



4800 Ashford Dunwoody Road  
Dunwoody, GA 30338  
Phone: (678) 382-6800  
dunwoodyga.gov

**MEMORANDUM**

To: City Council

From: Madalyn Smith, Senior Planner

Date: April 10, 2023

Subject: SLUP 22-03 – 1822 Mount Vernon Road, Parcel ID#18 367 01 048

**REQUEST**

The property owners, Anna Khoklan and Roman Khoklan, request a Special Land Use Permit to allow a 7-resident personal care home.

**PLANNING COMMISSION 2.14.2023**

Planning Commission held a public hearing regarding the subject case on February 14, 2023. The Planning Commission extended the public comment time period twice, in order to accommodate the attendees who wished to speak. There were two commenters in support of the application, and the remainder were in opposition. The major concerns that were communicated were concerns around the size of the property, the number of requested parking spaces, traffic, stormwater, lot coverage, and the size of the proposed home.

Based on feedback from the public comments and Planning Commission, the applicant’s representative noted that they would withdraw the request for the concurrent variance.

Members of the Planning Commission also presented questions about the stormwater, fencing, vegetative screening, and size of the property. Several Planning Commissioners suggested deferral of the case to a future meeting to receive additional information from the applicant.

Ultimately, Commissioner Brown motioned to approve the Special Land Use Permit, amending condition 8 to read as follows: “Within 1 year of approval of the subject Special Land Use Permit, if a home is not under construction, the walls and foundation of the previously demolished home must be removed and the site permanently stabilized.”, Commissioner Cameron seconded, motion passed 4-3. Commissioner Brown then motioned to deny the requested concurrent variance, Jackie Edmundson seconded, motion passed 7-0.

**UPDATED APPLICATION MATERIALS 3.29.2023**

Following the March 13, 2023 City Council meeting, the applicant submitted the following materials:

- *Updated First Floor Plan:* This floor plan shows a reduced house and deck footprint.
- *Site Development Plans:* The site plan demonstrates a reduction in lot coverage; the previous proposal showed 43.3% lot coverage but the current proposal shows 38.5% lot coverage.
- *Hydrology Study:* Lastly, the applicant submitted a hydrology study.
- *Supplemental Letter*
- *Constitutional Objections Letter*

**UPDATED APPLICATION MATERIALS 3.3.2023**

In response to comments from the Planning Commission, the applicant submitted the following materials:

- *Concurrent Variance Withdraw Letter:* The applicant withdrew the request for relief from the parking requirements of Sec. 27-202.
- *Survey:* The property owner submitted the survey, confirming the lot area as .47 acres.
- *Site Development Plans:* Lastly, the applicant submitted an updated plan set.

