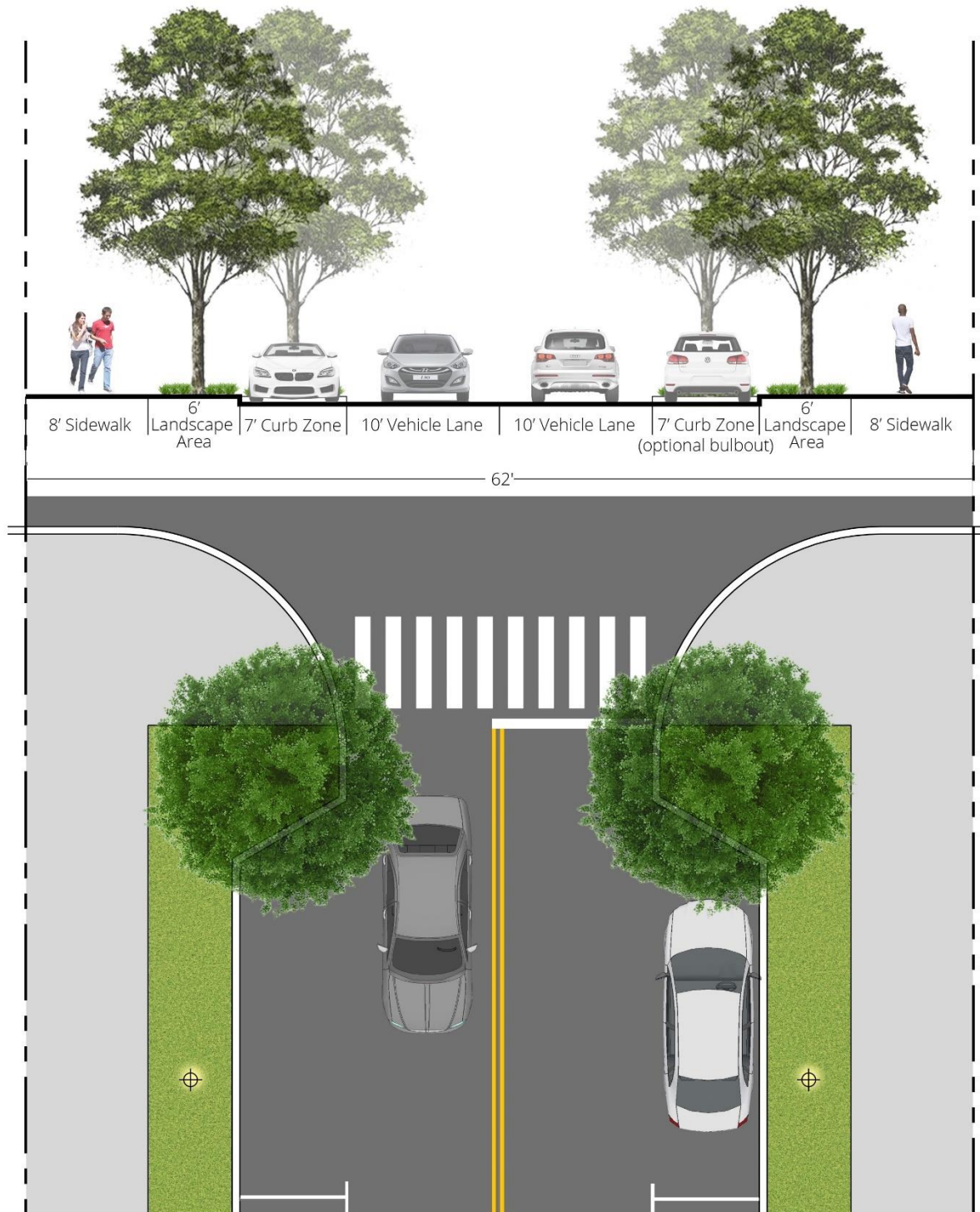
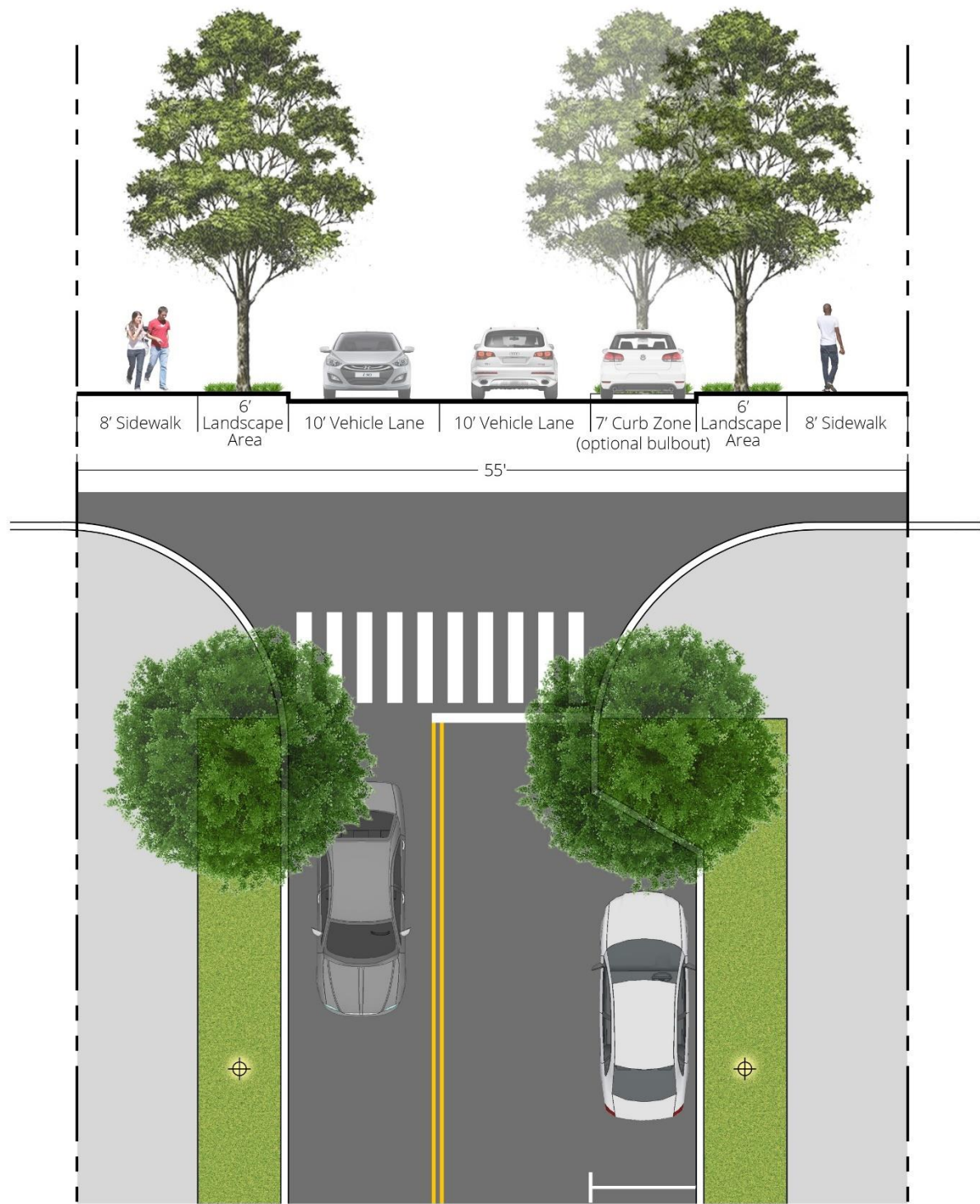


Figure 27-107C-4 New Street Type A (not to scale)

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27-107C General Regulations

Streets, Blocks, and Paths.

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Figure 27-107C-3 New Street Type B (not to scale)

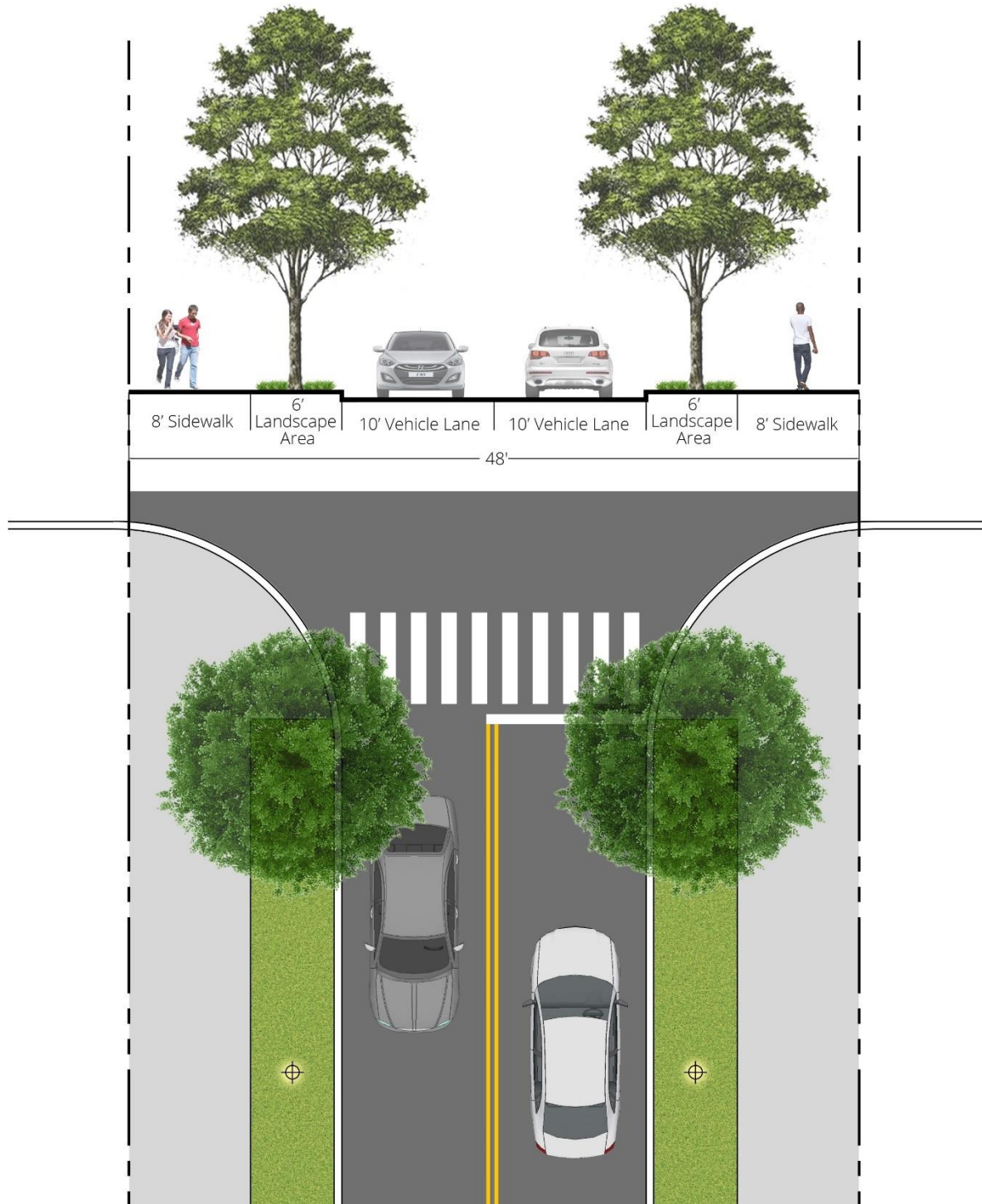


Figure 27-107C-2 New Street Type C (not to scale)

27-107C General Regulations

Streets, Blocks, and Paths.

d. Street design minor exceptions.

Minor exceptions to the street types identified in “a” above may be authorized by approval of both the community development director and the public works director where both directors find that the minor exception is for one or more of the following public purposes:

1. To provide on- or off-street bicycle facilities;
2. To provide narrower sidewalks or landscaped zones in order to accommodate existing buildings, existing landscaping, existing topography, other existing features, lot size, or lot shape which restrict the ability to provide the required width;
3. To provide a median, a left turn lane, or combination thereof;
4. To add or eliminate bulb-outs;
5. To provide hardscape surface in the landscaped zone in order to provide pedestrian access to adjacent on-street parking;
6. To provide alternative curb zone or on-street parking configurations, such as angled parking, or to eliminate on-street parking along one or both sides;

7. To increase or decrease the travel lane width; or

8. To provide traffic calming or pedestrian safety measures.

(10) Pedestrian paths.

- a. **Location.** New pedestrian paths shall be required in the approximate location shown in the Dunwoody Village Master Plan or other plan that has been adopted by the City, in order to establish an off-street bicycle and pedestrian network. Additional pedestrian paths not shown in adopted plans are also allowed.
- b. **Path type.** All new paths shall be designed in accordance with figure 27-107C-5, new pedestrian path.
- c. **Public use.** All pedestrian paths shall be available for public use at all times. Gated pedestrian paths or paths posted as private are not permitted.
- d. **Adjustments to requirements.** During the pre-submittal conference, the community development director and/or public works director may adjust requirements for path location, right-of-way width and alignment, pavement width, or pedestrian path elements depending on

unique site locations and characteristics.



Figure 27-107C-5 New Pedestrian Path (not to scale)

(b) **Required shopfronts.** New shopfront buildings (refer to section 27-107D(e)) must be constructed in areas shown on figure 27-107B-1, regulating map, in order to concentrate commercial activity in a pedestrian-friendly location.

(c) **Parking and circulation.**

The parking and circulation regulations of article IV, division 1 apply except as modified by the following regulations. (Refer also to the parking regulations of 27-107D(i)(5).)

(1) Parking may be provided in excess of the citywide parking maximums by special exception (see article V, division 6) only when all of the following occur:

- a. The excess parking is located within a parking deck having at least two parking levels.
- b. The excess parking is located in a location identified as a public parking opportunity on the regulating map.
- c. The excess parking is available to the general public, either with or without paying a fee, on a daily basis.
- d. The excess parking may not be assigned to or otherwise deemed accessory to any on-site or off-site use.

(2) Parking lots and parking structures must observe the parking setbacks established by district regulation and building type. Parking lot and parking structure setbacks are shown in figure 27-107C-6.

(3) Parking lots must be set back from a lot line abutting another property a minimum of five feet.

(4) Any parking deck which faces any public or private street must provide an intervening building having habitable space along the full length of the parking structure.

(5) Wherever possible, parking lots must be confined to the rear of structures and parking decks must be placed underground.

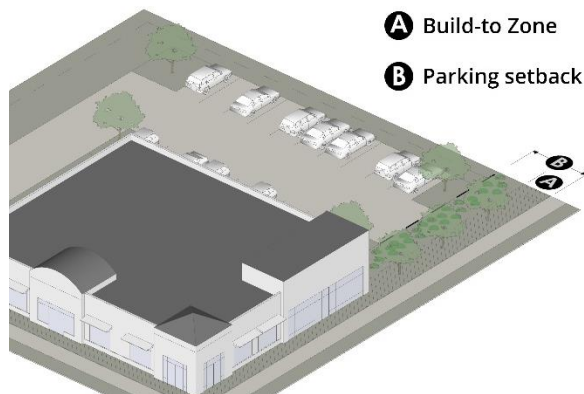
27-107C General Regulations**DRAFT**

Figure 27-107C-6 Parking setback for parking lots and parking structures

(d) Landscaping.

- (1) The landscaping and screening regulations of article IV, division 2, apply.
- (2) Street tree regulations of chapter 16, section 16-238 apply.

(e) Service areas, retaining walls, parking, and drive-throughs.

- (1) Dumpsters and other building service areas must be concealed from view of public rights-of-way, publicly accessible areas of the site, and residential zoning districts. All dumpsters must be concealed with secured gates screening in accordance with section 27-231.
- (2) Retaining walls must comply with the city building code. Visible areas of retaining wall must be faced with brick or stone compatible with the façade materials of the closest downhill building. Visible horizontal retaining wall expanses exceeding 20 feet must

include offset pilasters faced with the same brick or stone as the wall, rising three courses above the top of the adjoining wall, and finished with a double course capital of the same brick or stone. As used here, “visible” means visible from a public street, private street, or adjacent parcels.

- (3) Parking must be concealed from view of public rights-of-way by buildings, evergreen hedges, or street walls. Evergreen hedges and street walls must be no less than 75 percent opaque and built along the build-to-line. Street walls must be a minimum of 3.5 feet in height. The street wall shall have other individual openings not exceeding four square feet in area at height of less than 3.5 feet.
- (4) Utilities must be placed underground unless otherwise approved by the director of community development.
- (5) New drive-throughs are prohibited and existing drive-throughs shall be deemed non-conforming uses subject to section 27-554.

27-107D Building Types.

General standards.

27-107D Building Types.**(a) General standards.**

The building types detailed in this section define the required building forms for new construction and renovated structures within the DV districts defined in section 27-107B, districts.

(b) Applicability. The provisions of this section shall only apply to improvements which involve one or more of the following:

- (1) **New structure.** Development of a new principal structure on a lot or portion of a lot; or
- (2) **Expansions of existing structures.** Redevelopment or expansion that results in an increase in existing building gross floor area on the subject property by more than 10 percent, based on the total floor area added over the previous 12-month period.

(c) Districts, building types.

For each lot, a designated DV district is found on figure 27-107B-1, regulating map.

- (1) **District.** Each district, per section 27-107B, districts, has a set of requirements related to permitted building types, building height, site coverage, lot dimensions, setbacks, uses, and open spaces.
- (2) **Building types.** Each building type, as established in this section has a set of requirements.

- (3) **Uses.** Uses are permitted by district, per 27-107B27-107B(f), uses. Each building type can house a variety of uses depending on the district in which it is located. Some building types have additional limitations on permitted uses as located within the building.

- (4) **Multiple principal structures.** Multiple structures are permitted on all lots. All structures shall meet the requirements of one of the permitted building types for the district.

- (5) **Permanent structures.** All buildings constructed shall be permanent construction, unless otherwise noted.

- (6) **Other structures.** Utility structures and towers permitted in the district are exempt from the building type standards.

(7) Build to the corner.

- a. The corner of the lot is defined as the intersection of the two build-to zones of each street.
- b. Buildings shall be built up to the corner along both adjoining streets, occupying the intersection of the two build-to zones of any intersection streets. Courtyards shall not be located in this area.

- (8) **Treatment of build-to zones, setbacks.** See section 27-621 terms defined for definition of build-to zones and setbacks.

27-107D Building Types.

Districts, building types.

- a. **Landscape areas.** All build-to zones and setbacks not containing authorized buildings shall only contain courtyards (as permitted by street type frontage), plazas (as permitted by street type frontage), patios (as permitted by street type frontage), sidewalk or path extensions, buffers, and/or landscape yards, unless otherwise specifically noted.
- (9) **Driveways.**
- a. **Public works director.** The public works director shall determine the need to close existing driveways, width of driveways, and proximity of driveways to other driveways or streets.
 - b. **Alleys/lanes.** Access from an adjacent alley or lane is unlimited. Construction of new private or public alleys/lanes through blocks is encouraged. Typically, alleys or lanes cut through a block and provide vehicular access to multiple garages, parking lots, or service areas.
 - c. **Secondary street access.** If no alley exists, one driveway access per 200 linear feet of street frontage or two total driveway access points, whichever is greater, are permitted from each secondary street per site.
 - d. **Driveway access.** If no alley or secondary street exists, one driveway access point is permitted off each primary street.
 - e. **Shared driveways.** Shared driveways are required for all adjacent developments.
 - f. **Inter-lot drives.** When two or more parking lots are located adjacent to each other and each lot is within the same DV district, the parking lots shall be connected with a drive perpendicularly crossing the transition yard. Other parking lots should be connected wherever practical.
 - g. **Pedestrian facilities.** At-grade, designated pedestrian routes, including sidewalks and crosswalks, shall be provided to connect each parking area to either the primary sidewalk (and front entrance) or a rear public entrance.
 - 1. Vehicular areas, such as driveways, parking lot aisles, bike lanes/facilities, and parking areas, shall not be utilized as designated pedestrian routes.
 - 2. Pedestrian connections are required between all adjacent sites and land uses.
 - h. **Driveway location.** Driveways may cross perpendicularly through build-to zones and setbacks, or to

27-107D Building Types.

connect to a parking lot on an abutting lot.

(10) Loading facilities.

- a. Loading facilities may not face a primary street.
- b. Loading facilities may not be located in any required building setback area or within the build-to zone.
- c. The preferred location for loading facilities is in the interior of the lot, not visible from any streets.
- d. Loading facilities visible from a street must be screened from the sidewalk by a fence/wall or a combination of fence/wall and landscape screening.
 1. **Fence/wall.** Fences and walls shall be no taller than six feet and shall have a minimum overall opacity of 80 percent. Materials must meet the requirements of section 27-107D(d)(3)a, predominant exterior materials.
 2. **Landscape.** Tree canopies shall be used to screen above the six-foot wall or fence.
 3. **Shrubs and hedges.** Shrubs and hedges may be utilized to fulfill no more than one third of the screening, as measured along the screen length. A double row of five-gallon

shrubs, with mature height of a minimum six feet, is required.

(11) Accessory buildings.

- a. Attached accessory structures are considered part of the principal structure and shall meet all requirements of the principal structure.
- b. Detached accessory structures are not permitted between the face of the building and any public or private street right-of-way line.

(d) Architectural standards.

- (1) **Applicable façades.** These standards shall apply to all façades visible from the street, facing streets, facing main parking lots, and adjacent to open spaces, unless otherwise noted.
- (2) **Applicability.** In addition to the applicability requirements of 27-107D27-107D(b), the provisions of this section shall apply to any alteration to an existing structure that includes renovation of more than 25 percent of an applicable façade. Work that includes maintenance and repair of the existing doors, windows, paint, and roofs does not apply.
- (3) **Exterior materials.**
 - a. **Predominant exterior materials.** Predominant exterior finish materials are limited to:
 1. Brick;

27-107D Building Types.

Architectural standards.

2. Unpainted natural stone;
 3. Fiber cement siding;
 4. Hard-coat stucco; or
 5. Architectural ceramic panels.
- b. **Secondary exterior materials.** Secondary façade materials include all predominant materials. Other materials may be approved by the director of community development during the site plan review process.
- c. **Accent materials.** The following materials may be used for trim, details, soffits, eaves, and other accent areas: all predominant exterior materials, wood (including painted wood), synthetic materials, fiber cement, and aluminum or other durable metals. Other materials may be approved by the director of community development.
- d. **Restrictions.** The use of plain concrete block, aluminum siding, and vinyl siding are prohibited as façade materials.
- e. **Roof materials.** Acceptable roofing materials include asphalt shingles, wood shingles, reflective flat roofing systems, and other materials approved by the director of community development. Wherever asphalt shingles are used, they shall be a minimum three-dimensional architectural

type. Standing seam metal roofs are permitted only as accents on porches or dormers.

(4) Building façades.

- a. Façades shall provide front entrance(s) that are distinct and visible from the street, but should not exaggerate or double the height of the entrance.
- b. Simple massing is preferred and should be used with stoops, porches, galleries, arcades, roof eaves, and/or balconies to provide expressive character.
- c. Façades of all buildings with two or more stories shall provide a discernable base, middle, and cap that are clearly defined by horizontal elements along the bottom and top of the building. Expression of the elements should be handled through changes in material selection, color, or plane. Use of horizontal bands, cornices, and/or varied window patterns can assist in expression.
- d. Building wall materials may be combined on each façade only horizontally, with the lighter above more substantial materials.
- e. All glass shall be clear and free of color.
- f. Low pitch or flat roofs must be enclosed by a parapet that is a minimum of 42 inches in height, or

27-107D Building Types.

Architectural standards.

- a greater height as necessary to conceal mechanical equipment.
- g. Hardwood used for rafters, fascia boards, and all visible portions of roof decking shall be varnished, oiled, stained, or painted. Pressure treated wood shall be painted.
- (5) **Awnings.** All awnings must be canvas, glass, or metal. Plastic awnings are prohibited. Canvas and metal awnings may not be translucent.
- (6) **Shutters.** Where installed, shutters, whether functional or not, must be designed to the following standards:
 - a. All shutters must be sized for the windows, so that if the shutters were to be closed, they would not be too small for complete coverage of the window.
 - b. Shutters must be wood, metal, or fiber cement. Other "engineered" woods may be approved during the site plan review process with an approved sample and examples of successful, high quality local installations.
- (7) **Garage doors.** The following requirements apply to garage doors provided on any street façade:
 - a. **Location.** Garage doors are not permitted on primary street façades unless not utilized for vehicular access (but may be used for patio access, open air dining, or similar purposes). Garage doors are permitted on secondary street façades with direct access to the street. The preferred location is on interior lot façades.
 - b. **Recessed from façades.** Garage doors located on street facing façades shall be recessed a minimum of three feet from the dominant façade of the principal building facing the same street.
 - c. **Design.** Garage doors facing a secondary street and intended to be closed during business hours shall be clad with materials consistent with the design of the building. Carriage-style doors are required on the townhouse building type.
- (8) **Ground story at sloping façades.**
 - a. **Intent.** Given the topography in many parts of Dunwoody Village, building design must accommodate grade changes along the sidewalk without creating tall, out-of-scale blank walls. Large, unarticulated building façades signal to pedestrians that an area is not intended for walking, reducing activity in the area and creating dead zones.
 - b. **Regulations for shopfronts.**
 - 1. Grade transitions on the building along the sidewalk should be designed to maximize active pedestrian-

27-107D Building Types.

Architectural standards.

scale frontages between waist and eye level while minimizing blank walls.

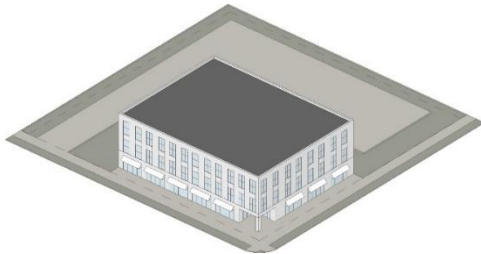
2. Unless impracticable, the interior floor level shall step to match the exterior grade.
 3. If it is necessary for the interior floor to remain constant along the grade, changes may be accommodated by a storefront window display space.
 4. Knee wall and retaining walls shall not exceed 30 inches in height except along a maximum 15-foot section of façade length.
 5. If grade change is more than 12 feet along a single block face, entrance requirements may be increased to one entrance per 80 feet of building frontage.
- c. **Regulations for residential and other building frontages.**
1. Grade transitions at the building along the sidewalk

should be designed to minimize blank walls.

2. Unless impracticable, the interior floor level should step to match the exterior grade.
3. Transition zones between the sidewalk and building façade of porches, terraces, and landscape areas may be used assist with grade changes.
4. If it is necessary for the interior floor to remain constant along the grade, changes can be accommodated by terraced planters and retaining walls.
5. Retaining walls shall not exceed 30 inches in height except along a maximum 15-foot section of frontage.
6. When the elevation of the first floor is more than three feet above grade, windows should be provided into the basement or lower floor elevations.

27-107D Building Types.**DRAFT****(e) Shopfront building regulations.**

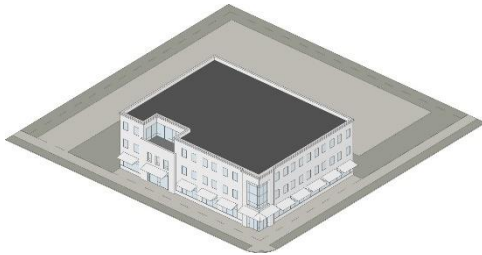
- (1) **Intent.** The shopfront building is intended for use as a mixed-use building located close to the sidewalk with parking in the rear or side of the lot. The most distinctive element of this building type is the ground floor front façade with large amounts of storefront glass and regularly spaced pedestrian entrances along the sidewalk, typically for retail and service uses.
- (2) **Standards.** The following are the regulations for shopfront buildings.

SHOPFRONT BUILDING STANDARDS				
	DV-1 Village Commercial District	DV-2 Village Office District	DV-4 Village Center District	
	BUILDING SITING See section 27-107B, districts, for build-to zone dimensions by DV district			
	Percent of building façade in build-to zone (primary street)	70% min.	60% min.	90% min.
	Percent of building façade in build-to zone (all other existing and new streets)	50% min.	No min.	50% min.
	Off-street parking along frontage	Not permitted	Not permitted	Not permitted
FLOOR-TO-FLOOR HEIGHT See figure 27-107D-2 Measuring Story Height and section 27-107(i)(2) Floor-To-Floor Height.				
Ground Story Minimum Height	14 ft.	14 ft.	14 ft.	
Ground Story Maximum Height	30 ft.	24 ft.	30 ft.	
Ground Story Elevation	80% between 0 to 2 ft. above adjacent sidewalk in right-of-way; visible basement not permitted (see 27-107D(d)(8) Ground Story at Sloping Façades for stepping façades at sloped sidewalks)			
USES				
Ground Story	any retail subcategory, service subcategory, lobbies for lodging (see 27-107B(f) uses) permitted in the district			
Upper Story	any use permitted in the district			
Parking within Building	permitted fully in any basement and in rear of ground and upper stories; parking entrance shall not be on a primary street			
Required Occupied Space	30 ft. deep from any façade on all ground and upper stories			
STREET FAÇADE DESIGN REQUIREMENTS See section 27-114(d)(4) Street Façade Design Requirements				
Ground Story Fenestration Measured between 2 and 10 ft. above grade	75% min.	60% min.	75% min.	
Upper Story Fenestration	15% min.	15% min.	15% min.	
Ground Story Blank Wall along a Primary Street	20 ft. max. length or height			
Entry Area	recessed between 3 and 8 ft. from the façade closest to the street			
Entrance Elevation	within 2 ft. of average grade at the sidewalk adjacent to entrance			
Required Number of Street Entrances along a Primary Street	1 per establishment located along the front façade			
Vertical Façade Divisions	1 per 30 ft. of façade width max.			

27-107D Building Types.**DRAFT****(f) General building regulations.**

(1) **Intent.** The general building is intended to be built close to the sidewalk, but may also have a landscape yard. This building can be structured to house offices or residential uses including multi-family, and may have limited amounts of accessory retail and service uses in the ground floor. Parking is typically provided in structures at the rear of the lot, internally in the rear of the building, but may also have limited surface parking along the side of the building.

(2) **Standards.** The following are the regulations for general buildings.

GENERAL BUILDING STANDARDS					
	DV-1 Village Commercial District	DV-2 Village Office District	DV-3 Village Residential District	DV-4 Village Core District	
	BUILDING SITING See section 27-107B, districts, for build-to zone dimensions by DV district				
	Percent of building façade in build-to zone (primary street)	80% min.	70% min.	60% min.	80% min.
	Percent of building façade in build-to zone (all other existing and new streets)	30% min.	30% min.	30% min.	30% min.
	Off-street parking along Frontage	Not permitted	Not permitted	Not permitted	Not permitted
FLOOR-TO-FLOOR HEIGHT See figure 27-107D-2 Measuring Story Height and section 27-107(i)(2) Floor-To-Floor Height.					
Ground Story Minimum Height	14 ft.	14 ft.	12 ft.	14 ft.	
Ground Story Maximum Height	30 ft.	24 ft.	24 ft.	30 ft.	
Ground Story Elevation	maximum of 2.5 ft. above the adjacent sidewalk in right-of-way without visible basement and a maximum of 4.5 ft. above the sidewalk with a visible basement				
USES					
Ground Story	any use permitted in the district				
Upper Story	any use permitted in the district				
Parking within Building	permitted fully in any basement and in rear of ground and upper floors; parking entrance shall not on a primary street				
Required Occupied Space	30 ft. deep from any façade on all ground and upper stories				
STREET FAÇADE DESIGN REQUIREMENTS See section 27-114(d)(4) Street Façade Design Requirements					
Ground Story Fenestration Measured between 2 and 10 ft. above grade	20% min.	20% min.	20% min.	20% min.	
Upper Story Fenestration	15% min.	15% min.	15% min.	15% min.	
Ground Story Blank Wall along a primary street	30 ft. max. length or height				
Entry Area	recessed minimum 3 ft. from the façade closest to the street				
Required Number of Street Entrances along a primary street	1 per 150 ft. width of front façade				
Vertical Façade Divisions	1 per 150 ft. of façade width max.				

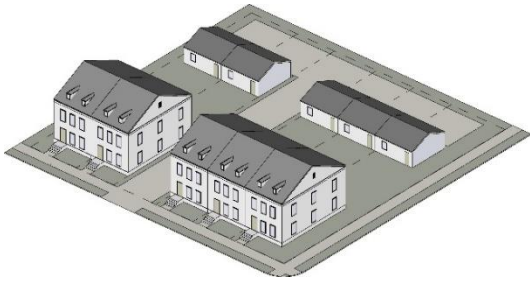
Division 6. Dunwoody Village Districts

27-107D Building Types.

Townhouse building regulations

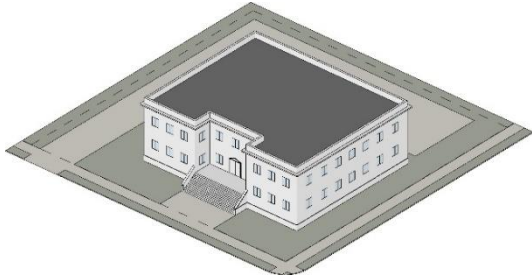
DRAFT**(g) Townhouse building regulations**

- (1) **Intent.** The townhouse building is typically comprised of several multi-story single-family units, located adjacent to each other, each with its own pedestrian entrance to the street.
- (2) **Standards.** The following are the regulations for townhouse buildings.

TOWNHOUSE BUILDING STANDARDS				
	DV-1 Village Commercial District	DV-2 Village Office District	DV-3 Village Residential District	DV-4 Village Center District
BUILDING SITING See section 27-107B districts, for build-to zone dimensions by DV district				
Percent of building façade in build-to zone (primary street)	65% max.	65% max.	65% max.	65% max.
Percent of building façade in build-to zone (all other existing and new streets)	No min.	No min.	No min.	No min.
Off-street parking along Frontage	Not permitted	Not permitted	Not permitted	Not permitted
FLOOR-TO-FLOOR HEIGHT See figure 27-107D-2 Measuring Story Height and section 27-107(i)(2) Floor-To-Floor Height.				
Ground Story Minimum Height	9 ft.	9 ft.	9 ft.	9 ft.
Ground Story Maximum Height	14 ft.	14 ft.	14 ft.	14 ft.
Ground Story Elevation	maximum of 2.5 ft. above the sidewalk without a visible basement and a maximum of 4.5 ft. above the sidewalk with a visible basement			
USES				
Ground Stories	attached house, live-work			
Upper Story	attached house			
Parking within Building	permitted fully in any basement and in rear of ground and upper floors; garage doors and access to structured parking shall be off an interior side or rear façade (not a street façade), except parking may be front or rear loaded from an internal driveway			
Required Occupied Space	20 feet deep from any façade along a primary street on all ground and upper stories			
STREET FAÇADE DESIGN REQUIREMENTS See section 27-114(d)(4) Street Façade Design Requirements				
Ground Story Fenestration Measured between 2 and 10 ft. above grade	15% min.	15% min	15% min.	15% min.
Ground Story Blank Wall along a Primary Street	No max.			
Entry Area	Entrance shall be off a stoop or a porch. See 27-621 Terms Defined. The porch shall be at least 5 feet deep and 8 feet wide. The stoop shall be at least 3 feet deep and 5 feet wide.			
Required Number of Street Entrances	1 per unit	1 per unit	1 per unit	1 per unit
Vertical Façade Divisions	No more than two side by side units may share the same façade plane and then a 2 foot offset is required.			

27-107D Building Types.**DRAFT****(h) Civic building regulations**

- (1) **Intent.** The civic building is the most flexible building type and is limited to civic and institutional types of uses. These buildings are distinctive within the village fabric created by the other building types and could be designed as iconic structures.
- (2) **Standards.** The following are the regulations for civic buildings.

CIVIC BUILDING STANDARDS					
	DV-1 Village Commercial District	DV-2 Village Office District	DV-3 Village Residential District	DV-4 Village Center District	
	BUILDING SITING See section 27-107B, districts, for build-to zone dimensions by DV district				
	Percent of building façade in build-to zone (all streets)	No min.	No min.	No min.	No min.
	Off-street parking along Frontage	Not permitted	Not permitted	Not permitted	Not permitted
	FLOOR-TO-FLOOR HEIGHT See figure 27-107D-2 Measuring Story Height and section 27-107(i)(2) Floor-To-Floor Height.				
Ground Story Minimum Height	14 ft.	14 ft.	14 ft..	14 ft.	
Ground Story Maximum Height	30 ft.	30 ft.	30 ft.	30 ft.	
Ground Story Elevation	maximum of 2.5 ft. above the adjacent sidewalk in right-of-way without visible basement and a maximum of 4.5 ft. above the sidewalk with a visible basement				
USES					
All Stories	Limited to civic subcategory of uses				
Parking within Building	Permitted fully in any basement and in rear of ground and upper floors; entrance should be from an interior façade				
Required Occupied Space	30 feet deep from any façade along a primary street on all ground floor and upper stories				
STREET FAÇADE DESIGN REQUIREMENTS See section 27-114(d)(4) Street Façade Design Requirements					
Ground Story Fenestration Measured between 2 and 10 ft. above grade	20% min.	20% min.	20% min.	20% min.	
Ground Story Blank Wall along a Primary Street	No max.				
Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-621 Terms Defined. Porch shall be at least 5 feet deep and 8 feet wide. Stoop shall be at least 3 feet deep and 5 feet wide.				
Required Number of Street Entrances	One per building				
Ground Story Vertical Façade Divisions	none required				

27-107D Building Types.

Explanation of specific building type requirements.

(i) **Explanation of specific building type requirements.**

The following explains and further defines the standards outlined on the tables on the previous pages, specific to each building type.

(1) **Building siting.** The following explains the line item requirements for each building type table within the section entitled "Building siting."

a. **Build-to zone coverage.** The minimum percentage of building wall or façade along the street for each street is designated on each building type table.

1. **Measurement.** The width of the principal structures (as measured within the build-to zone along the frontage edge) is divided by the length of the frontage parallel to the property line following the street.

2. **Courtyards.** Courtyards, per section 27-621, terms defined, located along the façade in the build-to zone count towards the minimum coverage. Refer to street types for limitations of courtyards along some frontages.

b. **Build-to zone.**

1. **Defined.** The build-to zone is the area on the lot where a certain percentage of the front

building façade must be located, measured as a minimum and maximum yard (setback) range from the edge of the right-of-way.

2. **Measurement.**

a. The percent of building façade in build-to zone specifies the amount of the front building façade that must be located in the build-to zone, based on the width of the street-facing building façade divided by the width of the lot. The build-to zone is measured from the edge of the street frontage area onto the site. The lot width shall exclude any portions of the lot used for required transitions, provided new streets, or provided open space.

b. When a lot contains multiple buildings, the build-to zone requirements are measured as the sum of all buildings. There are no build-to zone requirements when a building is located behind another building that conforms to build-to zone requirements.

27-107D Building Types.

Explanation of specific building type requirements.

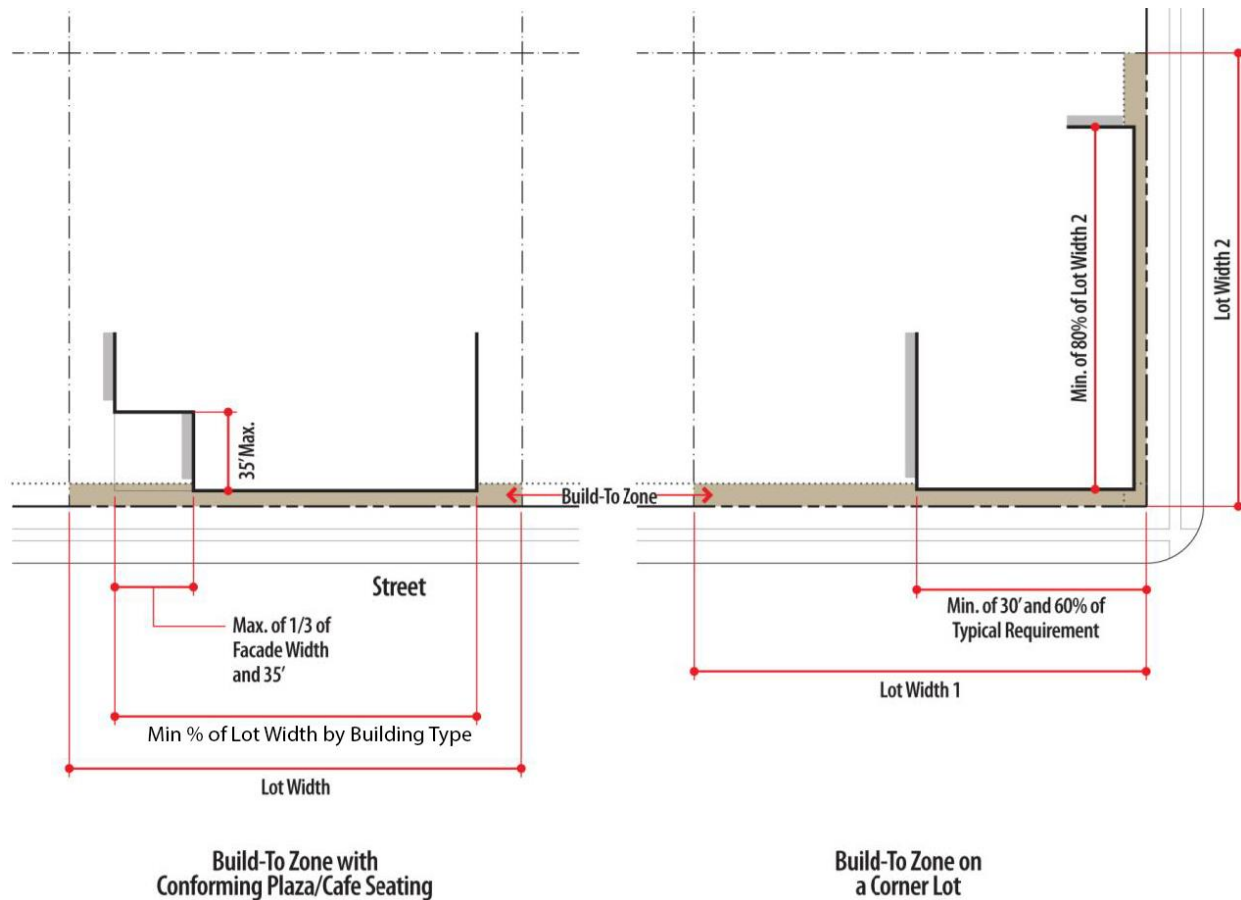


Figure 27-107D-1 Build-to zone with allowed plaza (left) and on corner lot (right)

3. **Open Spaces.** Outdoor open space, plazas, and outdoor dining areas are counted as part of the building for the purpose of measuring compliance with build-to zone requirements, provided that:
 - a. The area does not exceed one-third the length of the building face or 35 feet, whichever is less; and
 - b. The area is no more than 35 feet in depth (refer to figure 27-107D-1).
- c. **Corner Lots.** On corner lots, minimum requirements governing the percent of building façade that must be located in the build-to zone may be reduced by 60 percent along one of the frontages, at the property owner's option, provided that a building façade must be placed in the build-to zone for the first 30 feet along each street extending from the corner (refer to figure 27-107D-1).
 1. **Encroachments.** Awnings and building mounted signage may

27-107D Building Types.

Explanation of specific building type requirements.

extend beyond the build-to zone into the frontage area, but may not extend into the street right-of-way.

2. **Porches, arcades, galleries.** Porches, arcades, and galleries may be included on the building façade design, utilizing the range of depth permitted by the build-to zone. If located outside the building coverage requirement, the depth of the arcade or gallery may exceed the build-to zone.
- (2) **Floor-to-floor height.** The following explains the line item requirements for each building type table within the section entitled "Floor-to-floor height."
- a. Overall permitted building heights are designated by district in stories. Refer to section 27-107B(b) through (e).
 - b. **Ground story, minimum and maximum height.** (Refer to figure 27-107D-2, measuring story height). Each building type provides a permitted range of height in feet for the ground story of the building.

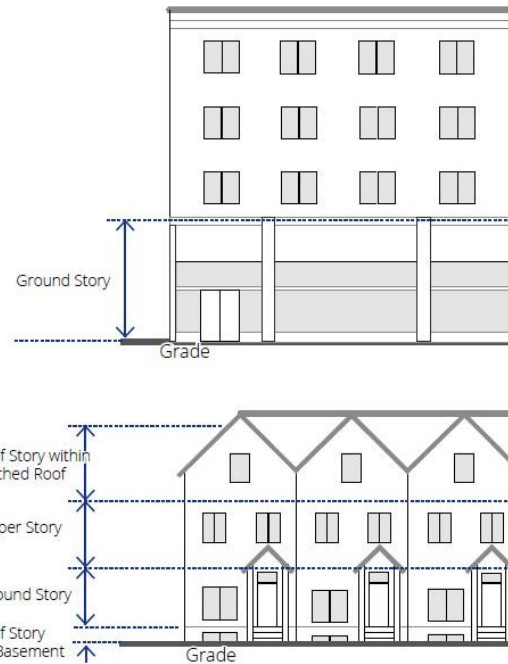


Figure 27-107D-2 Measuring Story Height

1. **Taller spaces.** Spaces exceeding the allowable floor-to-floor heights of the building type are not permitted on primary street façades. These spaces are unlimited on interior lot and other street façades.
- c. **Ground story elevation.** The allowable ground story elevation for each building type is defined, establishing whether or not a visible basement is permitted.
 1. **Visible basements.** Visible basements, permitted by entrance type, are optional. The visible basement must not

27-107D Building Types.