**BACKGROUND & PROPOSED DEVELOPMENT**



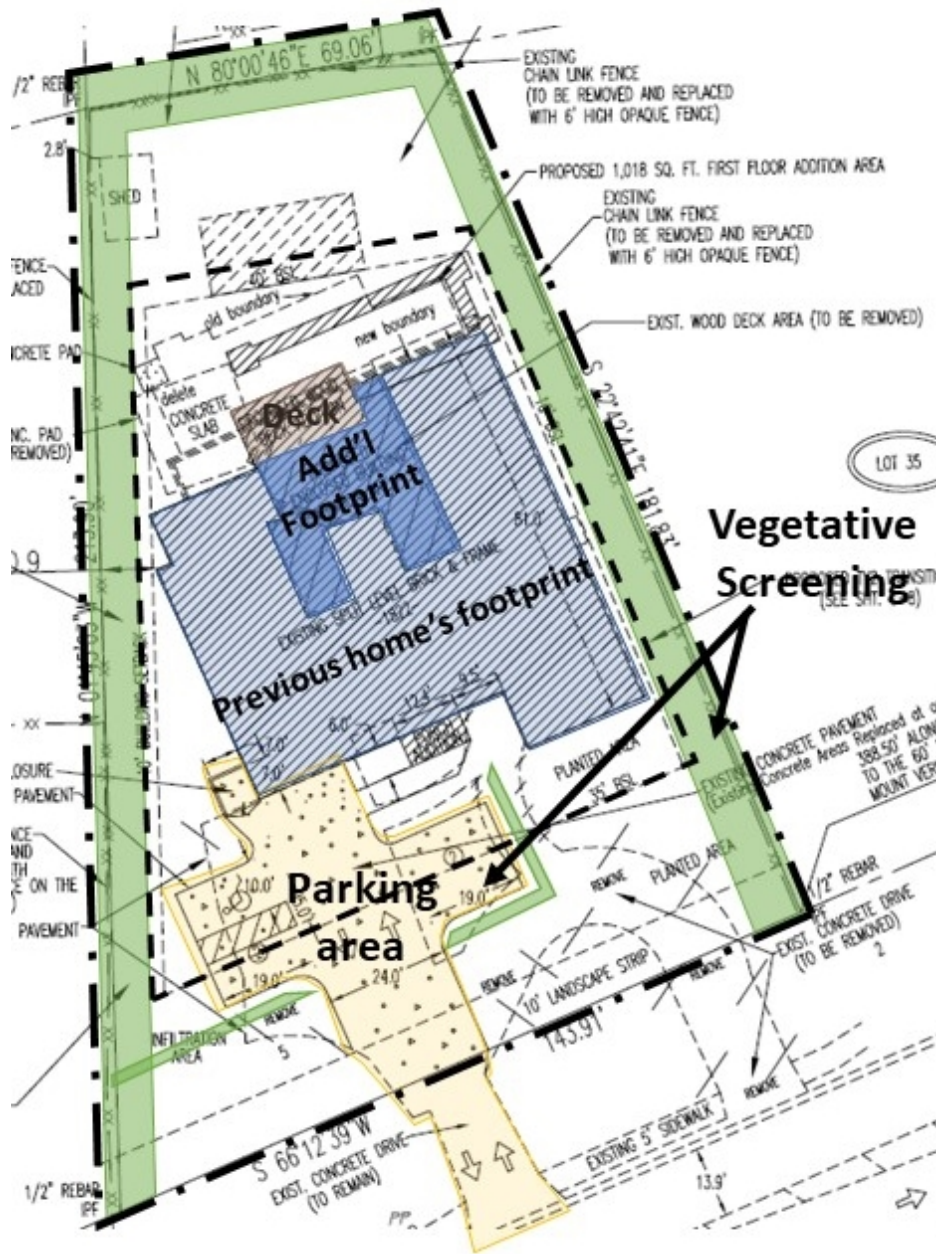
The subject property is located on Mount Vernon Road, approximately 1800 feet east of the intersection of Dunwoody Village Parkway. The .47 acre property was formerly a 5,000 SF residential home that was demolished in 2022 with only remnants of the foundation and walls remaining. It is zoned R-100 (Single-dwelling Residential-100) and abuts single-dwelling residences on all sides.

The applicant, who would also be the operator of the proposed establishment and reside at the location, seeks a Special Land Use Permit to allow the operation of a personal care home, providing services to a maximum of seven (7) senior residents.

An applicant-initiated meeting was held on October 8<sup>th</sup>, 2022. Twenty-three (23) community members were present.

Currently, there is no existing structure on the site, aside from the foundation and a wall from the previous structure. The applicant proposes a new 6,800 SF residential structure, within a similar footprint to the previous home.

The driveway will be significantly altered from the current horseshoe configuration. The eastern driveway entrance will be completely removed. Removing curb cuts on an arterial road such as Mount Vernon will support the transportation goals of the City and increase safety for all road users. The proposed driveway contains four parking spaces, with adequate room to accommodate emergency vehicles. The only formally striped space will be the ADA parking space and the proposed hedges around the parking pad will provide screening of the parking pad. These limitations will aid in maintaining the residential character of the home.



Site plan, color coded and labeled for clarification



Front elevation of the proposed home

The exterior of the building is designed to be residential and will meet all proper residential setbacks and height limitations. Staff recommends that 80% of front façade materials be limited to glass, brick, stone, and stucco to ensure a high-quality appearance with traditionally residential façade materials.

The interior of the home is also designed to be residential, with the necessary accommodations for meeting ADA standards and providing administrative space. The kitchen will be residential size and will not require a grease trap. There is no need for any dumpsters; the trash will be handled with typical size residential bins.

**SURROUNDING LAND ANALYSIS**

The table below summarizes all of the nearby zoning districts and land uses:

Direction	Zoning	Future Land Use	Current Land Use
N	R-100	Single-dwelling residential	Single-dwelling residential
S	R-100	Single-dwelling residential	Single-dwelling residential
E	R-100	Single-dwelling residential	Single-dwelling residential
W	R-100	Single-dwelling residential	Single-dwelling residential

**SPECIAL LAND USE PERMIT REVIEW AND APPROVAL CRITERIA**

Chapter 27, Section 27-359 identifies criteria for evaluating applications for special land use permits. No application for special land use permit shall be granted by the City Council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application:

- (1) Whether the proposed use is consistent with the policies of the comprehensive plan;
- (2) Whether the proposed use complies with the requirements of this zoning ordinance;
- (3) Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district;
- (4) Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:
  - a. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated by the proposed use;
  - b. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;
  - c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;
  - d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;
  - e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and
  - f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.
- (5) Whether public services, public facilities and utilities—including motorized and nonmotorized transportation facilities—are adequate to serve the proposed use;
- (6) Whether adequate means of ingress and egress are proposed, with particular reference to nonmotorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access;
- (7) Whether adequate provision has been made for refuse and service areas; and
- (8) Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.

The personal care home is proposed on a property that is zoned R-100; a personal care home is allowed within the R-100 zoning district, provided a Special Land Use Permit is approved. Special review and consideration of the permit ensures that adequate conditions and considerations have been made to ensure the maintenance of the residential character and to prevent an institutional atmosphere.

Within the Suburban Neighborhood Character Area, the Comprehensive Plan (pg. 23) lists “aging in place appropriate residential” as a suitable use. The Community Policies provide “direction to local government officials for making decisions consistent with achieving the Community Goals” (pg. 14). The policies listed for making aging in place achievable states that Dunwoody should “Encourage the integration of senior appropriate housing, both active adult and assisted living, into the fabric of the community, thus offering multi-generational or lifelong housing opportunities,” (pg. 17). The integration of a residential care home for senior citizens into a residential area is a step towards achieving a community where aging in place is possible.

The proposed new home is subject to all the requirements of the Zoning Ordinance. The property will comply with all standards of the Zoning Ordinance and will meet the applicable requirements for setbacks and height. Additionally, the subject site is not historical and nor is staff aware of any archaeological resources.

The proposed site plan shows 38.5% lot coverage; single-family residential homes are permitted 35% lot coverage. The home is situated on the property without the need for any setback variances. Thus, the staff finds that the .47 acre site is adequately sized to accommodate this use.

The proposed personal care home will serve senior citizens who require assistance for their daily life. The provision of this care will not generate increased noise, smoke, odor, dust or vibration. In terms of hours of operation, the residents will receive around the clock care as needed. Visitors are allowed by appointment only and typically limited to one appointment a day, per the applicant.

Staff does not anticipate adverse impacts upon any adjoining land use; the purpose of the personal care home is to provide senior citizens with a residential home that provides them with additional support for daily living. Examples of this support include providing residents with meals, assistance with grooming and dressing, and transportation to appointments. The scale of the operation is residential; there is no need for industrial size kitchens, and thus no grease trap, or a dumpster (the standard residential bins are used). The proposed use is low-impact and will not adversely affect adjacent property.

The nature of this personal care home does not require extensive staff. Per the applicant, typically one additional staff member is present onsite. Visitors are limited. The operations of this care home will not produce adverse impacts due to traffic volume. The ingress and egress of this site will be served by a standard driveway entrance/exit, the same as other residential homes along Mount Vernon Road. As part of the new home construction, the applicant is required to remove the second entrance to the property that previously existed. This is consistent with Public Works' access management policy which seeks to reduce the number of "curb cuts" on major roads. Access to this property, for nonmotorized, motorized, and emergency vehicles is consistent with other homes along Mount Vernon Road and staff finds the standards enforced by the Zoning Ordinance and Public Works policies adequately account for traffic flow and safety.

The proposed home is ~6,800 SF. The previous home on the property was ~5,000 SF in area. The proposed home maintains a similar footprint, but adds a second floor, whereas the previous structure was a split level home. Overall, the scale and design of the building are consistent with residential homes and will not exceed the maximum height or encroach in any of the prescribed setbacks.

Overall, staff finds the proposed use to be compatible and appropriate for the subject site provided that satisfactory provisions and arrangements—i.e. conditions—are made

#### COMMENTS FROM OTHER PARTIES

Correspondence Received: Staff has received multiple calls from community members in relation to the subject request. Several letters have been submitted as public comment and are provided in the package.

### DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATION

Staff finds that the proposed personal care home, serving a maximum of seven (7) senior citizens, to be consistent with the policies and intent of the Comprehensive Plan and finds that it meets the review and approval criteria necessary for approval.

Thus, staff recommends approval the Special Land Use Permit request, subject to the following exhibits and conditions:

Exhibit A: Site Plan, prepared by Landworks Associated, Inc., and dated March 30, 2023

Exhibit B: Elevations, prepared by Design Today, and dated April 10, 2022

1. The owner shall develop the site in general conformity with “Exhibit A”, with minor changes allowed as defined by Section 27-337(b) or necessary changes to meet conditions of zoning or land development requirements made necessary by actual field conditions at the time of development;
2. The owner shall construct the home in general conformity with “Exhibit B”.
3. A minimum of 80 percent of the front house façade shall be finished with high quality, durable, materials, such as brick, stone, real stucco, and glass.
4. The parking area shall not be striped, except for the required ADA space.
5. The parking area shall have a vegetative screen, as provided on Exhibit A.
6. A “Transition Yard 2”, as defined in Sec. 27-230 of the Zoning Ordinance, shall be provided along the side and rear property lines.
7. The personal care home shall be limited to residents 55 years or older.
8. Redevelopment of this property will require stormwater management in the form of runoff reduction and/or water quality. The property owner shall provide a runoff reduction and/or water quality design which meets the criteria outlined in the 2016 Edition of the Georgia Stormwater Management Manual (Blue Book) for all onsite impervious surfaces.
9. Within 1 year of approval of the subject Special Land Use Permit, if a home is not under construction, the walls and foundation of the previously demolished home must be removed and the site permanently stabilized.
10. Streetscape improvements shall be installed in conjunction with the construction of the personal care home, according to the requirements of the Public Works Department.