Explanation of specific building type requirements.

exceed one-half the height of the tallest story.

- (3) **Uses within building.** The following explains the line item requirements for each building type table within the section entitled "Uses within building." Refer to section 27-107B(f) uses for uses permitted within each DV district. The requirements in this section of the building type tables may limit those uses within a specific building type.

- a. **Ground and upper story.** The uses or category of uses which may occupy the ground and/or upper story of a building.
- b. **Parking within building.** The area(s) of a building in which parking is permitted within the structure.
- c. **Required occupied space.** The required depth of occupied space from the noted façade(s). Refer to section 27-621, terms defined, for the definition of occupied space.

- (4) **Street façade design requirements.** The following explains the line item requirements for each building type within the section entitled "street façade requirements".

These requirements apply only to façades facing public or private streets and façades facing main parking lots where visitors or customers park.

- a. **Minimum fenestration.** (refer to figure 27-107D-4, measuring

fenestration, per façade).

Fenestration shall be measured as the percentage of the total façade area of each story dedicated to glazing. The following articulates the minimum amount of ground story transparent glass required on all façades facing streets.

1. **Measurement.** Ground story fenestration, when defined separately from the overall minimum fenestration, shall be measured as the percentage of the total façade area dedicated to glazing between two feet and ten feet above average grade at the base of the front façade. Refer to figure 27-107D-3, measuring ground story fenestration.
2. **Transparent.** Transparent means any glass in windows and/or doors, including any mullions, that is highly transparent with low reflectance. Glazed elements must be clear and non-reflective and not be painted or tinted, except that low-emission (Low-E) glass coatings are permitted.

27-107D Building Types.

Explanation of specific building type requirements.

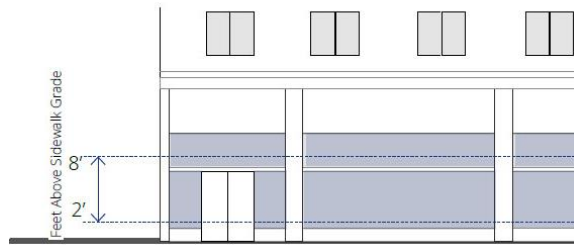


Figure 27-107D-3 Measuring Ground Story Fenestration



Figure 27-107D-4 Measuring Fenestration per Façade

windows shall be located on the interior façade of any arcade or gallery. Ground story windows shall continue around a minimum of 60 percent of courtyard façades.

b. Blank wall area.

1. Blank walls are areas on the exterior façade of a building that do not include a substantial material change; windows or doors; columns, pilasters or other articulation greater than 12 inches in depth. Blank wall limits are established in 27-107D(e) through 27-107D(h).
2. Blank wall area regulations apply in both a vertical and horizontal direction.

c. Entry area. Size requirements and recommended types of entrance areas per building type.

d. Required number of street entrances. The minimum number of and maximum spacing between entrances on the ground floor building façade with street frontage. Street entrances for all non-residential uses shall remain unlocked during business hours. Entrances located on corners may satisfy the requirement of both adjacent streets.

3. **Other stories.** A general minimum fenestration requirement applies to all other stories visible from any street. The fenestration is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper-story fenestration is measured from the top of the finished floor to the top of the wall plate.
4. **Arcades, galleries, courtyards.** Ground story

27-107D Building Types.

Explanation of specific building type requirements.

- e. **Vertical façade divisions.** The use of a vertically oriented expression line or form to divide the façade into vertical divisions at increments no greater than the dimension shown, as measured along the base of the façade. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of 1.5 inch depth. Refer to section 27-621, terms defined, for the definition of expression line.
- (5) **Parking structures fronting a street.**
- The following applies to parking structures fronting a public street, in addition to the requirements of 27-107C(c).
- a. **Primary streets.** Parking structures, whether accessory or principal use, shall not front a primary street, unless otherwise approved with special land use permit per article V, division 3.
 - b. **Parking structure design requirements.**
 1. **Blank wall limitations.** On any street façade, no rectangular area greater than 30 percent of any story's façade, as measured from floor to floor, and no horizontal segment of a story's façade greater than 15 feet in width may be solid, blank wall.
 2. **Pedestrian entry.** A defined pedestrian entrance/exit is required separate from the vehicular entrance and directly accessing the sidewalk. If the entry is enclosed, 65 percent of the entry must be transparent glass.
 3. **Screening.** All openings of any parking deck must be fully screened from view from any residential dwelling or adjacent public or private streets so that cars, sloped ramps, and interior deck lighting are not visible.

27-107E Open Space Types.

Intent.

27-107E Open Space Types.

(a) **Intent.**

To provide open space as an amenity that promotes physical and environmental health within the community and to provide access to a variety of active and passive open space types.

(b) **Applicability.**

These standards apply to open space required by 27-107B.

(1) **Existing open space.** At the discretion of the city, existing open space on the site may be used to meet the minimum requirement; however, the existing open space shall conform to one of the types defined.

(2) **Historic preservation incentive.** When buildings built before 1930 are incorporated into a development and when no changes are made to their exterior (other than paint color), an area equal to three times the building footprint is may be used to meet the minimum requirement.

(3) **Fee in-lieu.** Open space requirements of this section must be met by open space provided on the development site, unless off-site open space or a fee in lieu of open space provision is approved in accordance with the special administrative permit process.

(c) **General requirements.**

All open space shall meet the following:

- (1) **Open space types.** All open space provided shall comply with one of the open space types defined by subsections (e) through (i).
- (2) **Location.** Open space must be provided in the approximate location required on figure 27-107B-1, regulating map.
- (3) **Access.** All open space types shall provide public access from a pedestrian route associated with a vehicular right-of-way and/or adjacent building entrances/exits.
- (4) **Fencing.** Open space types may incorporate fencing, provided that the following requirements are met.
 - a. **Height.** Fencing shall be a maximum height of 48 inches, unless approved by the community development director for such circumstances as use around athletic facilities.
 - b. **Level of opacity.** Fence opacity shall be no greater than 60 percent.
 - c. **Type.** Chain-link fencing is not permitted along any street frontage, with the exception of dedicated athletic facility fencing approved by the community development director.
 - d. **Spacing of openings.** Openings or gates shall be provided on every street face at a minimum of one per every 200 feet.

27-107E Open Space Types.

General requirements.

- (5) **Open water body.** All open water bodies, such as lakes, ponds, pools, creeks, and streams within an open space type shall be located at least 20 feet from a property line to allow for pedestrian and bicycle access as well as a landscape area surrounding the water body.
- (6) **Parking requirements.** Parking shall not be required for any open space type, unless otherwise determined by the community development director.
- (7) **Continuity.** New open space shall connect to abutting or proximate existing or planned trail rights-of-way.
- (8) **Measuring size.**
 - a. **Size.** The size of the open space shall be is measured to include all landscape and paving areas associated directly with the open space.
 - b. **Minimum dimension.** The minimum dimension shall be the minimum length or width of the open space, as measured along the longest two straight lines intersecting at a right angle which define the maximum length and width of the lot. Refer to figure 27-107E-1, measuring minimum dimensions.

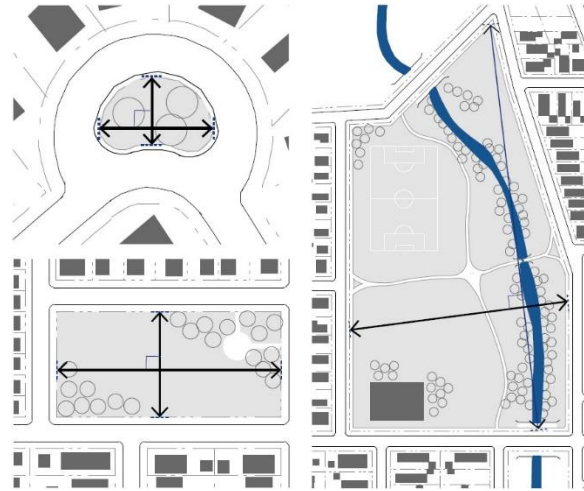


Figure 27-107E-1 Measuring Minimum Dimensions

- (9) **Minimum percentage of street frontage required.** A minimum percentage of the open space perimeter, as measured along the outer edge of the space, shall be located directly adjacent to a primary or secondary street. This requirement provides access and visibility to the open space.

27-107E Open Space Types.

Stormwater in open space types.

(10)**Improvements.** As noted in the specific requirements for each open space type (subsections (e) through (i)), the following types of site improvements and structures may be permitted on an open space.

a. **Fully enclosed structures permitted.** Fully enclosed structures may include such uses as small cafes, kiosks, community centers, and restrooms.

1. **Maximum area.** For some civic open space types, fully enclosed structures are permitted, but limited to a maximum building coverage as a percentage of the open space area.

2. **Semi-enclosed structures.** Open-air structures, such as gazebos, are permitted in all open space types.

b. **Maximum impervious and semi-pervious surface permitted.** The amounts of impervious and semi-pervious coverage are provided separately for each open space type (subsections (e) through (i)) to allow an additional amount of semi-pervious surface, such as permeable paving, above the impervious surfaces permitted, including, but not limited to, sidewalks, paths, and structures as permitted.

c. Maximum percentage of open water body. The maximum amount of area within an open space type that may be covered by an open water body, including, but not limited to, ponds, lakes, and pools.

(d) **Stormwater in open space types.**

Stormwater management practices, such as normally dry storage and retention facilities or ponds maintaining water at all times, may be integrated into open space types and utilized to meet stormwater requirements for surrounding parcels.

(1) **Stormwater features.** Stormwater features in open space may be designed as formal or natural amenities with additional uses other than stormwater management, such as an amphitheater, sports field, or a pond or pool as part of the landscape design. Stormwater features shall not be fenced and shall not impede public use of the land they occupy.

(2) **Walls.** Retaining walls over 30 inches in height are not permitted in any open space accommodating stormwater.

(3) **Qualified professional.** A qualified design professional shall be utilized to incorporate the stormwater features into the design of the open spaces.

Division 6. Dunwoody Village Districts

27-107E Open Space Types.**DRAFT****Plaza.****(e) Plaza.**

The intent of the plaza is to provide a formal open space type of medium scale to serve as a gathering place for civic, social, and commercial purposes. The plaza may contain a greater amount of impervious coverage than any other open space type. Special features, such as fountains and public art installations, are encouraged.

PLAZA CRITERIA	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	60 feet
Minimum Percentage of Street Frontage Required	25%
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of plaza area
Maximum Impervious Surface + Semi-Pervious Surface	40% + 20%
Maximum Percentage of Open Water & Stormwater Features	30%

**(f) Green.**

The intent of the green is to provide informal, medium scale active or passive recreation for building occupants and visitors within walking distance, mainly fronted by streets.

GREEN CRITERIA	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	25%
Improvements	
Fully Enclosed Structures	Not Permitted
Maximum Impervious Surface + Semi-Pervious Surface	20% + 15%
Maximum Percentage of Open Water & Stormwater Features	30%

27-107E Open Space Types.**Commons.****DRAFT****(g) Commons.**

The intent of the commons is to provide an informal, small to medium scale space for active or passive recreation for a limited area. Commons are typically internal to a block and tend to serve adjacent building occupants.

COMMONS CRITERIA	
Dimensions	
Minimum Size	0.45 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	0%; requires a minimum of two access points with a total depth of 100 feet maximum (minimum 30 feet wide)
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of commons area
Maximum Impervious Surface + Semi-Pervious Surface	30% + 10%
Maximum Percentage of Open Water & Stormwater Features	30%

**(h) Park.**

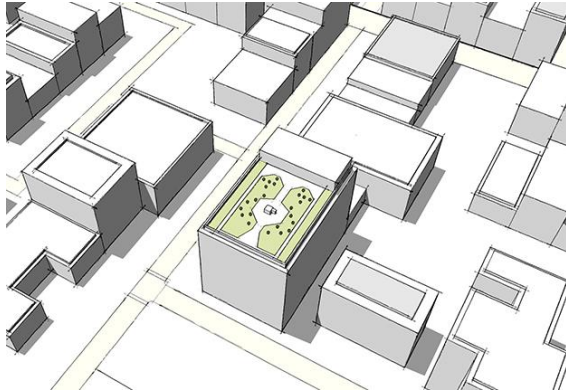
The intent of the park is to provide informal active and passive large-scale recreational amenities to local residents and the greater region. Parks have primarily natural plantings and are frequently created around an existing natural feature such as a water body or stands of trees.

PARK CRITERIA	
Dimensions	
Minimum Size	0.75 acres
Minimum Dimension	30 feet; minimum average width of 80 feet
Minimum Percentage of Street Frontage Required	30% for parks less than 5 acres; 20% for parks 5 or more acres in size
Improvements	
Fully Enclosed Structures	Permitted in parks 2 acres or larger in size
Maximum Impervious Surface + Semi-Pervious Surface	20% + 10%
Maximum Percentage of Open Water & Stormwater Features	30%

Division 6. Dunwoody Village Districts

27-107E Open Space Types.

Rooftop terrace.

DRAFT**(i) Rooftop terrace.**

The intent of the rooftop terrace is to provide a formal or informal, small to medium scale space for passive or active recreation or gatherings. Rooftop terraces tend to serve adjacent building occupants but must be open to the general public to count toward the open space requirement.

ROOFTOP TERRACE CRITERIA	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	0% but must have signage that is clearly visible from the street indicating how to access the terrace
Minimum Percentage of Accessible Terrace Area	25% of terrace area must be designed to be accessible; all remaining areas must be planted
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of terrace area
Maximum Impervious Surface + Semi-Pervious Surface	No maximum
Maximum Percentage of Open Water & Stormwater Features	30%

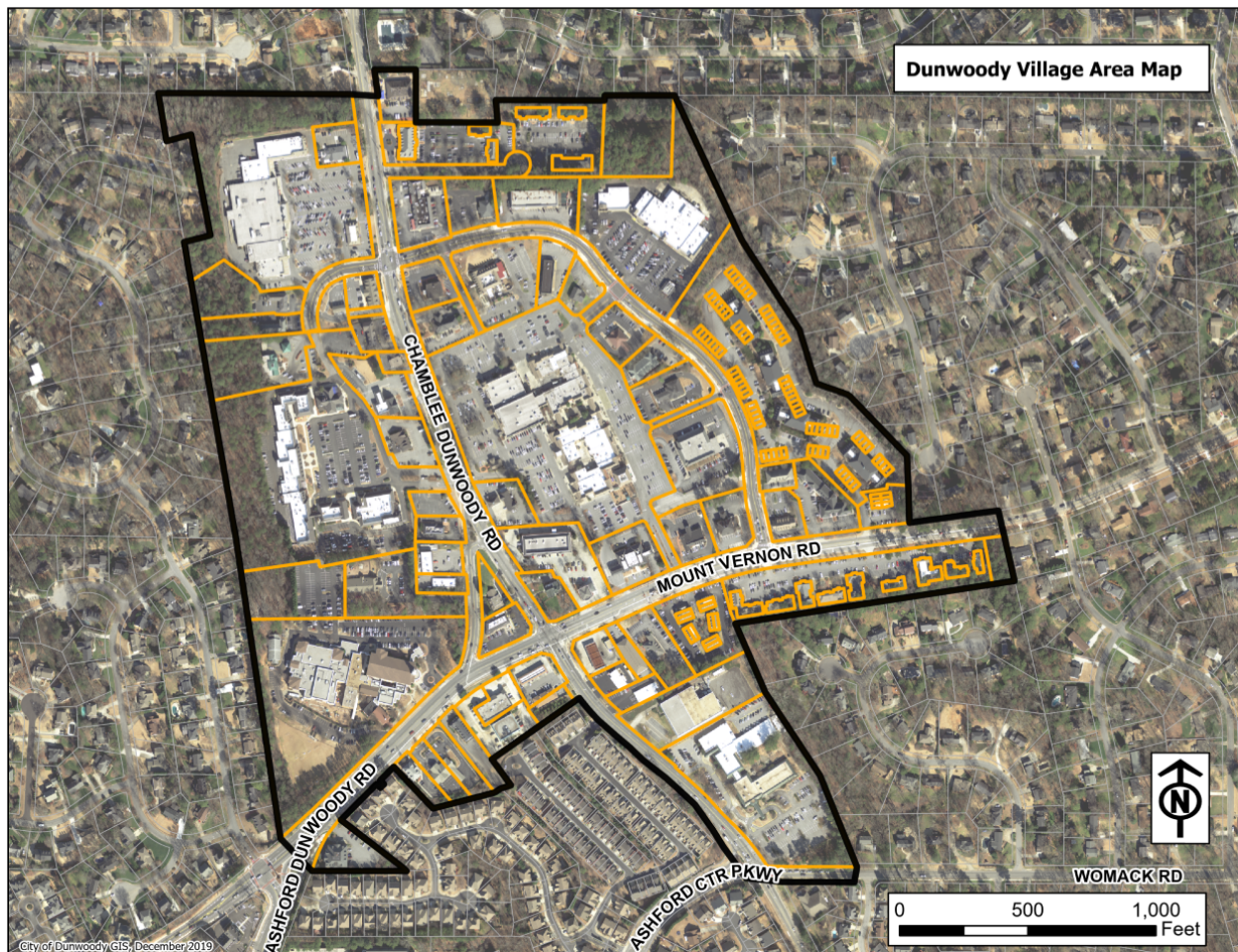
MEMORANDUM

To: Planning Commission

From: John Olson, AICP

Date: March 10, 2020

Subject: Dunwoody Village Master Plan Update

**ITEM DESCRIPTION**

The 2011 Dunwoody Village Master Plan presented a comprehensive vision for the future of the Village, including proposed improvements to Chamblee Dunwoody Road and Mount Vernon Road, as described on pages 43-44 of that plan. The 2011 plan was developed with significant input from the community and officially adopted by Dunwoody City Council in 2011. The plan was updated in 2016, but this update did not include any changes to the proposed street improvements.

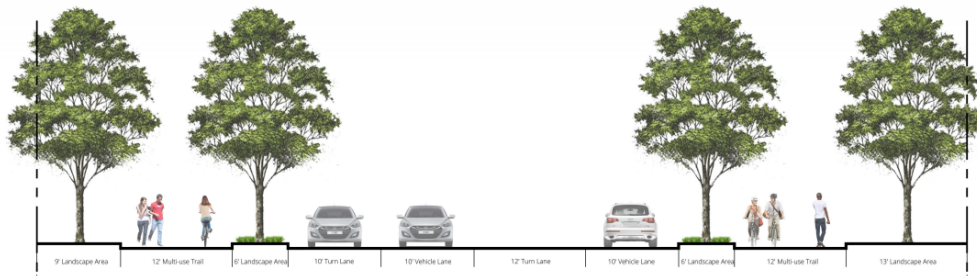
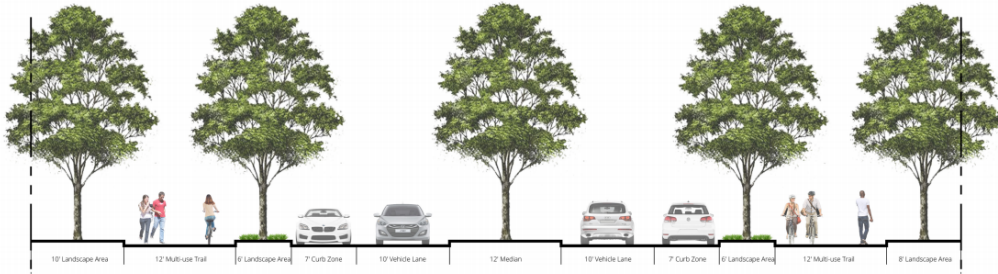
Lynn Deutsch Mayor
 Eric Linton, ICMA-CM City Manager
 Sharon Lowery, CMC City Clerk

Pam Tallmadge City Council Post 1
 Jim Ritcher City Council Post 2
 Tom Lambert City Council Post 3

Stacey Harris City Council Post 4
 Joe Seconder City Council Post 5
 John Heneghan City Council Post 6

In 2019, the City began to update the zoning regulations for the Village. As a part of this process, street improvements were revisited and updated designs were shared with the community at a public workshop on June 29. The updated improvements are now shown in graphic (rather than narrative) form. They now include designs for the road area between the curb, in addition to sidewalk and landscaping improvements, in order to include the full width of the right-of-way and show lane widths. The width of sidewalks and landscape areas have been clarified (they were described as ranges in the previous plan).

The goal of these proposed changes is to provide clarity, ensure adequate and safe spaces for pedestrians and bicyclists, and slow traffic to be consistent with the character of an urban village. The updated designs are aspirational and will need to remain flexible as funding is available to implement them, given the varying width of rights-of-way, unique conditions at intersections, and other site conditions. The following street sections are recommended to replace those in the 2011 Master Plan.

22**Chamblee Dunwoody Road****23****Mount Vernon Road****RECOMMENDATION**

Staff recommends approval of updates to the Dunwoody Village Master Plan with Exhibits A and B replacing the street designs in the 2011 Master Plan.

EXHIBIT A: Chamblee Dunwoody Road Proposed Improvements

EXHIBIT B: Mount Vernon Road Proposed Improvements

Lynn Deutsch Mayor
Eric Linton, ICMA-CM City Manager
Sharon Lowery, CMC City Clerk

Pam Tallmadge City Council Post 1
Jim Riticher City Council Post 2
Tom Lambert City Council Post 3

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EXHIBIT A

Chamblee Dunwoody Road Proposed Improvements

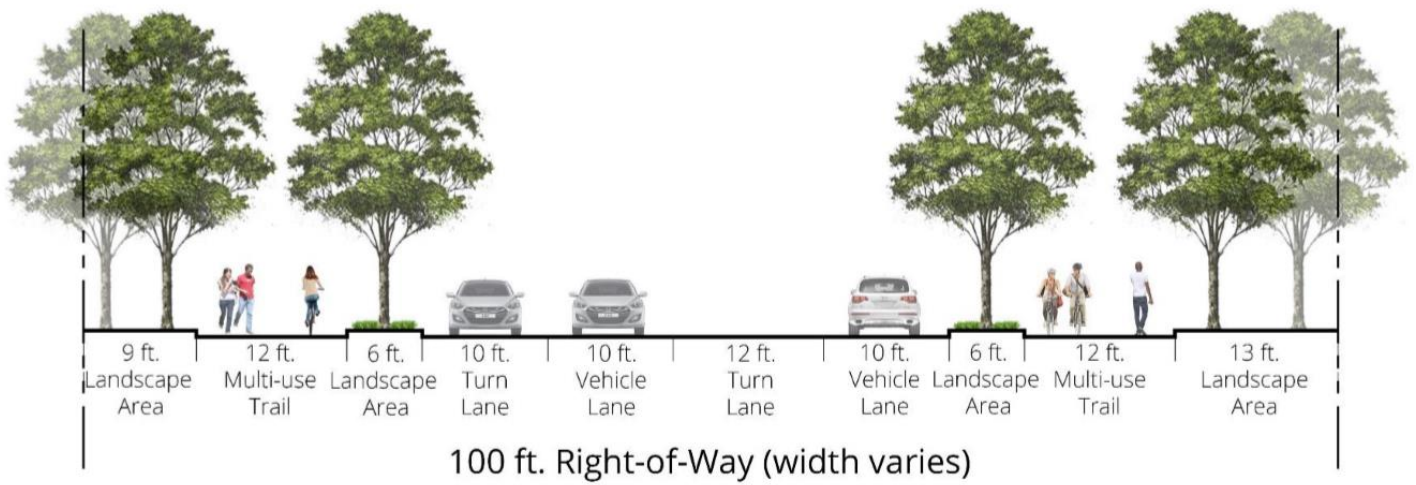
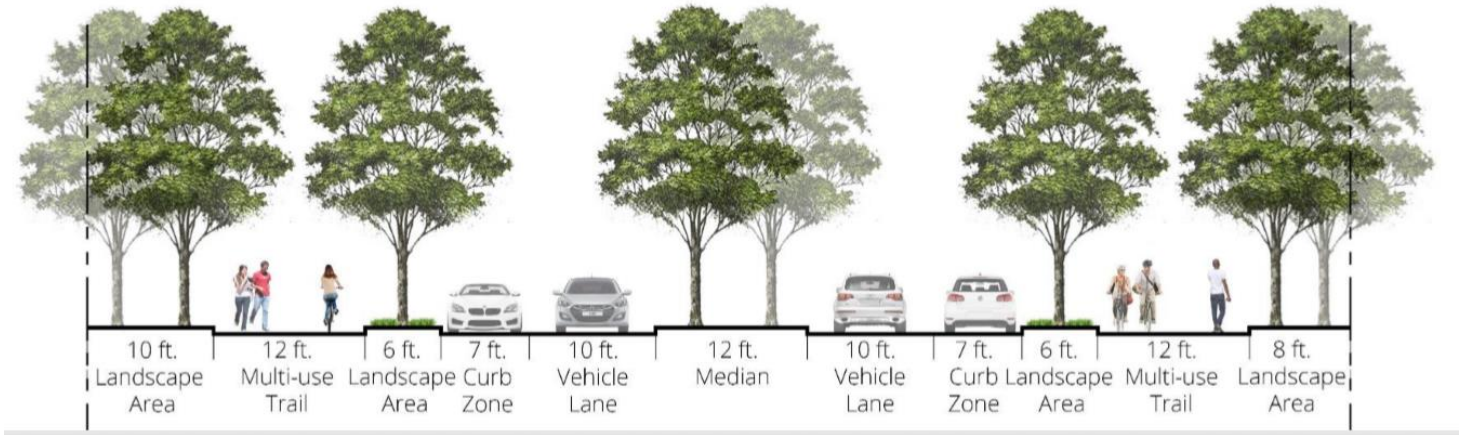


EXHIBIT B

Mount Vernon Road Proposed Improvements



**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2020-__-__

A RESOLUTION TO AMEND THE CITY OF DUNWOODY VILLAGE MASTER PLAN

- WHEREAS:** The Dunwoody Village contains over 150 acres of property made up of eight individual zoning districts (C-1, C-2, O-I, RM-100, O-I-T, R-100, R-150, and CR-1c) and one overlay district; and
- WHEREAS:** These districts consist of a combination of multi-family, office, commercial, and institutional uses, which are isolated by zoning type; and
- WHEREAS:** The development within Dunwoody Village consists of three suburban scale shopping centers, a church, the Dunwoody Village Townhomes, which are currently under construction, and several auto-repair shops, gas stations, office buildings and banks; and
- WHEREAS:** Most of the development within the Village was constructed in the 1970s and 1980s and as automobile-oriented developments, the buildings are mostly one-story in height, contain large surface parking lots and have minimal functional public open space; and
- WHEREAS:** The 2011 Dunwoody Village Master Plan presented a comprehensive vision for the future of the Village. The 2011 plan was developed with significant input from the community and officially adopted by Dunwoody City Council in 2011. The plan was updated in 2016
- WHEREAS:** The 2011 Dunwoody Village Master Plan included proposed improvements to Chamblee Dunwoody Road and Mount Vernon Road as described on pages 43-44 of that plan and the 2016 update did not include any changes to these proposed street improvements; and
- WHEREAS:** In January of 2019 City staff began working with TSW, an Atlanta-based architecture and planning firm, to rewrite the regulations of the Dunwoody Village Overlay and Master Plan; and
- WHEREAS:** The analysis and revisions sought to take into consideration connectivity, public open space, and the future character of development in the areas of the Dunwoody Village Overlay and Master Plan; and
- WHEREAS:** As a part of this process, the Chamblee Dunwoody Road and Mount Vernon street improvements contained in the Dunwoody Village Master Plan were revisited, and updated designs were shared with the community at a public workshop on June 29.
- WHEREAS:** Ultimately a revised plan of street improvements for improvements to Chamblee Dunwoody Road and Mount Vernon was developed; and
- WHEREAS:** The updated improvements are now shown in graphic rather than narrative form. They now include designs for the road area between the curb, in addition to sidewalk and landscaping improvements, in order to include the full width of the right-of-way and show lane widths. The

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2020-__-__

width of sidewalks and landscape areas have been clarified being described as ranges in the previous plan; and

WHEREAS: The proposed revised street improvements to Chamblee Dunwoody Road and Mount Vernon requirements improve the Dunwoody Master Plan by more closely reflecting the community vision and providing greater clarity in relation to the required street improvements; and

WHEREAS: By adopting these changes, the City of Dunwoody will help create a vibrant shopping and entertainment area in which merchants and businesses thrive and grow, thereby helping to maintain property values and keeping vacancy rates low; and maintain and enhance the area's role as a place for civic activities and public gatherings within well-designed open spaces; and

WHEREAS: The Mayor and City Council find that the proposed changes are appropriate and will enhance the public health, safety, and welfare within the City.

NOW THEREFORE, The Mayor and City Council of the City of Dunwoody hereby **RESOLVE AND APPROVE** the adoption of the revision to the Dunwoody Village Master Plan as set forth in the attachments hereto.

Attachments

Dunwoody Village Master Plan with Exhibits A and B replacing the street designs in the 2011 Master Plan.

EXHIBIT A: Chamblee Dunwoody Road Proposed Improvements

EXHIBIT B: Mount Vernon Road Proposed Improvements

SO ORDAINED AND EFFECTIVE, this the ____ day of _____, 2020.

Approved by:

Approved as to Form and Content

Lynn Deutsch, Mayor

City Attorney

Attest:

Sharon Lowery, City Clerk

SEAL

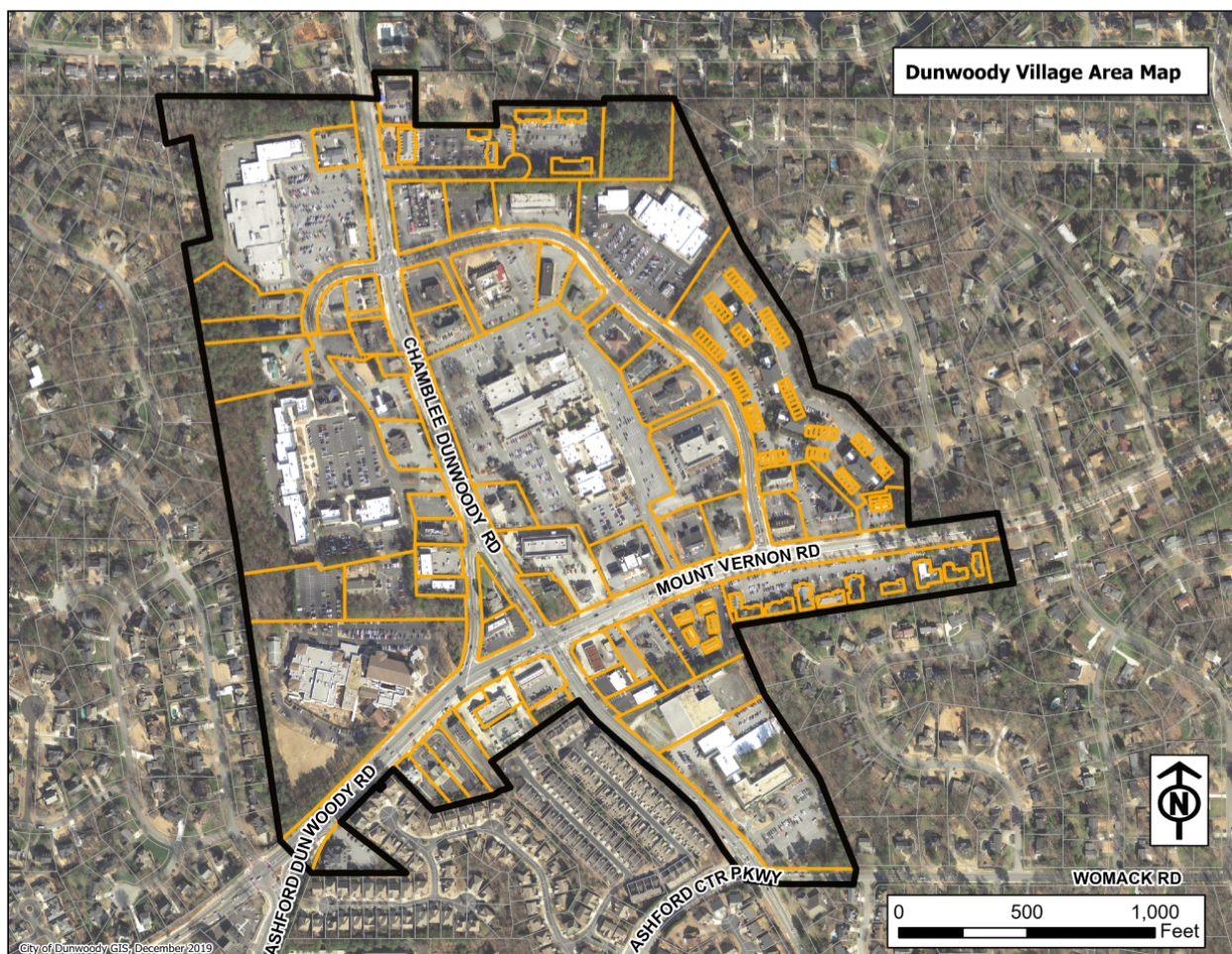
MEMORANDUM

To: Planning Commission

From: John Olson, AICP

Date: March 10, 2020

Subject: The City of Dunwoody seeks to amend the official zoning map by rezoning multiple parcels within Dunwoody Village to newly adopted Dunwoody Village Districts as depicted in Exhibit "A". The location of each Dunwoody Village District is designated in the official zoning map for rezoning as depicted in Exhibit "D".



Lynn Deutsch Mayor
Eric Linton, ICMA-CM City Manager
Sharon Lowery, CMC City Clerk

Pam Tallmadge City Council Post 1
Jim Riticher City Council Post 2
Tom Lambert City Council Post 3

Stacey Harris City Council Post 4
Joe Seonder City Council Post 5
John Heneghan City Council Post 6

BACKGROUND

The subject properties are found within Dunwoody Village, as referenced in the above map. The Dunwoody Village contains over 150 acres of property made up of eight individual zoning districts (C-1, C-2, O-I, RM-100, O-I-T, R-100, R-150, and CR-1) and one overlay district. These districts consist of a combination of multi-family, office, commercial, and institutional uses, which occupy isolated single-use districts. Under the existing traditional zoning, a mixture of uses is not permitted; as a result, no mixed use buildings have been developed within the Village. The development within Dunwoody Village consists of three suburban scale shopping centers, a church, the Dunwoody Village Townhomes, which are currently under construction, and several auto repair shops, gas stations, office buildings and banks. Most of the development within the Village was constructed in the 1970's and 1980's. As automobile oriented developments, buildings are mostly one-story in height, contain large surface parking lots and have minimal functional public open space.

In an effort to provide a better framework for land use and development, the City of Dunwoody seeks to amend the official zoning map by initiating a rezoning of multiple parcels within Dunwoody Village. The proposed rezoning is outlined within the proposed zoning action map as depicted in Exhibit "A", which shows a reclassification of the old zoning to newly adopted Dunwoody Village (DV) zoning districts. As well, a proposed list of the reclassified parcels are listed in Exhibit "C". One of the main objectives of this rezoning is to implement policies and objectives of the City of Dunwoody's Comprehensive Plan and the Dunwoody Village Master Plan. They are further intended to help:

- 1.) Maintain and enhance the identity and image of Dunwoody Village;
- 2.) Accommodate and promote walkable, development patterns containing a complementary mix of land uses;
- 3.) Create opportunities for functional landscaped open and gathering spaces in the commercial core of Dunwoody;
- 4.) Ensure that new development and substantial additions to existing buildings are designed to promote Dunwoody Village as an area of unique character while requiring that all new construction makes use of design standards and materials that enhance the district, complement existing character, and allow for the introduction of new design elements while encouraging the addition of walkability and green space;
- 5.) Support efforts to create a vibrant shopping and entertainment area in which merchants and businesses thrive and grow, thereby helping to maintain property values and keeping vacancy rates low; and
- 6.) Maintain and enhance the area's role as a place for civic activities and public gatherings within well designed open spaces.

As indicated in the proposed zoning action map, "Exhibit B", the existing eight zoning districts and overlay will be replaced with four new DV zoning districts:

- Village Commercial District ("DV-1"),
- Village Office District ("DV-2"),
- Village Residential District ("DV-3")
- Village Center District ("DV-4").

It is important to note that the action of the rezoning will also carry over the conditions of Dunwoody Village Townhomes (Exhibit "E"), so they remain tied to the development of the site. Further, the action of this rezoning will add each of the four DV districts within the official zoning Map for the city (Exhibit "D").

Public participation in the Dunwoody Village Master Plan and zoning update involved two open house meetings that were held on June 29th and November 16th, where approximately 200 people attended. As well, a community survey (Exhibit "E") was posted on the City's website, and more than 300 people responded. According to the survey, 75% of respondents indicated that they supported the changes.

SURROUNDING LAND USE

Dunwoody Village is surrounded on all sides by very stable single-family residential communities including: The Branches, Wynterhall, Cedarhurst, and Vernon North. The table below summarizes all of the nearby zoning districts and land uses:

Direction	Zoning	Future Land Use	Current Land Use
N	R-100	Single-Family Residential	Single-Family Residential
S	R-100, RM-100, RM-HD, R50	Single-Family Residential, Multi-Dwelling Residential	Single-Family Residential, Multi-Dwelling Residential
E	R-100	Single-Family Residential	Single-Family Residential
W	R-100, R-150	Public/Institution, Single-Family Residential	Public/Institution, Single-Family Residential

REVIEW AND APPROVAL CRITERIA

In accordance with Georgia and local law, the following review and approval criteria shall be used in reviewing the respective amendment applications:

Section 27-335. Review and approval criteria.

b. *Zoning Map Amendments.* The following review and approval criteria must be used in reviewing and taking action on all zoning map amendments:

- Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan;

The rezoning proposal appears to align with the policies and intent of the comprehensive plan. According to the Dunwoody Village Character Area the Dunwoody Village is: "Mixed-use (containing a mix of office, retail and residential, including both either vertical or horizontal mixed use through the district), townhomes, other owner-occupied housing, live-work units, civic institutional, community retail (not greater than 50,000 square feet per tenant space), local and unique business, boutique retail, public assembly, and entertainment." The DV Districts implements the vision of the comprehensive plan as it creates mixed use districts that allow for vertical and horizontal mixed use throughout the various districts.

2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties;
The area adjacent to the Dunwoody Village is made up of mostly single-family residential uses that abut higher intensity commercial, office, and multi-family uses. In light of the adjacent single-family uses, the zoning proposal appears to be suitable, as the changes in zoning are designed to enhance the land use and character of the Village, allowing opportunities for connectivity, new public open space, and mixed use within the Dunwoody Village. Also, buffer and transitional yard requirements within the zoning text will provide ample screening between residential and commercial property.
3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;
The subject properties have a reasonable economic use as currently designated; however, the current zoning does not align with the vision of the Comprehensive Plan, as the current Dunwoody Village Overlay, coupled with separate underlying zoning districts of commercial, office, and residential zoning areas, do not promote opportunities for mixed use development, public parking decks, connectivity, or public open space. Approving the parcels to DV districts would effectively broaden the economic development as it would support the development of a walkable mixed-use district as one might expect to find in a town center.
4. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;
The zoning proposal will not adversely affect the existing use or usability of adjacent or nearby property.
5. Whether there are other existing or changing conditions affecting the use and development of the property that provide supporting grounds for either approval or disapproval of the zoning proposal;
In 2018, several zoning texts amendments were completed within Dunwoody Village that relieved regulations on architectural design and design review. In December 2019, a 5-year update to the Comprehensive Plan was kicked off to update the Village's future land use and character area. In early 2019 the city hired TSW, an Atlanta based planning firm, to review and rewrite zoning regulations and update the Master Plan for Dunwoody Village. The change in zoning further implements components of the 2016 Dunwoody Village Master Plan, Perimeter LCI, and Dunwoody Comprehensive Plan to become a vibrant, walkable mixed use district, which provides supporting grounds for approval of this request.
6. Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources;
The zoning proposal will not adversely affect any historic buildings, sites, districts, or archaeological resources.
7. Whether the zoning proposal will result in a use that will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.
The zoning proposal will not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities,

utilities or schools, as the rezoning request is not attached to any tangible development proposal at this time. During any redevelopment process, however, staff will solicit input from DeKalb County Schools on the impact the project will have on future enrollment. Also, Dekalb County Sewer capacity and Fire approval will be required, prior to the issuance of any land disturbance permit or building permit.

RECOMMENDATION

Based on the analysis of this application, using the standards and criteria found in Chapter 27-335, staff recommends **APPROVAL** of the following exhibits and actions:











EXHIBIT A: Proposed zoning action maps
EXHIBIT B: Ordinance for rezoning
EXHIBIT C: Proposed zoning parcel list
EXHIBIT D: Official zoning map for rezoning
EXHIBIT E: Conditions of Dunwoody Village Townhomes
EXHIBIT F: Dunwoody Village Survey
EXHIBIT G: Existing entitlement list

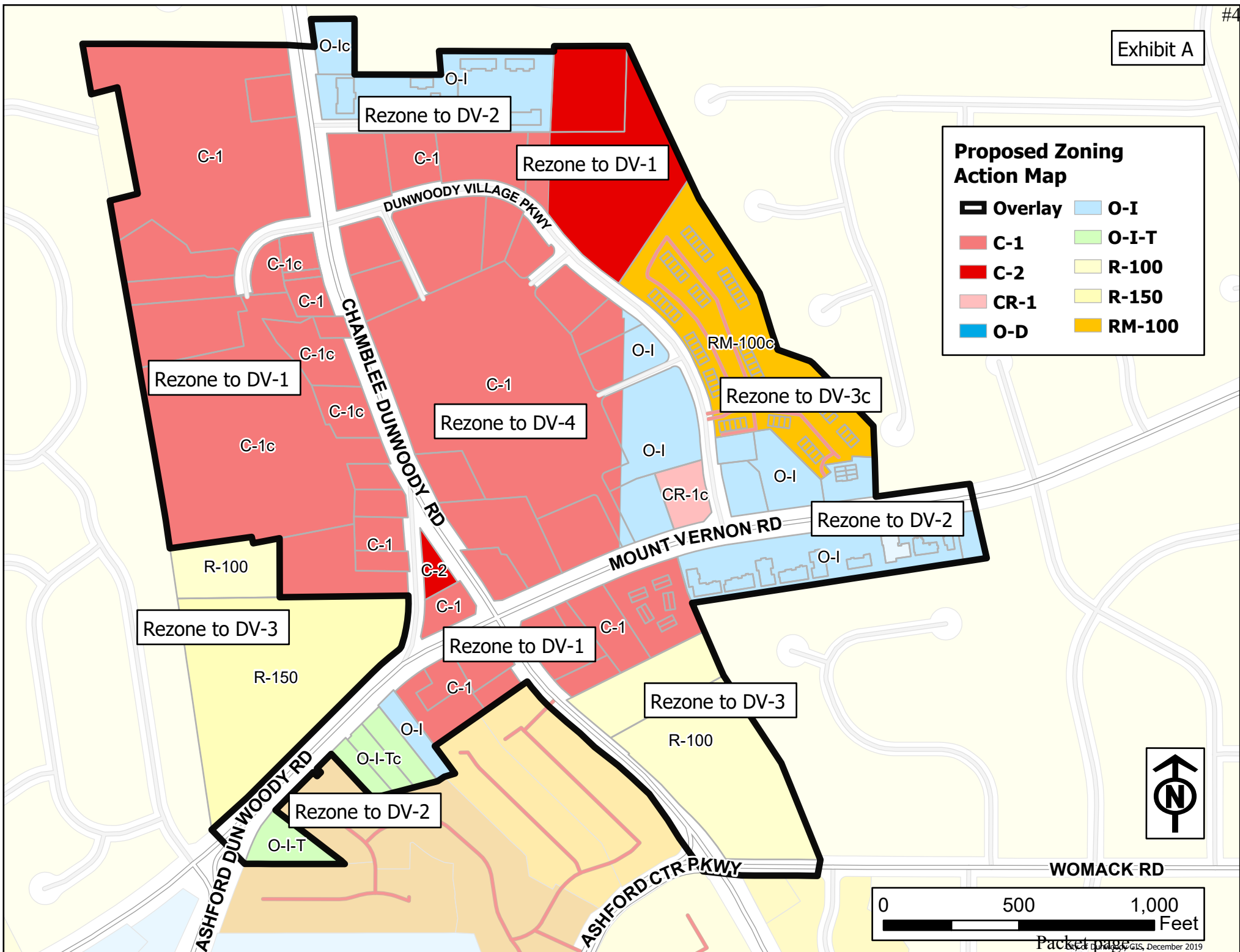
1. The subject properties, as indicated in the proposed zoning action maps Exhibit "A", and proposed zoning parcel list, Exhibit "B", are hereby rezoned to new DV districts as depicted within the Official Zoning Map for rezoning Exhibit "D"; and
2. With this rezoning action, the conditions of Dunwoody Village Townhomes RZ16-01, as referenced in Exhibit "E", shall remain remain in effect and will be applied to the property concurrent with the adoption of this ordinance;