### ATTACHMENTS

- Exhibit A: Site Plan, prepared by Landworks Associated, Inc., and dated March 30, 2023
- Exhibit B: Elevations, prepared by Design Today, and dated April 10, 2022
- Public Comments
- SLUP 22-03 Application Packet

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

REVISIONS	
1	10-20-22 CITY COMMENTS
2	12-01-22 CITY COMMENTS
3	12-19-22 CITY COMMENTS
4	02-16-23 PROP. ACREAGE
5	02-18-23 CITY COMMENTS
6	03-07-23 CITY COMMENTS
7	03-30-23 MOD. HOUSE ADD.

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com



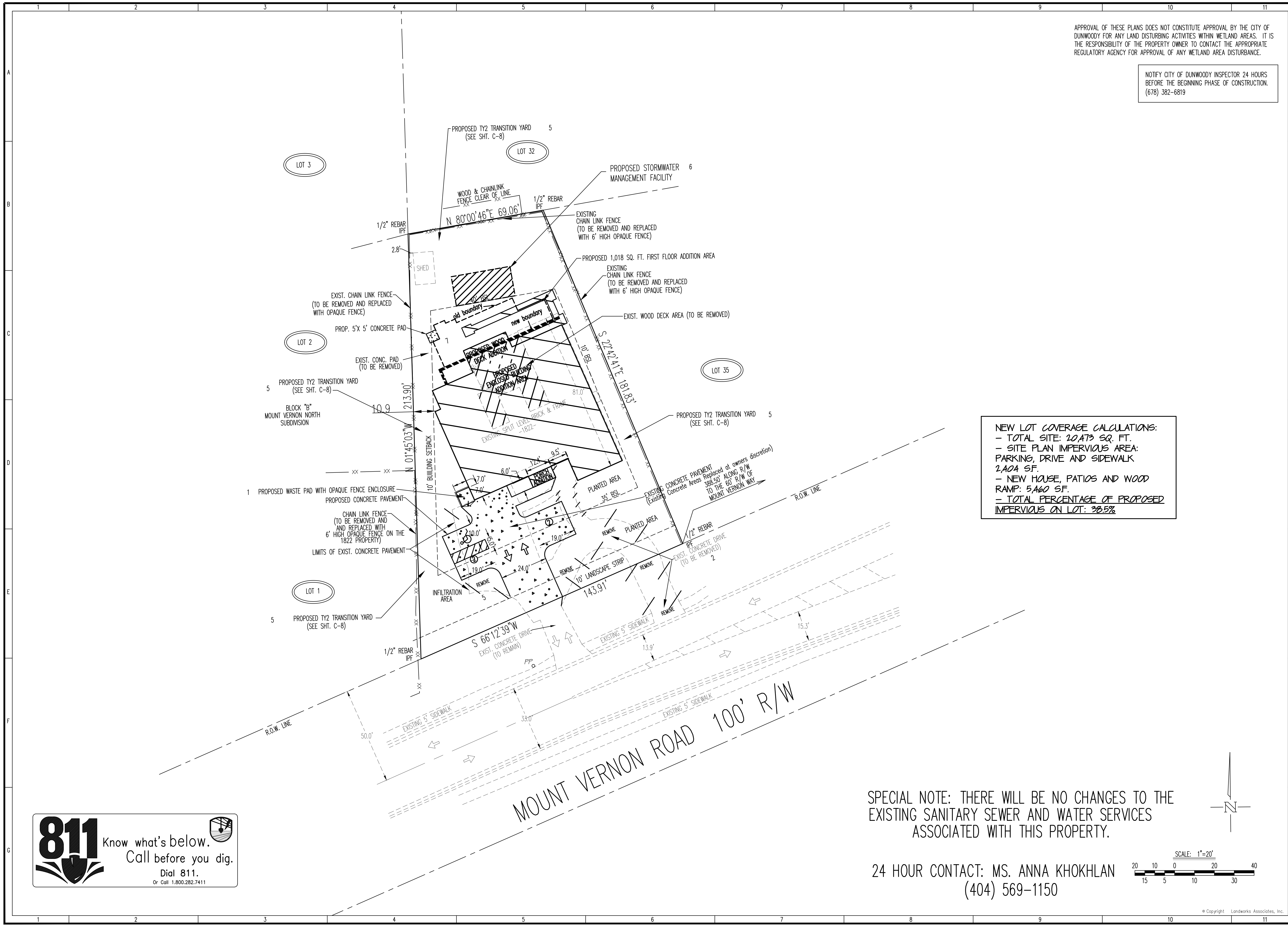
GASWCC LEVEL 2 CERTIFICATION  
NO. 001389  
EXPIRES 11-22-2023

**Landworks Associates, Inc.**  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100 environments2020@gmail.com  
"Celebrating 30 Years of Providing Dedicated Service To Our Clients!"