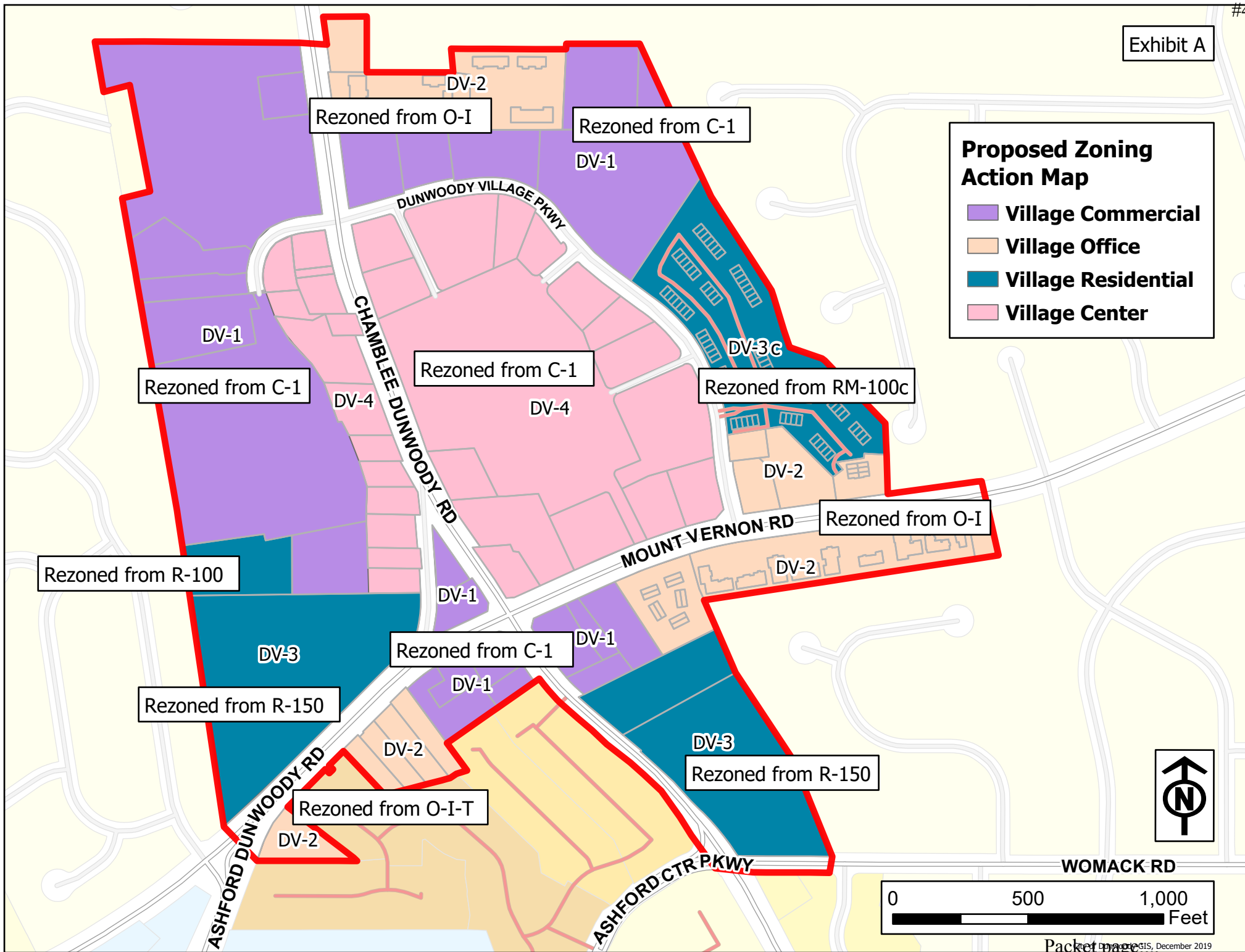
Attachments

- EXHIBIT A: Proposed zoning action maps
- EXHIBIT B: Ordinance for Village Zoning
- EXHIBIT C: Proposed zoning parcel list
- EXHIBIT D: Official zoning map for Dunwoody Village rezoning
- EXHIBIT E: RZ16-01 Conditions of Dunwoody Village Townhomes
- EXHIBIT F: Dunwoody Village Survey
- EXHIBIT F: Existing Entitlement List

Proposed Zoning Action Map

 Overlay	 O-I
 C-1	 O-I-T
 C-2	 R-100
 CR-1	 R-150
 O-D	 RM-100





**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2020-__-__

AN ORDINANCE TO AMEND THE OFFICIAL CITY OF DUNWOODY ZONING MAP TO REZONE MULTIPLE PARCELS WITH DUNWOODY VILLAGE TO CREATE NEWLY ADOPTED DUNWOODY VILLAGE DISTRICTS AS CONTEMPLATED IN THE NEW DUNWOODY VILLAGE DISTRICT ZONING REGULATION

- WHEREAS:** The Dunwoody Village contains over 150 acres of property made up of eight individual zoning districts (C-1, C-2, O-I, RM-100, O-I-T, R-100, R-150, and CR-1c) and one overlay district; and
- WHEREAS:** These districts consist of a combination of multi-family, office, commercial, and institutional uses, which are isolated by zoning type; and
- WHEREAS:** The development within Dunwoody Village consists of three suburban scale shopping centers, a church, the Dunwoody Village Townhomes, which are currently under construction, and several auto-repair shops, gas stations, office buildings and banks; and
- WHEREAS:** Most of the development within the Village was constructed in the 1970s and 1980s and as automobile-oriented developments, the buildings are mostly one-story in height, contain large surface parking lots and have minimal functional public open space; and
- WHEREAS:** In an effort to provide a better framework for land use and development, the City of Dunwoody seeks to amend the official zoning map by initiating a rezoning of multiple parcels within Dunwoody Village; and
- WHEREAS:** One of the main objectives of this rezoning is to implement policies and objectives of the City of Dunwoody's Comprehensive Plan and the Dunwoody Village Master Plan; and
- WHEREAS:** By adopting these changes, the City of Dunwoody intends to: maintain and enhance the identity and image of Dunwoody Village; accommodate and promote walkable, development patterns containing a complementary mix of land uses; create opportunities for functional, landscaped, open and gathering spaces in the commercial core of Dunwoody; ensure that new development and substantial additions to existing buildings are designed to promote Dunwoody Village as an area of unique character while requiring that all new construction makes use of design standards and materials that enhance the district, complement existing character, and allow for the introduction of new design elements while encouraging the addition of walkability and green space; support efforts to create a vibrant shopping and entertainment area in which merchants and businesses thrive and grow, thereby helping to maintain property values and keeping vacancy rates low; and maintain and enhance the area's role as a place for civic activities and public gatherings within well-designed open spaces; and
- WHEREAS:** The action of the rezoning will continue to include the conditions of Dunwoody Village Townhomes so it remains tied to the development of

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2020-__-__

the site. Further, the action of this rezoning will add each of the four DV districts within the official zoning map for the city; and

WHEREAS: The Mayor and City Council find that the proposed changes are appropriate and will enhance the public health, safety, and welfare within the City; and

WHEREAS: Notice to the public regarding said rezoning has been duly published in *The Dunwoody Crier*, the Official News Organ of the City of Dunwoody; and

WHEREAS: A public hearing was held by the Mayor and City Council of the City of Dunwoody as required by the Zoning Procedures Act.

NOW THEREFORE, The Mayor and City Council of the City of Dunwoody hereby **ORDAIN AND APPROVE** the adoption of this ordinance to amend the official City of Dunwoody zoning map to rezone multiple parcels with Dunwoody Village to create newly adopted Dunwoody Village Districts as contemplated in the new Dunwoody Village District zoning regulation.

Further the following attachments are approved and adopted by the Mayor and Council

Attachments

EXHIBIT A: Proposed zoning action maps
EXHIBIT B: Ordinance for rezoning
EXHIBIT C: Proposed zoning parcel list
EXHIBIT D: Official zoning map for rezoning
EXHIBIT E: Conditions of Dunwoody Village Townhomes
EXHIBIT F: Dunwoody Village survey
EXHIBIT G: Existing entitlement list

1. The subject properties, as indicated in the proposed zoning action maps Exhibit "A", and proposed zoning parcel list, Exhibit "B", are hereby rezoned to new DV districts as depicted within the Official Zoning Map for rezoning Exhibit "D"; and
2. With this rezoning action, the conditions of Dunwoody Village Townhomes RZ16-01, as reference in Exhibit "E", shall remain tied to the property.

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2020-__-__

SO ORDAINED AND EFFECTIVE, this the ____ day of _____, 2020.

Approved by:

Approved as to Form and Content

Lynn Deutsch, Mayor

City Attorney

Attest:

Sharon Lowery, City Clerk

SEAL

Parcel ID	Street #	Street Name	Owner Name
18 366 05 053			MOUNT VERNON CONDOMINIUM ASSOC
18 366 06 003	1302	Center Drive	DUNWOODY CENTER CONDO ASSOC
18 366 06 081	1320	Center Drive	JOHARY GROUP LLC
18 366 06 078	1370	Center Drive	DUNWOODY PROPERTIES L L C
18 366 06 080	1340	Center Drive	WARREN GEORGE T II
18 366 06 076	1350	Center Drive	CCD DUNWOODY HOLDINGS LLC
18 366 06 079	1372	Center Drive	DUNWOODY CENTER CONDO ASSOC
18 366 06 077	1360	Center Drive	97 HOLDINGS LLC
18 366 05 004	5385	Chamblee Dunwoody Road	BELLSOUTH
18 366 04 005	5418	Chamblee Dunwoody Road	PDS MT VERNON LLC
18 366 05 011	5395	Chamblee Dunwoody Road	LEE W PLUNKETT PROPERTIES 5395 LLC
18 366 06 012	5575	Chamblee Dunwoody Road	DUNWOODY CONERS LLC
18 366 06 082	5591	Chamblee Dunwoody Road	JAT PARTNERS LLC
18 366 05 006	5349	Chamblee Dunwoody Road	CITY OF DUNWOODY
18 366 03 001	5450	Chamblee Dunwoody Road	MORGAN DOUGLAS HUNT
18 366 07 065	5561	Chamblee Dunwoody Road	LENOX DUNWOODY LLC
18 366 01 021	5052	Chamblee Dunwoody Road	DUNWOODY UNITED METHODIST
18 366 01 003	5528	Chamblee Dunwoody Road	FOWLER ENTERPRISES ATLANTA LLC
18 366 05 009	5419	Chamblee Dunwoody Road	CAS DUNWOODY LLC
18 366 05 008	5397	Chamblee Dunwoody Road	LEE W PLUNKETT PROPERTIES 5397 LLC
18 366 07 004	5471	Chamblee Dunwoody Road	BRANCH/HOP ASSOCIATES L P
18 366 04 019	5400	Chamblee Dunwoody Road	WARREN GEORGE T II
18 366 01 009	5592	Chamblee Dunwoody Road	REGENCY DUNWOODY HALL LLC
18 366 01 005	5550	Chamblee Dunwoody Road	REGENCY DUNWOODY HALL LLC
18 366 01 007	5518	Chamblee Dunwoody Road	MANHATTAN CHAMBLEE DUNWOODY
18 366 07 008	5465	Chamblee Dunwoody Road	PETRO WORLD LLC
18 366 07 073	5455	Chamblee Dunwoody Road	DUNWOODY PRESERVATION TRUST
18 366 07 011	5571	Chamblee Dunwoody Road	NEUSE INCORPORATED
18 366 01 013	5490	Chamblee Dunwoody Road	SUNTRUST BANK
18 366 01 002	5506	Chamblee Dunwoody Road	MANHATTAN CHAMBLEE DUNWOODY
18 366 01 004	5540	Chamblee Dunwoody Road	REGENCY DUNWOODY HALL LLC
18 366 01 006	5532	Chamblee Dunwoody Road	US REGENCY RETAIL I LLC
18 366 01 015	5468	Chamblee Dunwoody Road	SODOP LLC
18 366 06 002	5695	Chamblee Dunwoody Road	DEMATTEO PROPERTIES INC
18 366 01 014	5470	Chamblee Dunwoody Road	SODOP LLC
18 366 01 001	5500	Chamblee Dunwoody Road	PEACHTREE SHOPS OF DUNWOODY LLC
18 366 01 004	5540	Chamblee Dunwoody Road	REGENCY DUNWOODY HALL LLC
18 366 01 006	5532	Chamblee Dunwoody Road	US REGENCY RETAIL I LLC
18 366 06 118	5076	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 131	5077	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 109	5142	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 111	5130	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 115	5094	Chesterfield Lane	CALATLANTIC GROUP INC

18 366 06 119	5155	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 123	5131	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 125	5119	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 127	5101	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 130	5083	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 134	5053	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 136	5041	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 138	5029	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 139	5023	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 113	5118	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 140	5017	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 114	5112	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 135	5047	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 141	5011	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 112	5124	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 128	5095	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 129	5089	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 110	5136	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 120	5149	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 121	5143	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 116	5088	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 122	5137	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 126	5107	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 117	5082	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 132	5071	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 124	5125	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 137	5035	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 133	5065	Chesterfield Lane	CALATLANTIC GROUP INC
18 366 06 062	1300	Dunwoody Village Parkway	GIAQUINTO BROS DUNWOODY LLC
18 366 07 072	1425	Dunwoody Village Parkway	FIDELITY NATIONAL BANK
18 366 07 070	1333	Dunwoody Village Parkway	GY DUNWOODY CORPORATION
18 366 07 066	1317	Dunwoody Village Parkway	BRANCH/HOP ASSOCIATES L P
18 366 01 026	1260	Dunwoody Village Parkway	CARO EDUARDO
18 366 07 068	1441	Dunwoody Village Parkway	CIVIC CENTER PARTNERS LTD
18 366 07 059	1551	Dunwoody Village Parkway	UNITED STATES POSTAL SERVICE
18 366 06 064	1424	Dunwoody Village Parkway	DUNWOODY PLAZA PARTNERS LLC
18 366 06 063	1316	Dunwoody Village Parkway	JRG ASSOCIATES LP
18 366 01 010	1250	Dunwoody Village Parkway	DTB DAG INC
18 366 07 071	1449	Dunwoody Village Parkway	KEYWORTH BANK
18 366 07 067	1343	Dunwoody Village Parkway	LEFEVRE MEURICE E
18 366 06 073	1380	Dunwoody Village Parkway	CITY OF DUNWOODY
18 366 06 065	1530	Dunwoody Village Parkway	CALATLANTIC GROUP INC
18 366 01 019	1259	Dunwoody Village Parkway	REGENCY DUNWOODY HALL LLC
18 366 01 022	1244	Dunwoody Village Parkway	SODOP II LLC

18 366 01 019	1259	Dunwoody Village Parkway	REGENCY DUNWOODY HALL LLC
18 366 05 060	1713	Mount Vernon Road	RONDO PROPERTIES LLC
18 366 05 070	1647	Mount Vernon Road	1647 MOUNT VERNON LLC
18 366 05 068	1651	Mount Vernon Road	LD GLOBAL REALTY LLC
18 366 06 087	1742	Mount Vernon Road	TEAL REAL ESTATE VENTURES LTD
18 366 04 006	1567	Mount Vernon Road	MPB LIMITED PARTNERSHIP
18 366 05 059	1711	Mount Vernon Road	1711 MT VERNON LLC
18 366 05 057	1707	Mount Vernon Road	GA C-STORE INC
18 366 05 061	1719	Mount Vernon Road	JEFFROD LLC
18 366 06 075	1710	Mount Vernon Road	INLAND AMERICAN ST PORTFOLIO
18 366 04 021	1575	Mount Vernon Road	MPB LIMITED PARTNERSHIP
18 366 06 083	1742	Mount Vernon Road	DUNWOODY PROJECT INC
18 366 06 085	1742	Mount Vernon Road	8241 NESBIT FERRY ROAD LLC
18 366 06 060	1730	Mount Vernon Road	1730 MOUNT VERNOR ROAD LLC
18 366 06 086	1742	Mount Vernon Road	GALLMAN HOLDINGS LLC
18 366 05 063	1729	Mount Vernon Road	MEQUITY MT VERNON ROAD LLC
18 366 06 089	1742	Mount Vernon Road	MEKA PROPERTY LLC
18 366 06 088	1742	Mount Vernon Road	SAVYONIM LLC
18 366 05 072	1643	Mount Vernon Road	1643 MOUNT VERNON LLC
18 366 05 067	1651	Mount Vernon Road	CLARIDA WILLIAM D
18 366 05 073	1637	Mount Vernon Road	SMITH & BRIGGS LLC
18 366 03 003	1594	Mount Vernon Road	FAIRBURN ROAD PROPERTIES INC
18 366 06 084	1742	Mount Vernon Road	NADLAN INVESTMENT LLC
18 366 05 054	1625	Mount Vernon Road	KERKER AND ANTEBI LLC
18 366 05 014	1719	Mount Vernon Road	DEATON MICHAEL F
18 366 05 064	1733	Mount Vernon Road	LEE MYONG DONG
18 366 05 056	1705	Mount Vernon Road	1705 LLC
18 366 07 010	1630	Mount Vernon Road	KERKER PROPERTIES MOUNT VERNON
18 366 07 069	1648	Mount Vernon Road	DUNWOODY/MSB LLC
18 366 05 074	1637	Mount Vernon Road	SMITH & BRIGGS LLC
18 366 05 071	1643	Mount Vernon Road	1643 MOUNT VERNON LLC
18 366 05 066	1633	Mount Vernon Road	EBS OF GA LLC
18 366 05 069	1647	Mount Vernon Road	1647 MOUNT VERNON LLC
18 366 04 020	1555	Mount Vernon Road	K AND A INVESTMENTS
18 366 01 018	1548	Mount Vernon Road	DUNWOODY UNITED METHODIST
18 366 05 003	1637	Mount Vernon Road	DUNWOODY EXCHANGE CONDOMINIUM
18 366 05 065	1633	Mount Vernon Road	EBS OF GA LLC
18 366 05 010	1611	Mount Vernon Road	RONDO PROPERTIES LLC
18 366 05 058	1709	Mount Vernon Road	ASSET BACKED ENTERPRISES LLC
18 366 07 005	1614	Mount Vernon Road	PMT PARTNERS XIII LLC
18 366 04 015	1497	Mount Vernon Road	MADISON AVENUE PROPERTIES LLC
18 366 06 090	1720	Mount Vernon Road	INGLIMA ASSOCIATES LLLP
18 366 07 013	1660	Mount Vernon Road	JK FAMILY TRUST
18 366 05 062	1725	Mount Vernon Road	STEPHENS WAREHOUSE INC

18 366 04 009	1541	Mount Vernon Road	DUNWOODY BRANCH VENTURE LLC
18 366 04 010	1535	Mount Vernon Road	TOOLAN DAVID M
18 366 04 008	1547	Mount Vernon Road	DUNWOODY BRANCH VENTURE LLC
18 366 01 017	5054	Nandina Lane	AMACHER RAMONA
18 366 01 016	5064	Nandina Lane	AMACHER RAMONA
18 366 01 024	5050	Nandina Lane	MES REAL ESTATE HOLDINGS LLC
18 366 06 147	1562	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 146	1556	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 163	1549	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 164	1543	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 165	1525	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 168	1507	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 169	1501	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 162	1555	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 145	1550	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 153	1610	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 160	1573	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 142	1532	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 148	1574	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 151	1592	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 155	1622	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 158	1585	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 161	1561	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 154	1616	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 159	1579	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 167	1513	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 149	1580	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 156	1597	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 157	1591	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 166	1519	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 152	1604	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 150	1586	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 144	1544	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 143	1538	Prestwick Lane	CALATLANTIC GROUP INC
18 366 06 104	5297	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 096	5243	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 097	5249	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 100	5267	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 101	5273	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 106	5309	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 107	5313	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 094	5225	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 103	5291	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 091	5207	Saxondale Lane	CALATLANTIC GROUP INC

18 366 06 098	5255	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 105	5303	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 092	5213	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 099	5261	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 102	5285	Saxondale Lane	CALATLANTIC GROUP INC
18 366 06 108	5319	Saxondale Lane	CALATLANTIC GROUP INC
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Exhibit D

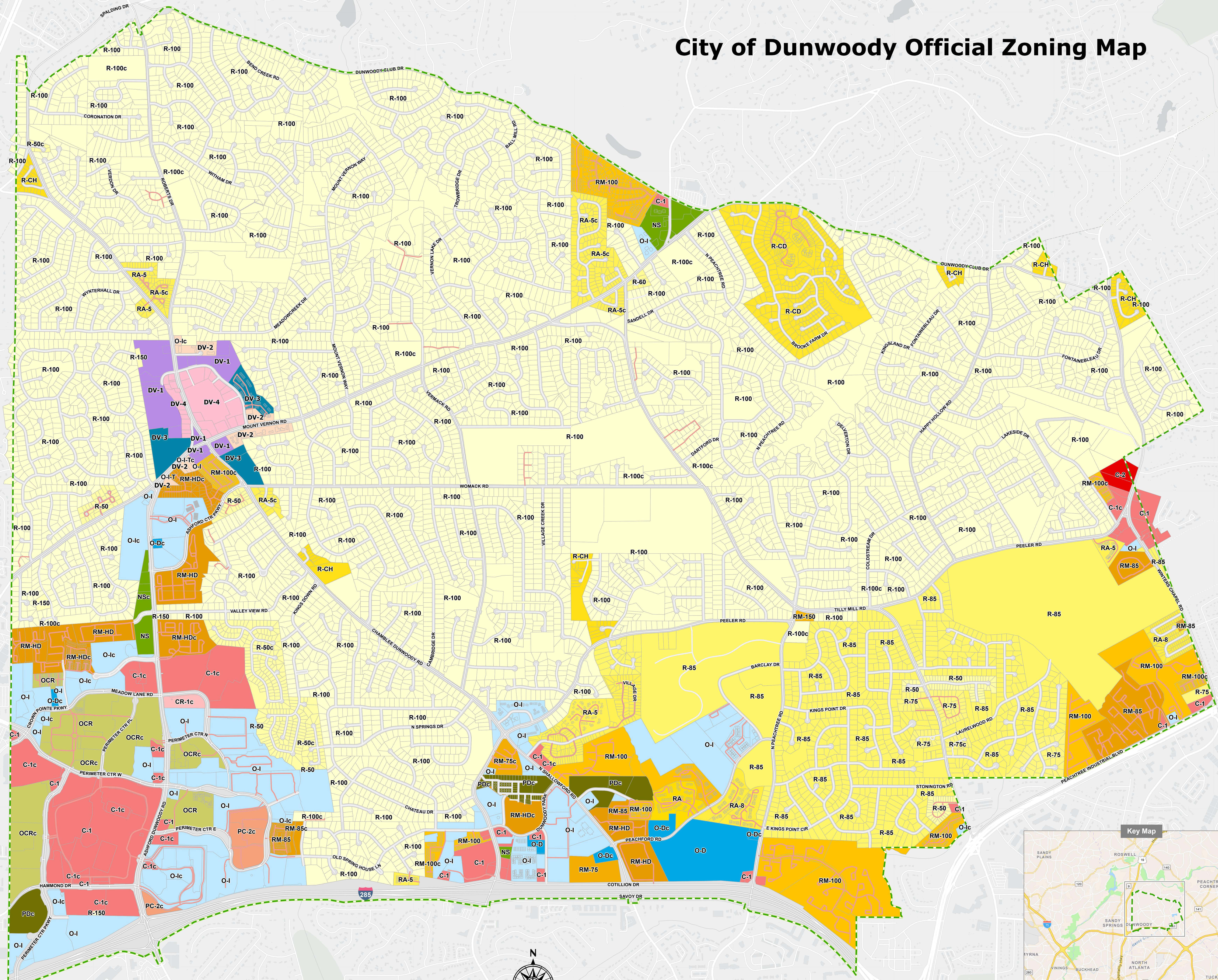
City of
Dunwoody
Georgia

City of Dunwoody
Community Development

4800 Ashford Dunwoody Road
Dunwoody, GA 30338
678-382-6800 ~ www.dunwoodyga.gov

Map Publication Date:
12/13/19

City of Dunwoody Official Zoning Map



Legend

City Limit

Parcel

Streets

Major

Local

Private

Zoning

Village Commercial (DV-1)

Village Office (DV-2)

Village Residential (DV-3)

Village Center (DV-4)

Perimeter Center (PC-1)

Perimeter Center (PC-2)

Perimeter Center (PC-3)

Perimeter Center (PC-4)

Local Commercial (C-1)

General Commercial (C-2)

Commercial-Residential Mixed-Use (CR-1)

Industrial (M)

Neighborhood Shopping (NS)

Office-Distribution (O-D)

Office-Institution (O-I)

Office-Institution-Transitional (O-I-T)

Office-Commercial Residential (OCR)

Planned Development (PD)

Single-dwelling Residential (R-100)

Single-dwelling Residential (R-150)

Single-dwelling Residential (R-50)

Single-dwelling Residential (R-60)

Single-dwelling Residential (R-75)

Single-dwelling Residential (R-85)

Single-dwelling Residential (RA-5)

Single-dwelling Residential (RA-8)

Residential Community Development (R-CD)

Single-family Cluster Residential (R-CH)

RA

Multi-dwelling Residential (RM-100)

Multi-dwelling Residential (RM-150)

Multi-dwelling Residential (RM-75)

Multi-dwelling Residential (RM-85)

Multi-dwelling Residential (RM-HD)

Denis L. Shortal,
Mayor

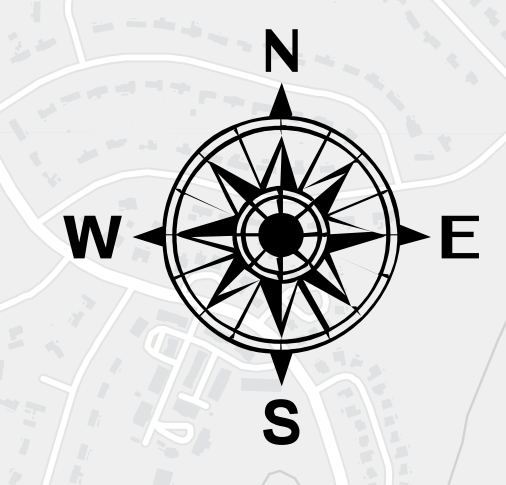
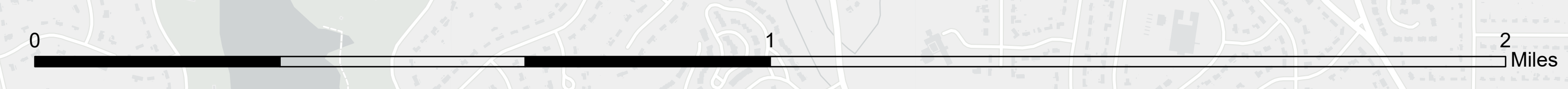
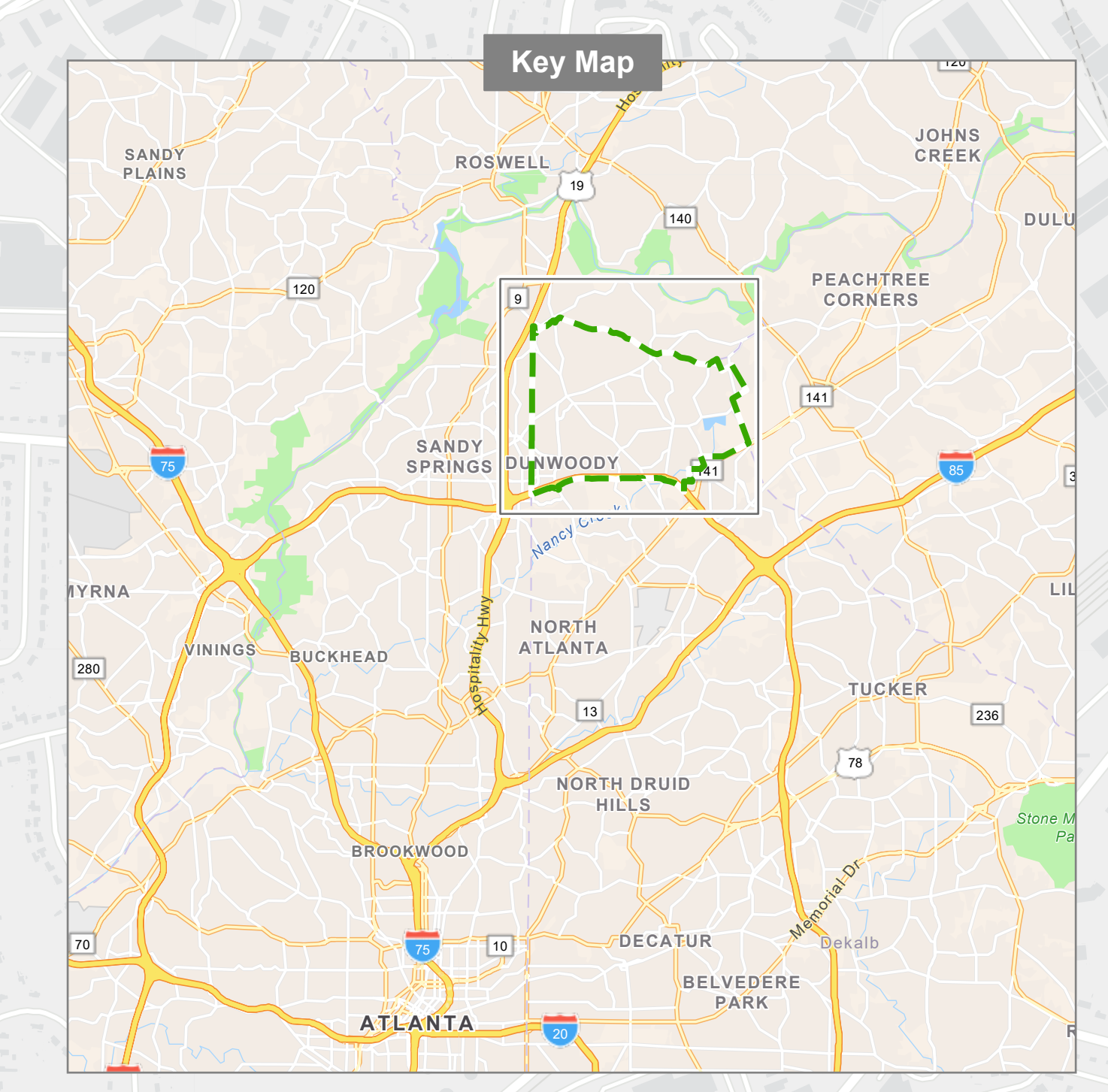
Sharon Lowery,
City Clerk

Disclaimer:
This map was compiled from records that have been filed with DeKalb County and/or the City by various parties. Neither the City nor it's GIS/Mapping consultants assume any responsibilities for the accuracy of the information contained in this map.

Zoning:
This map does not serve as the official record of zoning. City of Dunwoody Zoning Files take precedence over any errors or omissions that are observed on this map.

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City of Dunwoody GIS, December 2019



**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2015-03-06

AN ORDINANCE TO AMEND THE CITY OF DUNWOODY ZONING CLASSIFICATION AND MAP FOR ZONING CONDITIONS OF LAND LOT 345, District 18 IN CONSIDERATION OF ZONING CASE RZ-15-022 (1745 OLD SPRINGHOUSE LANE AND 4536 CHAMBLEE DUNWOODY ROAD)

WHEREAS: JH Holdings, Inc. seeks permission to rezone and change zoning conditions on property located on the Western side of Chamblee Dunwoody Road, South of Old Spring House Lane and North of Interstate 285, behind the Georgetown Shopping Center, sharing its southern boundary with the rear of the Kroger tenant space; and

WHEREAS: the Property, consisting of 3.339 acres of land, is currently zoned Local Commercial (C-1) and Office-Institution (O-I) Districts, and the applicant seeks permission to amend the site plan to rezone the Properties to Multi-Dwelling Residential District (RM-100) to allow for construction of a 40 unit, fee simple townhome development; and

WHEREAS: Notice to the public regarding said rezoning and modification to conditions of zoning has been duly published in The Dunwoody Crier, the Official News Organ of the City of Dunwoody; and

WHEREAS: A public hearing was held by the Mayor and City Council of the City of Dunwoody as required by the Zoning Procedures Act.

NOW THEREFORE, The Mayor and City Council of the City of Dunwoody hereby **ORDAINES AND APPROVES** the rezoning of these said properties from Local Commercial (C-1) and Office-Institution (O-I) Districts to Multi-Dwelling Residential (RM-100) District. The rezoning of these Properties shall consist of the following Exhibits:

Exhibit A: Consisting of the following plans:

Site plan produced by Travis Pruitt & Associates, dated March 11, 2015.
Landscape Plan produced by Travis Pruitt & Associates, dated March 11, 2015.
Building Elevations, undated.

Development of the site shall be substantially consistent with the above Exhibit, Zoning Ordinance and the following conditions:

1. Development shall substantially conform with the above Exhibit, a copy of which is attached hereto and incorporated herein by reference.
2. The development shall offer some plans that will have an elevator option.
3. Roof material, if asphalt shingles, shall be minimum 30 year Architectural quality.
4. Developer shall establish a Homeowners Association for the ownership and maintenance of all common areas and improvements.
5. Developer shall construct a 12 foot wide multi-use path across the entire frontage of the site to the satisfaction of the Public Works Director.

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2015-03-06

6. Exterior front and sides shall consist of masonry, stone or brick, except for accents and projections like dormers, gables, bay windows, and similar features. Rear shall consist of brick or stone on first floor and masonry shake siding above.
7. Provide that covenants include a provision limiting number of rental units to 10%.

The City of Dunwoody Zoning Map shall be changed to reflect said rezoning.

SO ORDAINED AND EFFECTIVE, this the 23rd day of March, 2015.

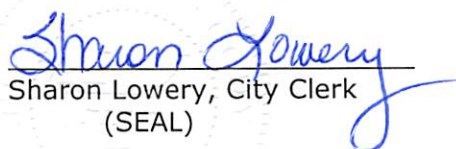
Approved by:


Michael G. Davis, Mayor

Approved as to Form and Content:

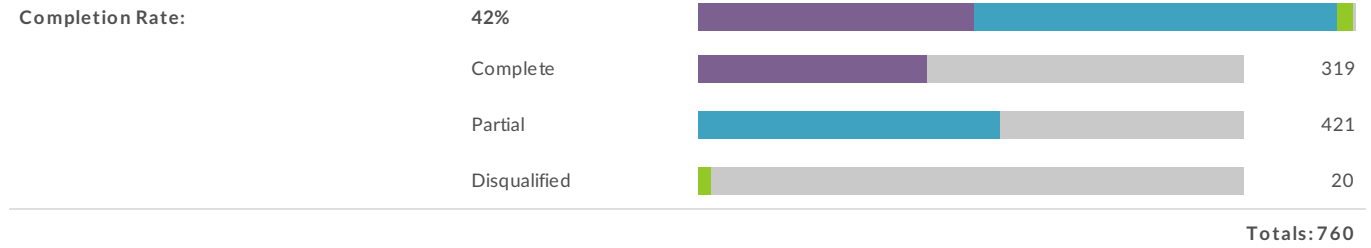

City Attorney

Attest:

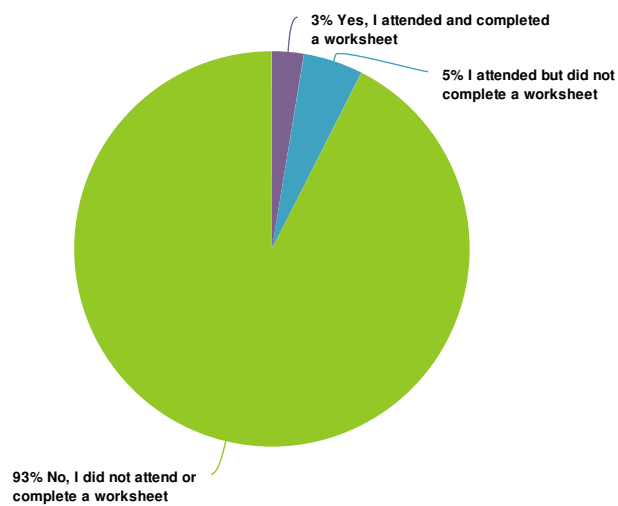

Sharon Lowery, City Clerk
(SEAL)




Report for Dunwoody Village Master Plan

Response Counts



1. Did you attend the Open House on Saturday, November 16 and complete a worksheet?



Value		Percent	Responses
Yes, I attended and completed a worksheet		2.6%	20
I attended but did not complete a worksheet		4.9%	37
No, I did not attend or complete a worksheet		92.5%	701

Totals: 758

2. What is your relationship with the City of Dunwoody?

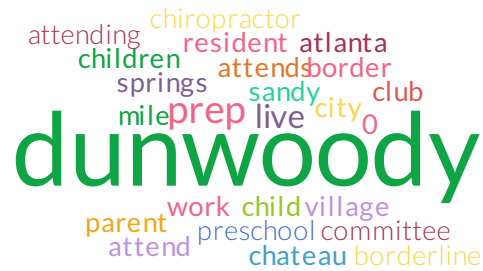
Dunwoody Resident (specify general neighborhood to the right)



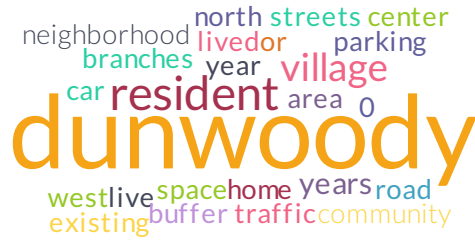
Dunwoody Business Owner (specify to the right)



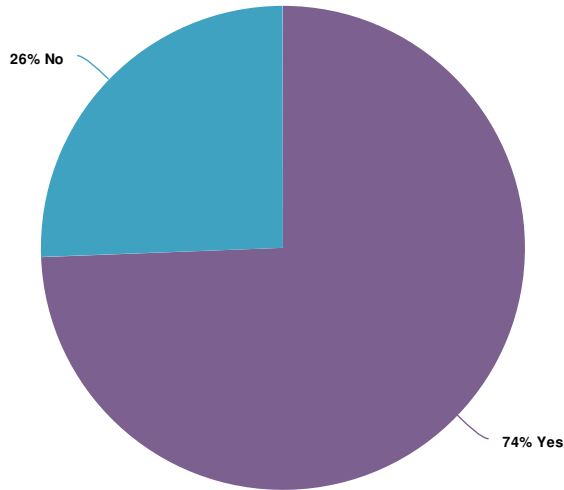
Other (specify to the right)



3. What is your relationship with the City of Dunwoody? - comments



4. Do you support the proposed zoning changes shown in the Regulating Map above? Four Dunwoody Village (DV) Districts are proposed to replace the existing overlay district: DV-1 Village Commercial DV-2 Village Office DV-3 Village Residential DV-4 Village Center

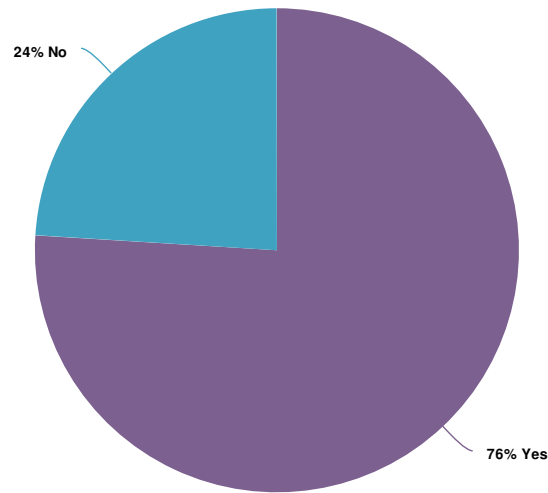


Value		Percent	Responses
Yes	<div><div></div></div>	74.4%	386
No	<div><div></div></div>	25.6%	133
Totals: 519			

5. Do you support the proposed zoning changes shown in the Regulating Map above? Four Dunwoody Village (DV) Districts are proposed to replace the existing overlay district: DV-1 Village Commercial DV-2 Village Office DV-3 Village Residential DV-4 Village Center - comments



6. Do you support the proposed zoning changes for allowed uses, as described and shown in the chart below? Each proposed DV District would include appropriate uses, crafted with consideration for current zoning and the recommendations of the Dunwoody Village Master Plan. Standards would: Establish a maximum 50,000 square foot size restriction on commercial uses in order to prevent “big box” retail stores. Continue to prohibit drive-through facilities. Require all banks, credit unions, and investment services to be located at least one-quarter mile apart. Require a special land use permit for rental housing. Prohibit most vehicular service businesses, except gas stations. Define live/work as a permitted use.

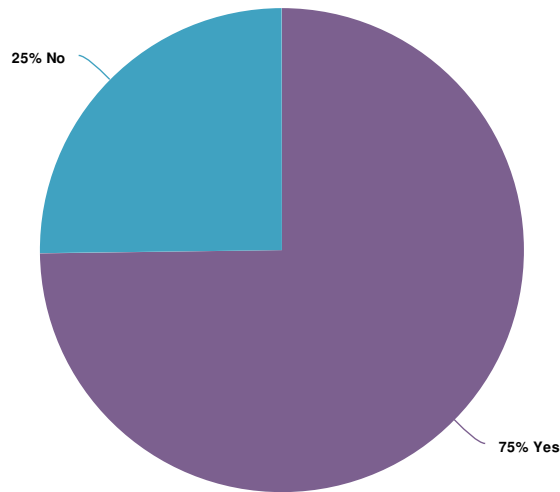


Value		Percent	Responses
Yes	<div><div></div></div>	76.0%	351
No	<div><div></div></div>	24.0%	111
Totals: 462			

7. Do you support the proposed zoning changes for allowed uses, as described and shown in the chart below? Each proposed DV District would include appropriate uses, crafted with consideration for current zoning and the recommendations of the Dunwoody Village Master Plan. Standards would: Establish a maximum 50,000 square foot size restriction on commercial uses in order to prevent “big box” retail stores. Continue to prohibit drive-through facilities. Require all banks, credit unions, and investment services to be located at least one-quarter mile apart. Require a special land use permit for rental housing. Prohibit most vehicular service businesses, except gas stations. Define live/work as a permitted use. - comments



8. Do you support the proposed Mixed-Use Requirement? Some districts require a mix of uses to ensure active streets and make sure that residential does not dominate outside the Village Residential district. DV-1 Village Commercial - No more than 75% of the total floor area in a development would be allowed to be residential DV-2 Village Office - Residential would not be allowed on the ground floor DV-3 Village Residential - No limitations DV-4 Village Center - All developments more than 15,000 square feet would have to have uses from at least two of the categories in the use table



Value		Percent	Responses
Yes	<div><div></div></div>	74.8%	324
No	<div><div></div></div>	25.2%	109
Totals:433			

9. Do you support the proposed Mixed-Use Requirement? Some districts require a mix of uses to ensure active streets and make sure that residential does not dominate outside the Village Residential district. DV-1 Village Commercial - No more than 75% of the total floor area in a development would be allowed to be residential DV-2 Village Office - Residential would not be allowed on the ground floor DV-3 Village Residential - No limitations DV-4 Village Center - All developments more than 15,000 square feet would have to have uses from at least two of the categories in the use table - comments

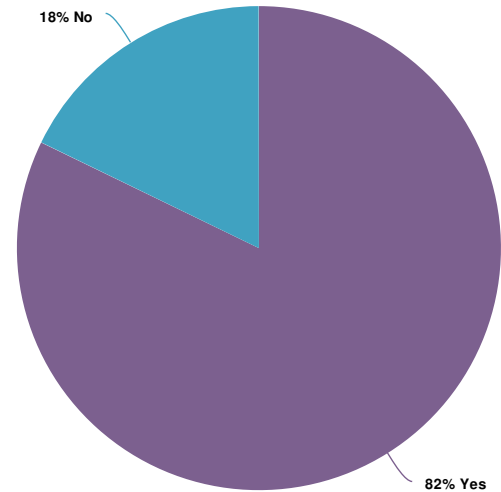
A pie chart illustrating the distribution of responses to a survey question. The chart is divided into two segments: a large purple segment representing 70% 'Yes' and a smaller teal segment representing 30% 'No'. Labels with leader lines point to each segment.