SITE DEVELOPMENT PLANS FOR:  
**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE	
SITE PLAN	
DATE:	12-19-22
JOB:	567-220202
DRW:	WJC
CHK:	JGA
SHEET NUMBER	

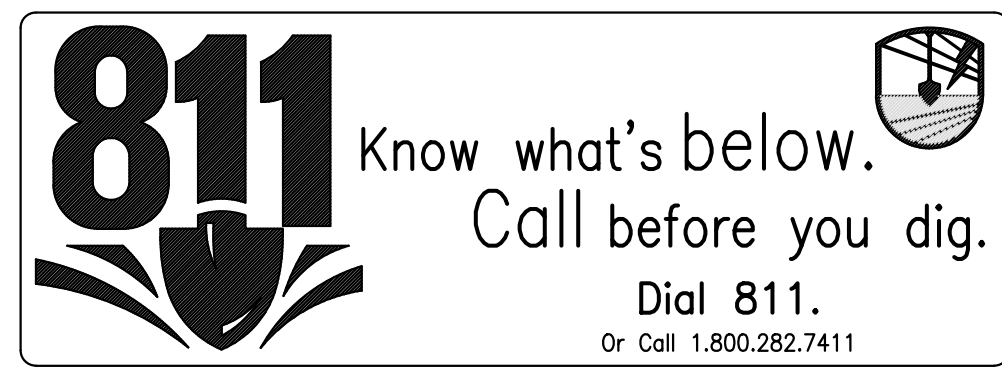
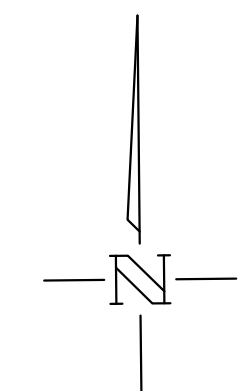
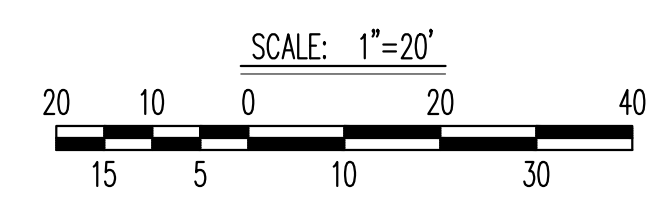
C-2



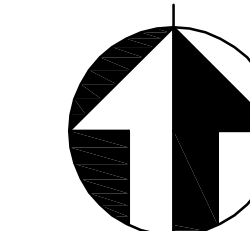
**NEW LOT COVERAGE CALCULATIONS:**  
 - TOTAL SITE: 20,473 SQ. FT.  
 - SITE PLAN IMPERVIOUS AREA:  
 PARKING, DRIVE AND SIDEWALK  
 2,404 SF.  
 - NEW HOUSE, PATIOS AND WOOD  
 RAMP: 5,460 SF.  
 - TOTAL PERCENTAGE OF PROPOSED  
 IMPERVIOUS ON LOT: 38.5%

SPECIAL NOTE: THERE WILL BE NO CHANGES TO THE EXISTING SANITARY SEWER AND WATER SERVICES ASSOCIATED WITH THIS PROPERTY.