Response	Percentage
Yes	70%
No	30%

11. Do you support the proposed zoning change for Maximum Residential Density? The maximum density for residential developments in all DV districts would be 12 units per acre. - comments



12. Do you support the proposed zoning change for Building Types? Proposed regulations would define four building types listed below, along with regulations for their setbacks, ground floor height, facade design, and which uses are allowed on the ground floor versus upper floors. Shopfront buildings would be required in the locations shown on the Regulating Map, in order to ensure that there is sidewalk activity and appropriate design along those key public streets. Shopfront Building General Building Townhouse Building Civic Building



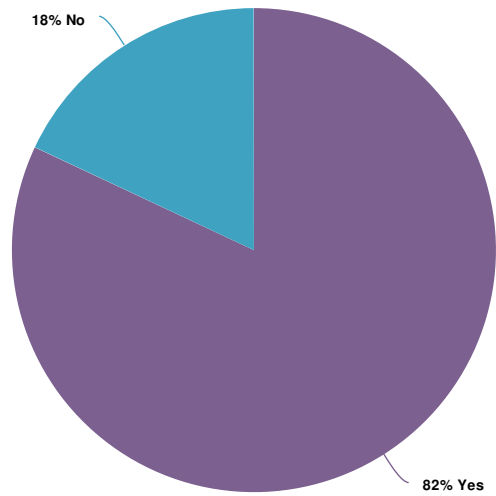
Value		Percent	Responses
Yes	<div><div></div></div>	82.2%	332
No	<div><div></div></div>	17.8%	72

Totals: 404

13. Do you support the proposed zoning change for Building Types? Proposed regulations would define four building types listed below, along with regulations for their setbacks, ground floor height, facade design, and which uses are allowed on the ground floor versus upper floors. Shopfront buildings would be required in the locations shown on the Regulating Map, in order to ensure that there is sidewalk activity and appropriate design along those key public streets. Shopfront Building General Building Townhouse Building Civic Building - comments



14. Do you support the proposed zoning changes to Setbacks? Setbacks would be minimal to allow for a more urban design. Front setbacks would be minimum setbacks or “build-to zones” to make sure that buildings can be built against the property line. Front setbacks (referred to as a “build-to zone”) - Vary based on building type but would require a certain percentage of the facade to be within 10 feet of the property line Side setbacks - 10 feet minimum in DV-3 Village Residential, otherwise none would be required Rear setbacks - 10 feet minimum in DV-4 Village Center, otherwise none would be required



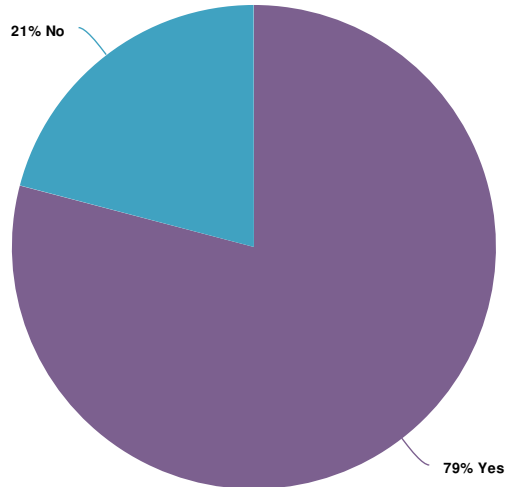
Value		Percent	Responses
Yes	<div><div></div></div>	82.0%	309
No	<div><div></div></div>	18.0%	68

Totals: 377

15. Do you support the proposed zoning changes to Setbacks? Setbacks would be minimal to allow for a more urban design. Front setbacks would be minimum setbacks or “build-to zones” to make sure that buildings can be built against the property line. Front setbacks (referred to as a “build-to zone”) - Vary based on building type but would require a certain percentage of the facade to be within 10 feet of the property line Side setbacks - 10 feet minimum in DV-3 Village Residential, otherwise none would be required Rear setbacks - 10 feet minimum in DV-4 Village Center, otherwise none would be required - comments



16. Do you support the proposed zoning changes for Variances? Variances from the zoning regulations would be referred to as major exceptions and minor exceptions. Major exceptions would need to be voted on by the Zoning Board of Appeals. Minor exceptions could be decided by the community development director and would include the following. Setbacks (up to 5 feet variance) Lot coverage (up to 5% variance) Height (up to 2 feet variance) Modifications to required sidewalks

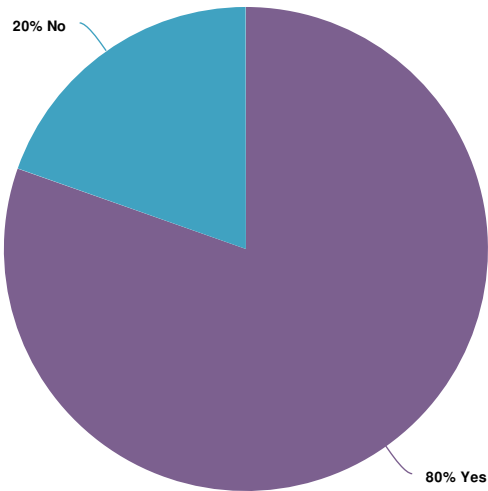


Value		Percent	Responses
Yes	<div><div></div></div>	79.1%	291
No	<div><div></div></div>	20.9%	77
Totals: 368			

17. Do you support the proposed zoning changes for Variances? Variances from the zoning regulations would be referred to as major exceptions and minor exceptions. Major exceptions would need to be voted on by the Zoning Board of Appeals. Minor exceptions could be decided by the community development director and would include the following. Setbacks (up to 5 feet variance) Lot coverage (up to 5% variance) Height (up to 2 feet variance) Modifications to required sidewalks - comments

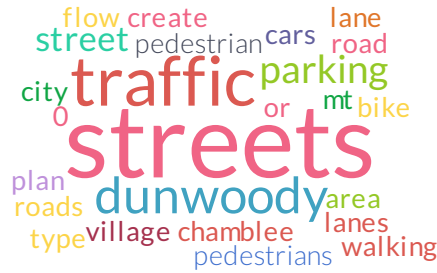


18. Do you support the proposed zoning changes for Required New Streets? As properties redevelop, new streets would be required to be built by developers in the locations shown on the Regulating Map. These would ensure that all traffic is not concentrated on existing roads that already have high traffic. It would also encourage walking and allow alternate routes. Streets would have to be designed according to one of the following templates.

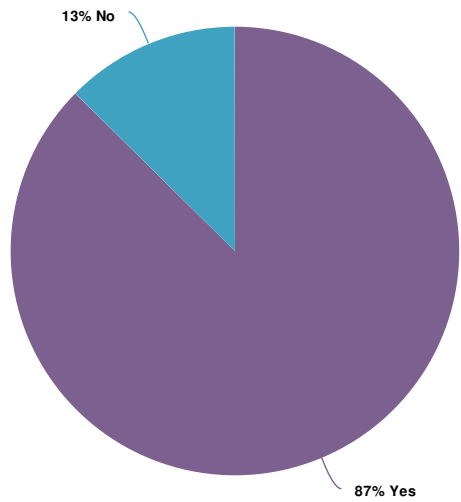


Value		Percent	Responses
Yes	<div><div></div></div>	80.4%	295
No	<div><div></div></div>	19.6%	72
Totals: 367			

19. Do you support the proposed zoning changes for Required New Streets? As properties redevelop, new streets would be required to be built by developers in the locations shown on the Regulating Map. These would ensure that all traffic is not concentrated on existing roads that already have high traffic. It would also encourage walking and allow alternate routes. Streets would have to be designed according to one of the following templates. - comments



20. Do you support the proposed zoning changes for Required Pedestrian Paths? As properties redevelop, pedestrian paths would also be required to be constructed to connect to single-family neighborhoods adjacent to the village. These would allow residents to walk to the amenities offered in new developments, but their design and location would be subject to future studies and access negotiations.

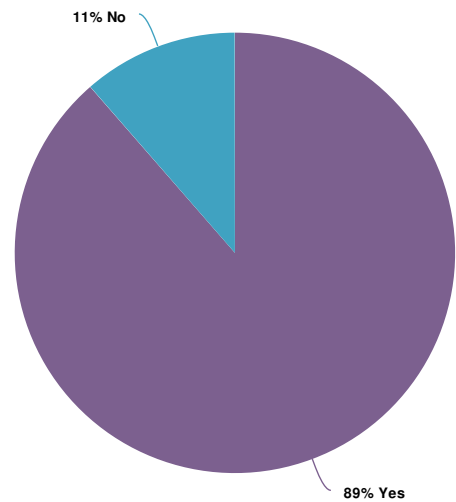


Value		Percent	Responses
Yes	<div><div></div></div>	87.4%	327
No	<div><div></div></div>	12.6%	47
Totals: 374			

21. Do you support the proposed zoning changes for Required Pedestrian Paths? As properties redevelop, pedestrian paths would also be required to be constructed to connect to single-family neighborhoods adjacent to the village. These would allow residents to walk to the amenities offered in new developments, but their design and location would be subject to future studies and access negotiations. - comments



22. Do you support the proposed zoning changes for Sidewalk Requirements? As properties redevelop, new 8- or 12-foot-wide sidewalks would be required to be constructed, with a 6-foot-wide landscaping area adjacent to the curb, and underground utilities.

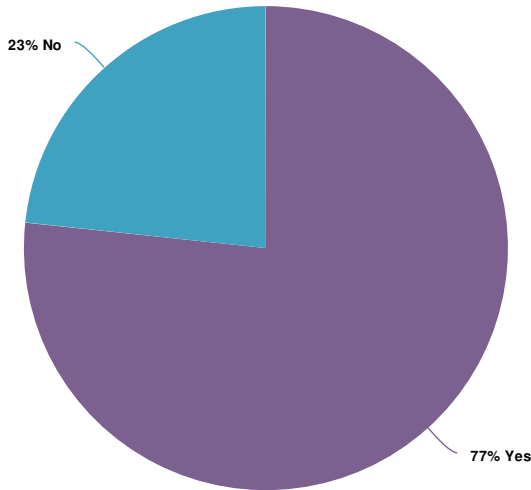


Value		Percent	Responses
Yes	<div><div></div></div>	88.6%	335
No	<div><div></div></div>	11.4%	43
Totals: 378			

23. Do you support the proposed zoning changes for Sidewalk Requirements? As properties redevelop, new 8- or 12-foot-wide sidewalks would be required to be constructed, with a 6-foot-wide landscaping area adjacent to the curb, and underground utilities. - comments



24. Do you support the proposed zoning changes for Public Parking Garages? Locations for public parking opportunities are shown on the Regulating Map. In these locations, developers would be allowed to exceed the maximum amount of parking that would otherwise be allowed, as an incentive to construct shared, public parking decks that serve the surrounding area. Parking structures would be required to be fronted by buildings at least 30 feet deep in order to provide activity along the street and hide the parking deck from view.

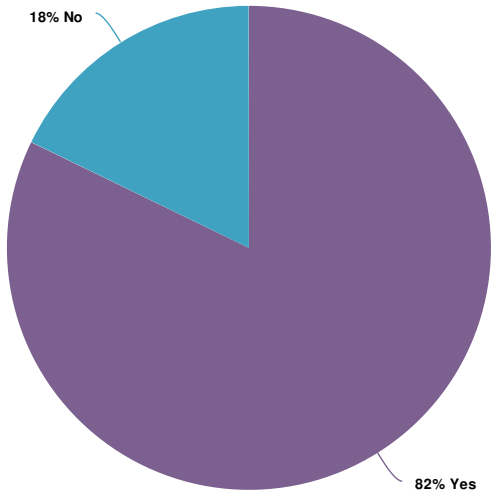


Value		Percent	Responses
Yes	<div><div></div></div>	76.7%	286
No	<div><div></div></div>	23.3%	87
Totals: 373			

25. Do you support the proposed zoning changes for Public Parking Garages? Locations for public parking opportunities are shown on the Regulating Map. In these locations, developers would be allowed to exceed the maximum amount of parking that would otherwise be allowed, as an incentive to construct shared, public parking decks that serve the surrounding area. Parking structures would be required to be fronted by buildings at least 30 feet deep in order to provide activity along the street and hide the parking deck from view. - comments



26. Do you support the proposed zoning changes for Driveways? Access from alleys would be encouraged. Only one driveway would be allowed on each primary street that a development faces. Shared driveways are required for adjacent redevelopments. Inter-parcel access is also required.

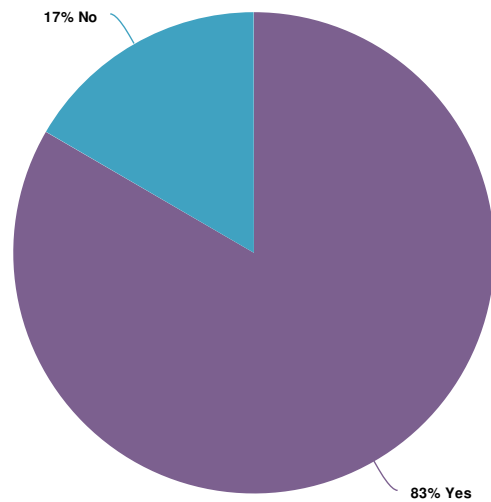


Value		Percent	Responses
Yes	<div><div></div></div>	82.2%	296
No	<div><div></div></div>	17.8%	64
Totals: 360			

27. Do you support the proposed zoning changes for Driveways? Access from alleys would be encouraged. Only one driveway would be allowed on each primary street that a development faces. Shared driveways are required for adjacent redevelopments. Inter-parcel access is also required. - comments



28. Do you support the proposed zoning changes for Architectural Standards? All buildings that are visible from a street or that face a street, open space, or main parking lot would be required to meet the following requirements. Facade material regulations would remain as they are today: Predominant facade materials must be brick, natural stone, wood, Hardie Board, and/or true stucco (cement block and vinyl siding are prohibited) Additional materials may be approved as secondary facade materials by the City. The following additional materials are allowed as accent materials: wood or painted wood; PVC/Hardie trim, aluminum and other durable metals, other materials approved by the City. Roofing materials are also restricted. Building entrances would have to be distinct and visible from the street Simple building massing would be preferred Facades would need to have a discernible base, middle, and cap All awnings would have to be translucent or metal Shutters would have to match the size of the window opening and be made of wood, metal, or fiber cement Blank walls would be prohibited Building interiors would have to transition appropriately to the sidewalk



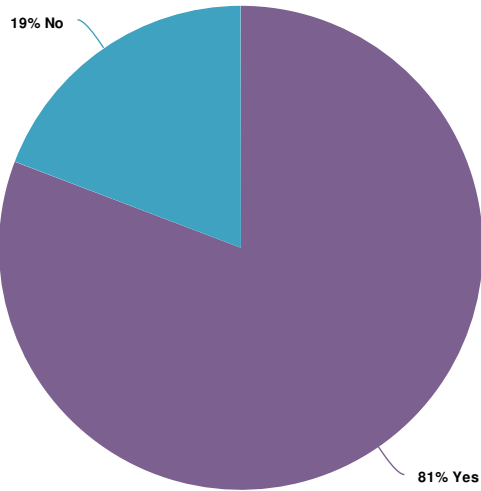
Value		Percent	Responses
Yes	<div><div></div></div>	83.4%	302
No	<div><div></div></div>	16.6%	60

Totals: 362

29. Do you support the proposed zoning changes for Architectural Standards? All buildings that are visible from a street or that face a street, open space, or main parking lot would be required to meet the following requirements. Facade material regulations would remain as they are today: Predominant facade materials must be brick, natural stone, wood, Hardie Board, and/or true stucco (cement block and vinyl siding are prohibited) Additional materials may be approved as secondary facade materials by the City. The following additional materials are allowed as accent materials: wood or painted wood; PVC/Hardie trim, aluminum and other durable metals, other materials approved by the City. Roofing materials are also restricted. Building entrances would have to be distinct and visible from the street Simple building massing would be preferred Facades would need to have a discernible base, middle, and cap All awnings would have to be translucent or metal Shutters would have to match the size of the window opening and be made of wood, metal, or fiber cement Blank walls would be prohibited Building interiors would have to transition appropriately to the sidewalk - comments



30. Do you support the proposed zoning changes for Garage Doors? Garage doors would not be allowed to face Chamblee Dunwoody Road, Mount Vernon Road, or Dunwoody Village Parkway Where they are allowed, garage doors would be required to be recessed 3 feet from the facade Garage door materials would have to be of a material consistent with the facade Carriage-style doors would be required on townhouses

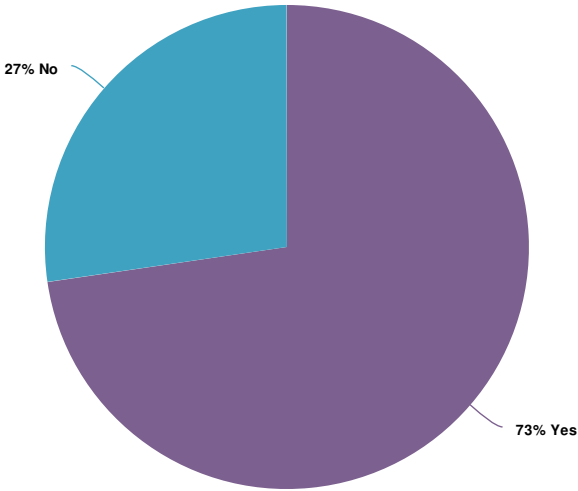


Value		Percent	Responses
Yes	<div><div></div></div>	80.8%	291
No	<div><div></div></div>	19.2%	69
Totals: 360			

31. Do you support the proposed zoning changes for Garage Doors? Garage doors would not be allowed to face Chamblee Dunwoody Road, Mount Vernon Road, or Dunwoody Village Parkway Where they are allowed, garage doors would be required to be recessed 3 feet from the facade Garage door materials would have to be of a material consistent with the facade Carriage-style doors would be required on townhouses - comments



32. Do you support the proposed zoning changes for Maximum Building Height? DV-1 Village Commercial - 3 stories or 45 feet, whichever is less (less than 100 feet from a single-family zoning district) or 4 stories or 65 feet, whichever is less (more than 100 feet from a single-family zoning district) DV-2 Village Office - 3 stories or 52 feet, whichever is less DV-3 Village Residential - 3 stories or 52 feet, whichever is less DV-4 Village Center - 5 stories or 80 feet, whichever is less

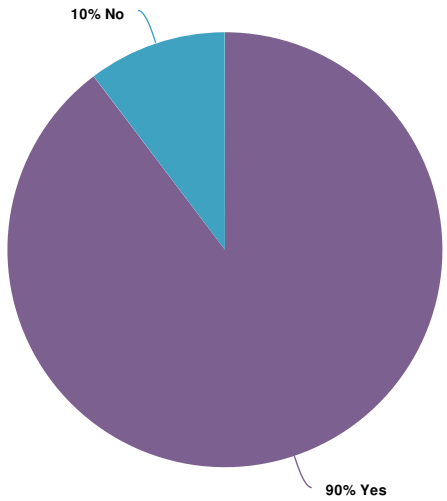


Value		Percent	Responses
Yes	<div><div></div></div>	72.7%	261
No	<div><div></div></div>	27.3%	98
Totals: 359			

33. Do you support the proposed zoning changes for Maximum Building Height? DV-1 Village Commercial - 3 stories or 45 feet, whichever is less (less than 100 feet from a single-family zoning district) or 4 stories or 65 feet, whichever is less (more than 100 feet from a single-family zoning district) DV-2 Village Office - 3 stories or 52 feet, whichever is less DV-3 Village Residential - 3 stories or 52 feet, whichever is less DV-4 Village Center - 5 stories or 80 feet, whichever is less - comments



34. Do you support the proposed zoning changes for Retaining Walls? Any retaining walls would have to be covered in brick or stone and have pilasters every 20 feet.



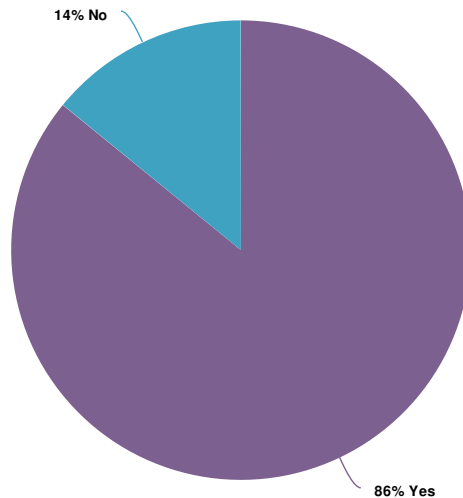
Value		Percent	Responses
Yes	<div><div></div></div>	89.7%	323
No	<div><div></div></div>	10.3%	37

Totals: 360

35. Do you support the proposed zoning changes for Retaining Walls? Any retaining walls would have to be covered in brick or stone and have pilasters every 20 feet. - comments



36. Do you support the proposed zoning changes for Open Space? The following amounts of open space would be required for all redevelopment. Design requirements would ensure that the space is high quality and not “leftover” space. Open space would have to be designed as either a plaza, green, commons, or park, as shown in the diagrams. Sites under 1 acre: minimum 5% open space Sites 1 to 10 acres: minimum 10% open space Sites over 10 acres: minimum 15% open space A large public open space would be required in the location shown on the Regulating Map.

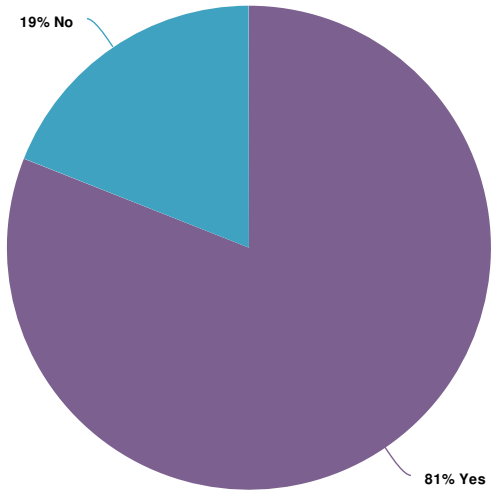


Value		Percent	Responses
Yes	<div><div></div></div>	85.9%	310
No	<div><div></div></div>	14.1%	51
Totals: 361			

37. Do you support the proposed zoning changes for Open Space? The following amounts of open space would be required for all redevelopment. Design requirements would ensure that the space is high quality and not “leftover” space. Open space would have to be designed as either a plaza, green, commons, or park, as shown in the diagrams. Sites under 1 acre: minimum 5% open space Sites 1 to 10 acres: minimum 10% open space Sites over 10 acres: minimum 15% open space A large public open space would be required in the location shown on the Regulating Map. - comments



38. Do you support the proposed zoning changes for Maximum Site Coverage? DV-4 Village Center - 95% (sites under 1 acre) or 90% (sites over 1 acre) All other DV districts - 85% (sites under 1 acre) or 80% (sites over 1 acre)



Value		Percent	Responses
Yes	<div><div></div></div>	81.0%	278
No	<div><div></div></div>	19.0%	65

Totals: 343

39. Do you support the proposed zoning changes for Maximum Site Coverage? DV-4 Village Center - 95% (sites under 1 acre) or 90% (sites over 1 acre) All other DV districts - 85% (sites under 1 acre) or 80% (sites over 1 acre) - comments



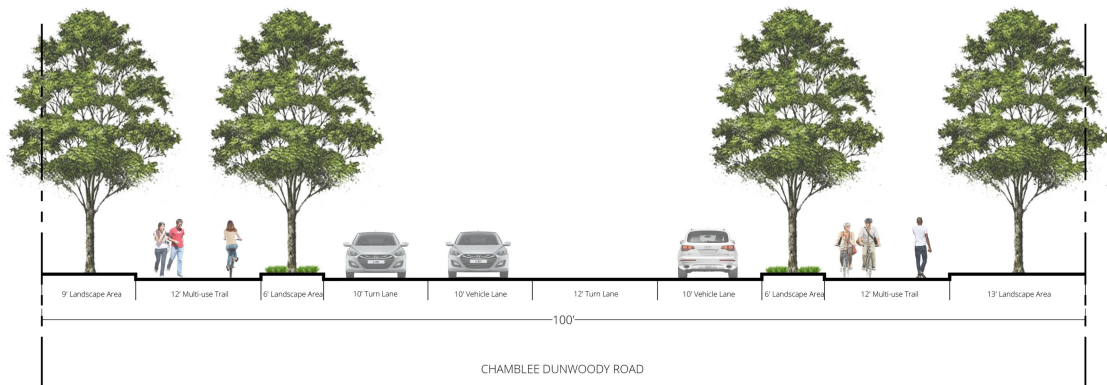
A pie chart illustrating the distribution of responses. The chart is divided into two segments: a large purple segment representing 84% labeled 'Yes' and a smaller teal segment representing 17% labeled 'No'.

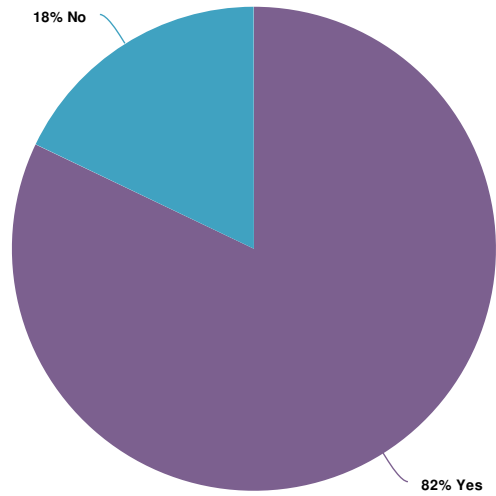
Response	Percentage
Yes	84%
No	17%

45. Do you support the proposed zoning changes for Parking Lot Buffers? Parking lots adjacent to a street would have to be screened by an evergreen hedge or 3.5 foot tall wall. - comments

pedestrian density hedges trees absolutely access buffer foot lot evergreen 1 or find lots parking wall 3.5 walls feet homes hedge driveways important activities

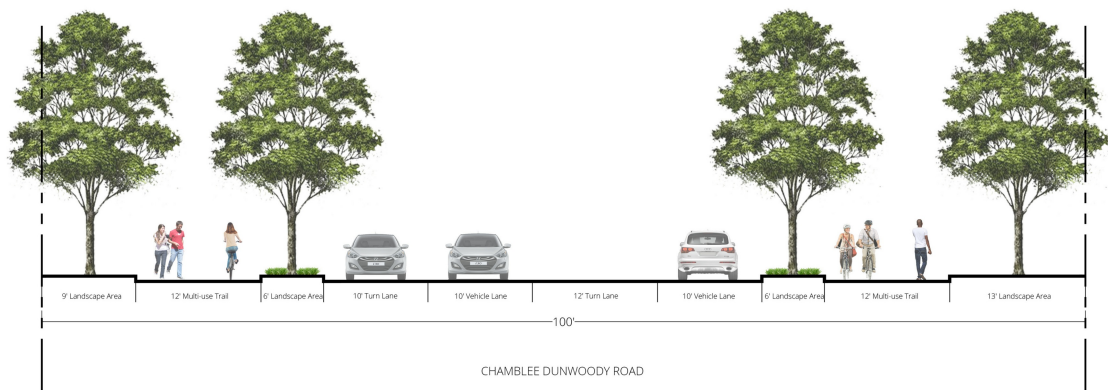
46. Do you support the proposed improvements to Chamblee Dunwoody Road?





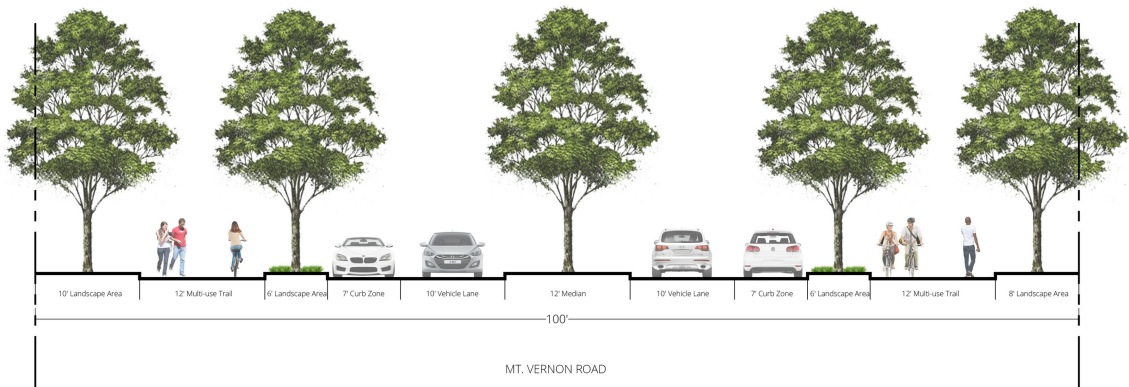
Value		Percent	Responses
Yes	<div><div></div></div>	82.1%	253
No	<div><div></div></div>	17.9%	55
Totals: 308			

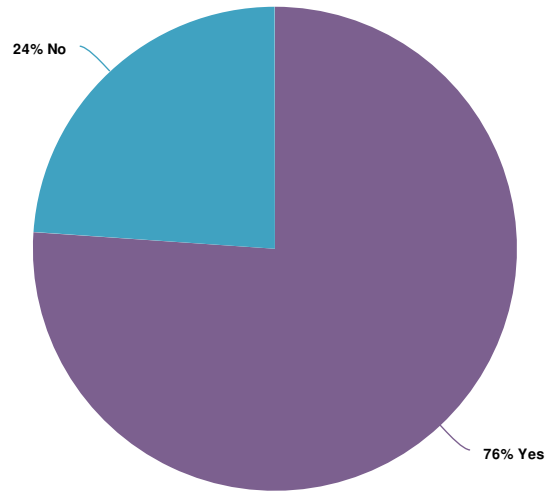
47. Do you support the proposed improvements to Chamblee Dunwoody Road? - comments





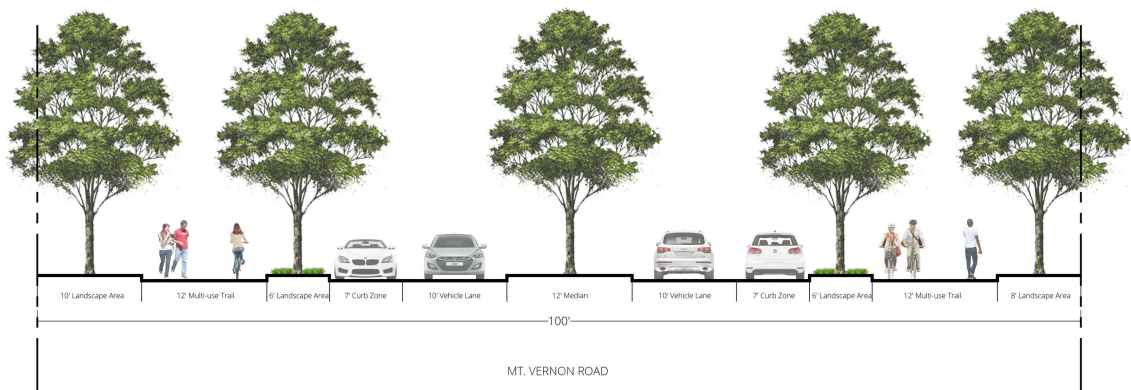
48. Do you support the proposed improvements to Mount Vernon Road?





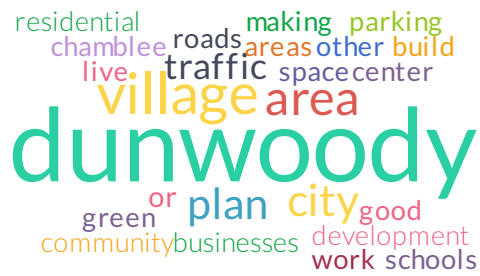
Value		Percent	Responses
Yes	<div><div></div></div>	76.1%	235
No	<div><div></div></div>	23.9%	74
Totals: 309			

49. Do you support the proposed improvements to Mount Vernon Road? - comments





50. Do you have any other additional comments about the Dunwoody Village or any other aspects of the Master Plan or proposed zoning regulations?



Dunwoody Village address	Current zoning designation	New zoning designation	Previous Zoning change	Purpose	Date of zoning change	Link to folder	Conditions
5465 Chamblee Dunwoody Rd.	C-1	DV-4	SLUP	Special Land Use Permit to maximum parking standard, reduce the required build to zone requirement, and reduce the pedestrian buffer zones	Approved with conditions March 13, 2017 SLUP 17-02 (*17-021)	Special Land Use Permits\2017 SLUPs\02 February\SLUP 17-021\Conditions of Zoning	For a Chevron 1. to exceed the maximum number of allowed parking spaces to 36 spaces 2. to reduce pedestrian zone along the abutting sides and rear of the building 3. to reduce the pedestrian "build-to-zone" requirement
5419 Chamblee Dunwoody Rd.	C-1	DV-1	SLUP	for sidewalk width, floor to floor height of 14 feet, and to construct non-90 degree corners; and parking increase	12-Dec-16	Conditions of zoning	1. for sidewalk width 2. floor to floor height of 14 feet 3. to construct non-90 degree corners 4. parking increases, etc.
5490 Chamblee Dunwoody Rd.	C-1c	DV-1	SLUP	Bank	Approved August 4, 2016 according to submitted site plan. Approved with conditions September 26, 2016	ZBA 16-081 a, b, c	For a bank 1. SLUP allows for an increase in parking. 2. install bicycle parking 3. add new green space 4. landscaping 5. install 6-ft wide sidewalk addition with bike lane and streetscape furniture and lighting improvements
1660 Mount Vernon Rd.	CR-1c	DV-4	Rezoning SLUP	Rezoning from O-I to CR-1 SLUP to the DVO to increase the maximum parking requirement Redevelop to a small-scale shopping and restaurant development	Approved with conditions August 8, 2016	RZ 16-081 SLUP 16-081	1. comply with the site plan. 2. The following uses shall be prohibited: a. Shelter, homeless b. Vehicle storage and towing c. Vehicle or trailer sales and rental d. Taxi stand and taxi dispatching office e. Transitional housing facilities f. Ambulance service g. Place of worship h. Essential utility facility i. Telecommunication tower j. Telecommunication antennae, co-located k. Funeral home or mortuary l. Laundromat, self-service m. Personal care home, family group or community Help preserve 9 maple trees along Dunwoody Village Parkway Parking lot perimeter shall be required to meet the perimeter landscaping requirements of Sec. 27-229. The owner shall provide paved ped access

1536 Dunwoody Village Pkwy.	RM-100c	DV-3C	<p>variances for townhome development</p> <p>Variance for state waters stream buffer yard</p>	<p>Applicant requested the following variances for the construction of a 79-unit townhome development:</p> <p>a.) Variance from Sec. 27-142 to reduce the rear to rear building separation from 60' to 30'</p> <p>b.) Variance from Sec. 27-142 to reduce the rear to side building separation from 40' to 35'</p> <p>c.) Variance from Sec. 27-208 to reduce the minimum driveway length from 20' to 18' for front entry units and from 20' to 10' for rear entry units.</p> <p>d.) Variance from Sec. 16-78 to encroach the City's 75-foot stream buffer</p>	<p>On January 7, 2016:</p> <p>a.) approved w/ 1 condition</p> <p>b.) approved w/ 1 condition</p> <p>c.) approved to reduce length of all driveways to 18'</p> <p>d.) approved w/ 5 conditions</p> <p>ZBA approved with conditions July 22, 2009</p>	<p>RZ 16-021; SLUP 16-021</p> <p>ZBA 09-061</p>	<p>SLUP 16-021 conditions are that a requirement of a minimum of a 6 foot wide sidewalk be required which is a reduction of the required 12 foot sidewalk in the DVOD. Additionally, the developer shall relocate the bench and trash can on Developer's side of the property outside the sidewalk and any additional benches and street furniture required by the Overlay ordinance shall also be on the Developer's property outside the sidewalk.</p> <p>RZ 16-021 townhomes</p> <p>Development shall be consistent with all exhibits of the site plan. Other conditions:</p> <p>easement for pedestrian passage</p> <p>minimum 2 foot offset</p> <p>different elevations required</p> <p>sidewalk and internal circulation drives distance requirement</p> <p>sidewalk width</p> <p>restriction on rentals to a maximum of 8 units</p> <p>elevators offered as an option for all non-Master on Main units</p> <p>elevator install in a model unit</p> <p>requirements for asphalt shingle roofing</p> <p>fencing requirements</p> <p>townhomes only</p> <p>10% master on main</p> <p>maximum of 6 steps</p> <p>all grass areas should be sodded</p> <p>4-sided brick townhomes</p> <p>installation of benches</p> <p>landscape buffer</p> <p>staff has to review typical planting detail</p> <p>developer and townhome association shall be required to maintain both side of the rear fence</p>
1441 Dunwoody Village Pkwy.	C-1 / O-I	DV-4	SLUP	<p>For the building of a law office:</p> <p>Applicant requested the requirement for a building to come into full compliance under Sec. 27-97, be waived to allow for interior building renovations in the Dunwoody Village Overlay (DVO) District, by the approval of a Special Land Use Permit.</p>	<p>27-Apr-15</p>	<p>Special Land Use Permits\2015\04-April\SLUP 15-041\GIS</p>	<p>For the building of a law office:</p> <p>To waive the requirements of the DVOD with the following conditions:</p> <ol style="list-style-type: none"> 1. The scope of work shall not exceed \$121,699.13. 2. The applicant shall submit invoices to the City prior to obtaining a permit. 3. The portions of the code to be waived apply to the current scope of work only. 4. Signs, streetscape and pedestrian amenities, public areas, service areas, and retaining walls, and other requirement of section 27-97 that can be accomplished without creating site non-conformities and that do not require the relocation of buildings or the parking lot. 5. The owners makes the building more accessible to the street and sidewalk on Dunwoody Village Parkway.

1725 Mount Vernon Rd.	O-Ic	DV-2	Rezoning	Applicant requested rezoning to remove condition on previous site plan to allow 40 foot front yard setback	Approved October 29, 2012 with conditions	file:///dunfiles/hr1/dunwoodyshare/Community%20Development/Planning%20and%20Zoning/Rezonings/2012/October/RZ%2012-102/Final%20Conditions/RZ%2012-102.pdf	For a bank: To change the conditions of zoning by removing a required condition of compliance with the 1977 site plan and instead complying with the conditions that the project must comply with the site plan and that no land uses are to be enabled or restricted that alters DeKalb County's previously approved land uses.
5540 Chamblee Dunwoody Rd.	C-1	DV-1	Variances	Variances for Chase Bank	ZBA 11-073 approved with conditions July 7,	Chase Bank variances	For a bank: Sidewalk and pedestrian crosswalks, parking, lot width; lot area; setbacks, and yard requirements changes needed.
Everything below was rezoned/granted before Dunwoody adopted cityhood							
5506 Chamblee Dunwoody Rd.	C-1c	DV-1	Rezoning	Rezoning from R-150 to C-1 Rezoning for amendments in order to build a bank.	Approved with conditions 02/23/1988 (see CZ 77105 for alteration of conditions 01/09/1990, 11/27/1990, and 03/26/1991) CZ 08 14807 May 2008	Conditions from CZ 08 14807	2008 Bank of North Georgia modify conditions of zoning for (CZ-77105) and (CZ-88036) to allow for a bank. 1. Approval with conditions to Provide inter parcel access to private drive 2. No access curb cut from Chamblee Dunwoody 3. Variances to reduce setbacks, and parking to be considered by the ZBA. 4. Drainage improvements shall be subject to approval of the Development Division of Public Works.
1497 Mount Vernon Rd.	O-I-T	DV-2	Rezoning from R-100 to O-Ic	Rezone to OIT for a 2-story office	approved with conditions September 25, 2001 Z 01 038	Rezonings\DeKalb County (Pre-2009)\2001\Z 01 038\Conditions of zoning	For a 2-story, 16,000 sq. ft. office building Approval of OIT with conditions: 1. A deceleration lane is provided as indicated on the site plan if approved by Public Works. 2. 64 parking spaces if the square footage shown is to be approved. 3. Landscape plan. 4. Right-turn-in/right-turn-out only if approved by Public Works. 5. Buffer variances to be taken to the Board of Appeals

5550 Chamblee Dunwoody Rd.	C-1	DV-1	Rezoning from R-150 to C-1 (1985), request for alteration of conditions	initially conditioned to C-1, then requested an alteration of conditions to allow for an increase of 8,000 sq. feet for new grocery store, then requested an alteration of conditions to modify buffers, parking, and ROW provisions, then requested alteration of conditions	Approved with conditions May 28, 1985 (first rezoning), approved with conditions December 14, 1993, approved for alteration of conditions July 26, 1994, approved September 29, 1999 (request for alteration of conditions)	Rezoning\DeKalb County	For a Fresh Market: an alteration of conditions to allow for an increase of 8,000 sq. feet for new grocery store, then requested an alteration of conditions to modify buffers, parking, and ROW provisions, then requested alteration of conditions
1259 Dunwoody Village Pkwy.	C-1	DV-1	Rezoning	alteration of conditions to modify buffers, parking, and right of way provisions.	Approved July 26, 1994	Rezoning\DeKalb County (Pre-2009)\1985\CZ 85 083\Conditions of zoning	alteration of conditions to modify buffers, parking, and right of way provisions. CZ-92005 development in Shops of Dunwoody 1. Williamsburg architecture. 2. Height maximum of 1 1/2 story. 3. Sign ordinance to include no neon or internally lit signs. 4. Access and road improvements as may be required by Public Works. CZ-77105 1. 150'-200' buffer adjoining Hidden Branches per site plan. 10' buffer variance at southernmost drive per site plan. 2. One point of access on Chamblee Dunwoody Rd, one point on Nandina Ln, and connector to Dunwoody Village Pkwy per site plan. Access to lots A, B, and C via internal service roads. 3. A 6' screening fence on west property line. 4. Williamsburg architecture. 5. No drainage retention in undisturbed buffer.
5592 Chamblee Dunwoody Rd.	C-1	DV-1	Rezoning from R-150-C-1, applicant requested an alteration of conditions	alteration of conditions to modify buffers, parking, and right of way provisions.	Approved May 28, 1985 (rezoning), approved July 26, 1994 (alteration of conditions), approved December 14, 1993 (additional alteration of conditions CZ 85 016)	Rezoning\DeKalb County (Pre-2009)\1985\CZ 85 083\Conditions of zoning	alteration of conditions to modify buffers, parking, and right of way provisions. CZ-92005 development in Shops of Dunwoody 1. Williamsburg architecture. 2. Height maximum of 1 1/2 story. 3. Sign ordinance to include no neon or internally lit signs. 4. Access and road improvements as may be required by Public Works. CZ-77105 1. 150'-200' buffer adjoining Hidden Branches per site plan. 10' buffer variance at southernmost drive per site plan. 2. One point of access on Chamblee Dunwoody Rd, one point on Nandina Ln, and connector to Dunwoody Village Pkwy per site plan. Access to lots A, B, and C via internal service roads. 3. A 6' screening fence on west property line. 4. Williamsburg architecture. 5. No drainage retention in undisturbed buffer. alteration of conditions to modify buffers, parking, and right of way provisions.

1259 Dunwoody Village Pkwy.	C-1c	DV-1	Rezoning	alteration of conditions to modify buffers, parking, and right of way provisions. Applicant requested alteration of conditions	Approved with conditions December 14, 1993 Approved with conditions July 26, 1994 Approved alteration of conditions by DeKalb Board of Commissioners September 29, 1999		For Publix grocery store. Requested to alter conditions to increase to 91,000 sq. feet (additional 8000 sq. feet) using roadway alterations.
5500 Chamblee Dunwoody Rd.	C-1c	DV-1	Rezoning	Applicant requested alteration of conditions	Approved with conditions March 26, 1991 Approved November 24, 1992 Approved October 12, 1993 Approved July 26, 1994 CZ 77 105 Approved with conditions December 14, 1993	CZ 88036 Conditions	This property has had many changes over the decades. Most recently altered for 2 restaurants in 1993. Conditions for Boston Market restaurant include modifying access to parcels to discourage direct access from Chamblee Dunwoody Rd. Also, conditions were altered to reduce the intensity of the proposed development to be more compatible with the land area.
5528 Chamblee Dunwoody Rd.	C-1	DV-4	Rezoning from R-150 to C-1	rezoning for offices/retail		Z 92 005	January 1992 1) Designed to a Williamsburg Architecture; 2) Height a maximum of 1.5 stories: 3) Sign ordinance to include no neon internally lit signs 4) Access and road improvements as may be required by Public Works.

1719 Mount Vernon Rd.	O-I	DV-2	RZ from R-100 to O-I	approved w/ conditions 6/8/77, administrative alteration 4/28/80	June 1977, April 1980	CZ 77 062 (no digital folder)	In 1977, rezoning from R-100 to O-I took place with 20 conditions for an office park development along Mount Vernon Rd. Conditions included: A fence (removed in 1980) 50 foot buffer strip low intensity lighting Williamsburg design 2nd floor window needs approval from closest property owner No exposed concrete block Drainage facilities in line with DeKalb Co. requirements. No parking or motor vehicle access of any kind shall be located to the South of buildings. Uses limited to business and professional offices redevelopment shall adhere to site plan height limited to two stories maximum of 3 curb cuts ROW of 50' to center line will be deeded to County, pavement widened to 24' from center line and sidewalk constructed. new buildings will be Williamsburg style parking to be front and side maximum floor area ration to be .25 applicant to compensate residential owner to east for any loss based on MAI appraisal before and after rezoning. pedestrian easement is provided (removed in 1980) 10% variance not be included in the application (can be accomplished administratively) 1980: approval for alteration of conditions to remove a fence requirement as well as a pedestrian easement being provide along west property line to nearby Dunwoody Elementary
1637 Mount Vernon Rd.	C-1	DV-1	RZ from R-100 to C-1	Approved C-1 with conditions recommended by staff	1979	CZ 79 041	Rezoning from R-100 to C-1. Williamsburg Architecture and prohibited use list enclosed (drive-in window for restaurant is prohibited)
1555 Mount Vernon Rd.	O-I	DV-2	Rezoning from R-100 to O-I	conditions of O-I	approved as conditioned July 26, 1977	CZ 77 099	From residential to O-I for building a Crest Realty Company office. 30' buffer variance on west line. 1 story building with daylight basement. Parking in rear. Office use of existing structure, addition to meet O-I standards. Five foot porch to be added as per site plan. 10' lot width variance. Front elevation to be of Williamsburg design. Visitor parking in minimum front yard.