24 HOUR CONTACT: MS. ANNA KHOKHLAN  
(404) 569-1150







PLAN NORTH

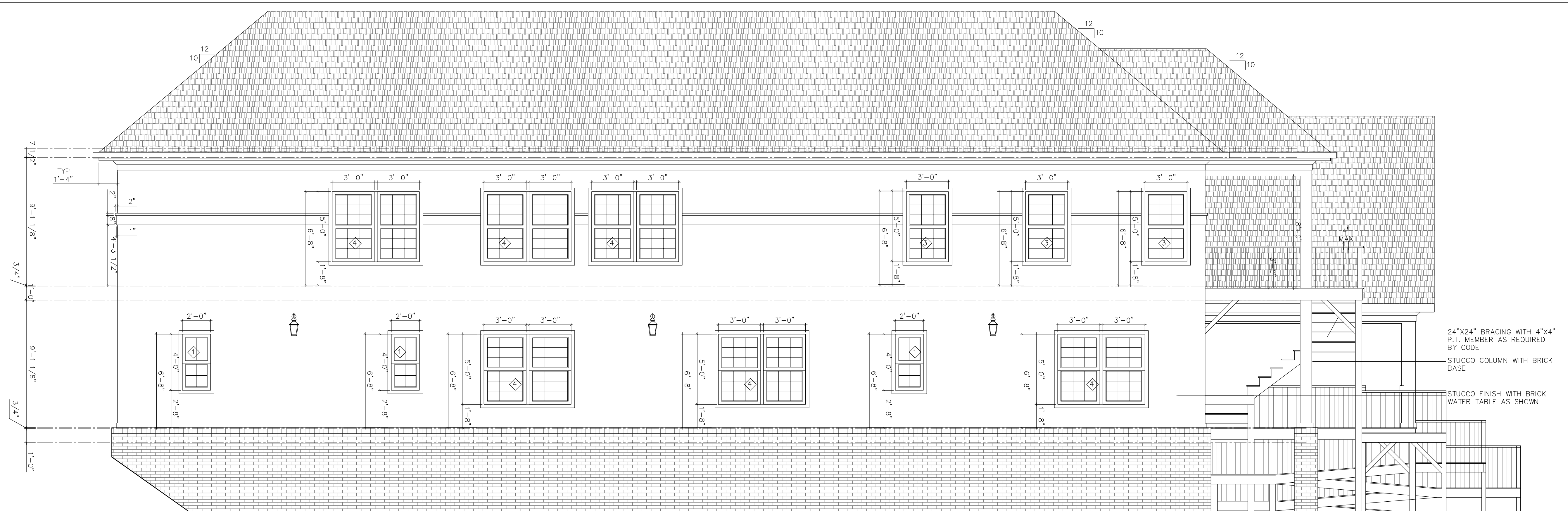
ISSUED  
FOR  
CONSTRUCTION

LEGACY MANOR  
PERSONAL CARE  
HOME



1 FRONT HOUSE ELEVATION

SCALE: 1/4"=1'-0"



2 RIGHT HOUSE ELEVATION

SCALE: 1/4"=1'-0"

1822 MOUNT VERNON RD,  
DUNWOODY, GA 30338

1. 04.10.22 ISSUE FOR CONSTRUCTION

No: Date: Remarks:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
DESIGN TODAY 2005

DRAWING TITLE:  
EXTERIOR  
ELEVATIONS

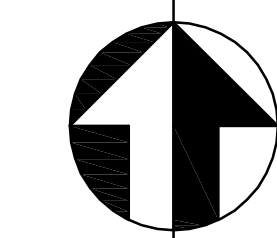
ISSUE DATE:

DRAWN BY:  
DT

SHEET NUMBER:

A3.00

Packet page:...

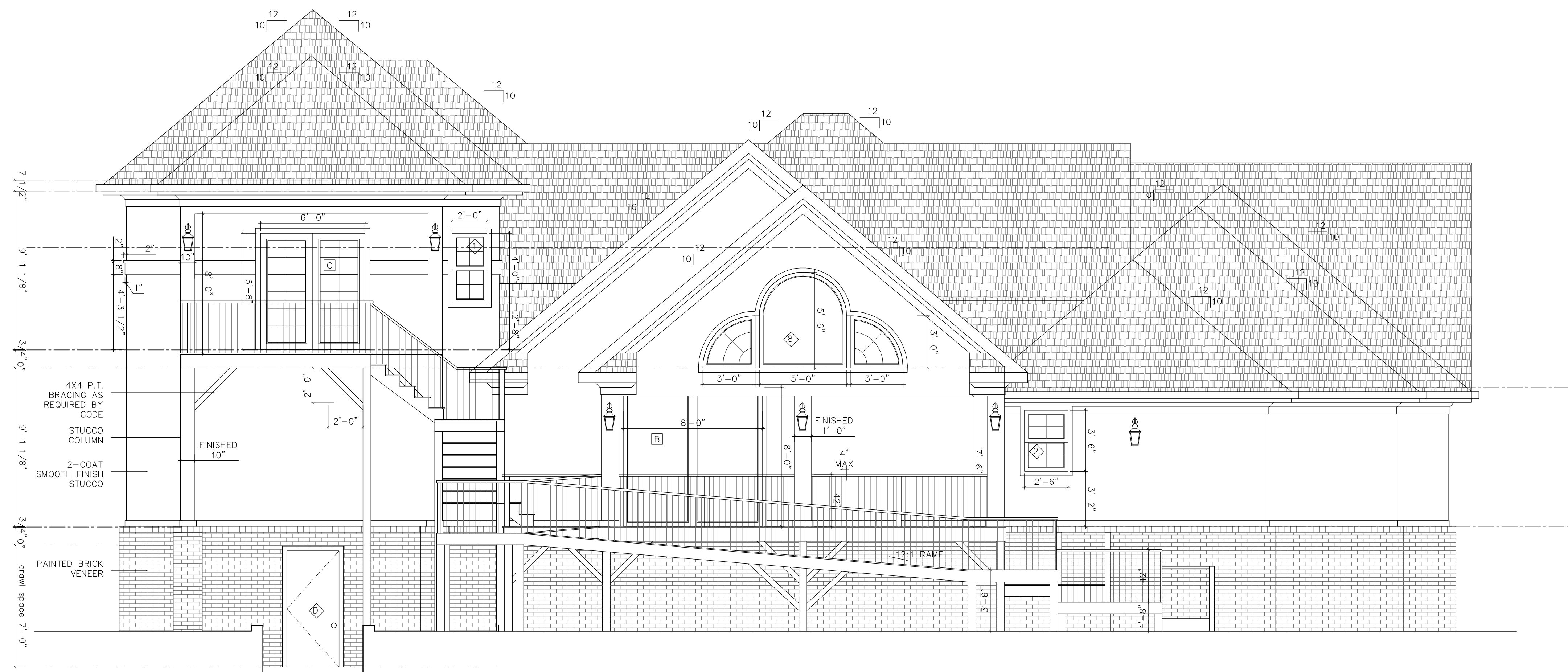


PLAN NORTH

ISSUED  
FOR  
CONSTRUCTION

LEGACY MANOR  
PERSONAL CARE  
HOME

1822 MOUNT VERNON RD,  
DUNWOODY, GA 30338



1 BACK HOUSE ELEVATION

SCALE: 1/4"=1'-0"



2 LEFT HOUSE ELEVATION

SCALE: 1/4"=1'-0"

1.	04.10.22	ISSUE FOR CONSTRUCTION
:No:	:Date:	:Remarks:

REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
DESIGN TODAY 2005

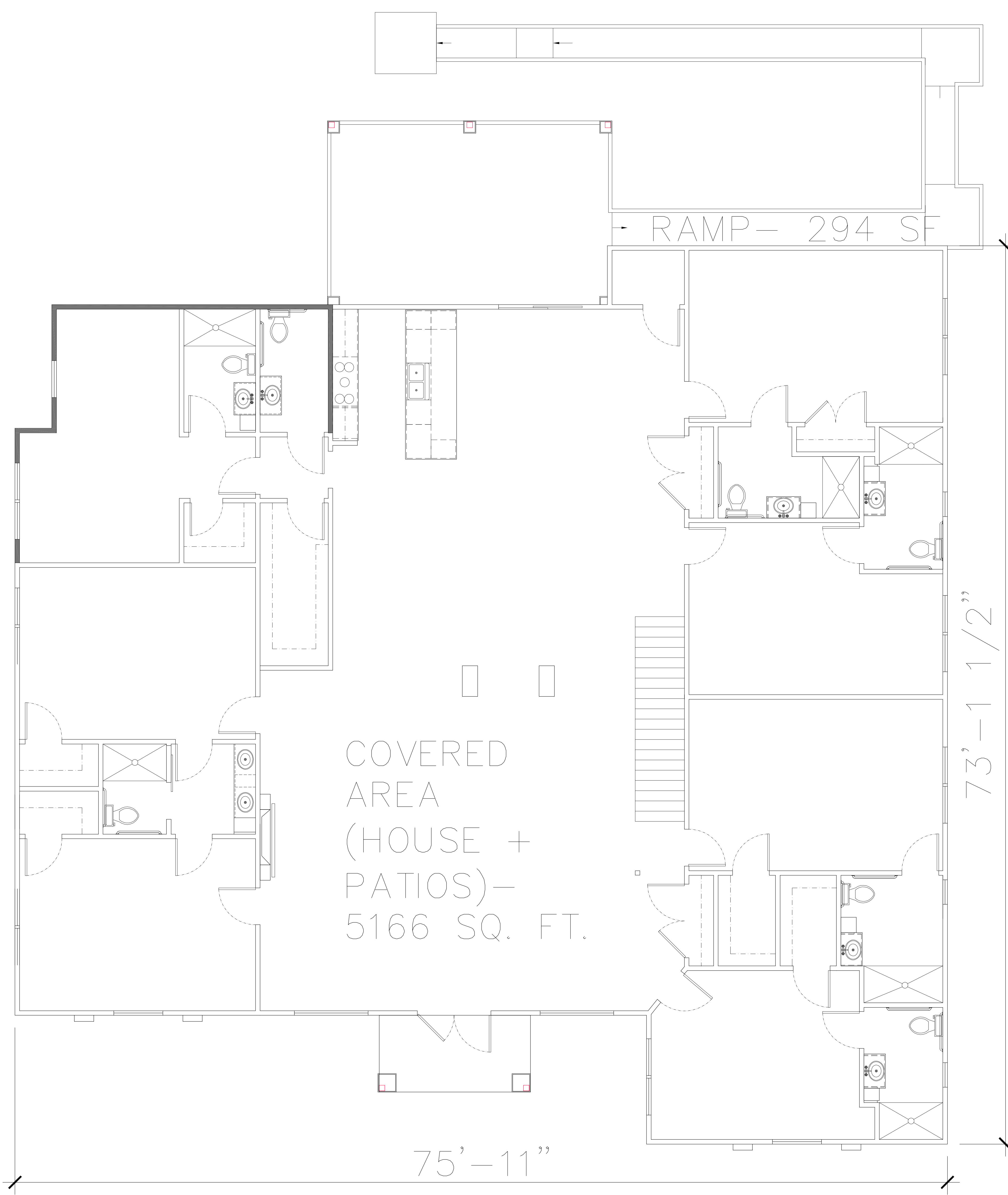
DRAWING TITLE:  
EXTERIOR ELEVATIONS

ISSUE DATE:

DRAWN BY:  
DT

SHEET NUMBER:

A3.01





APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

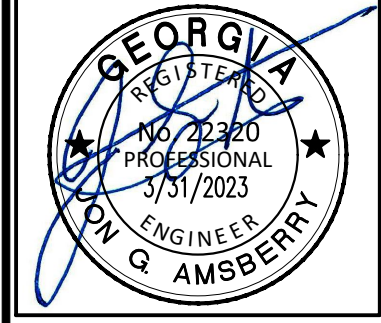
NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819  
NOTIFY DEKALB COUNTY FIRE MARSHAL INSPECTOR 24 HOURS BEFORE ANY UTILITY CONSTRUCTION (678) 406-7731



REVISIONS

NO.	DESCRIPTION

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com



GASWCC LEVEL 2 CERTIFICATION  
NO. 001389  
EXPIRES 11-22-2023

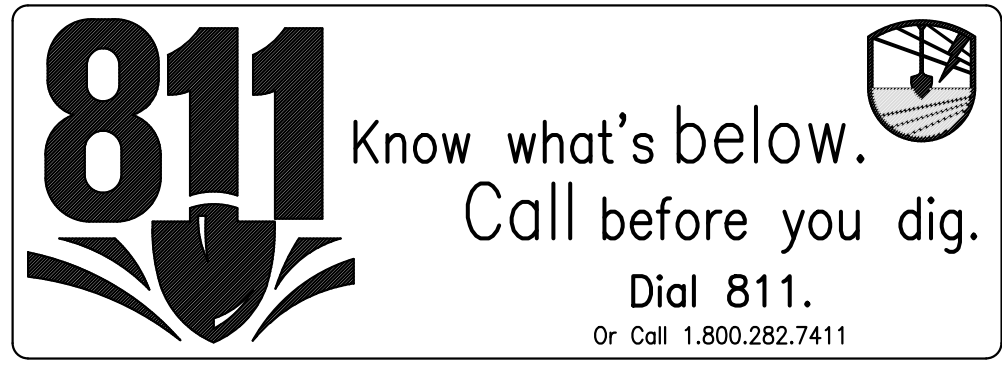
**Landworks Associates, Inc.**  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100  
environments2020@gmail.com  
\*Celebrating 30 Years of Providing Dedicated Service To Our Clients\*

SITE DEVELOPMENT PLANS FOR:  
**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

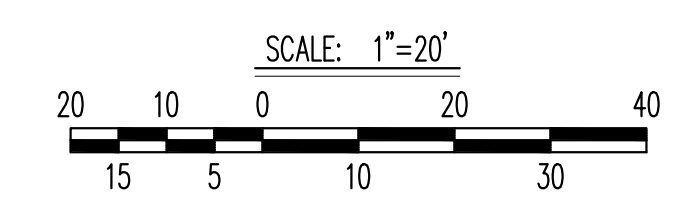
SHEET TITLE  
**EXISTING CONDITIONS**

DATE:	03-22-22
JOB:	567-220202
DRW:	WJC
CHK:	JGA

SHEET NUMBER  
**C-1a**



24 HOUR CONTACT: MS. ANNA KHOKHLAN  
(404) 569-1150



APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

REVISIONS	
1	10-20-22 CITY COMMENTS
2	12-01-22 CITY COMMENTS
3	12-19-22 CITY COMMENTS
4	02-16-23 PROP. ACREAGE
5	02-18-23 CITY COMMENTS
6	03-07-23 CITY COMMENTS
7	03-30-23 MOD. HOUSE ADD.

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com



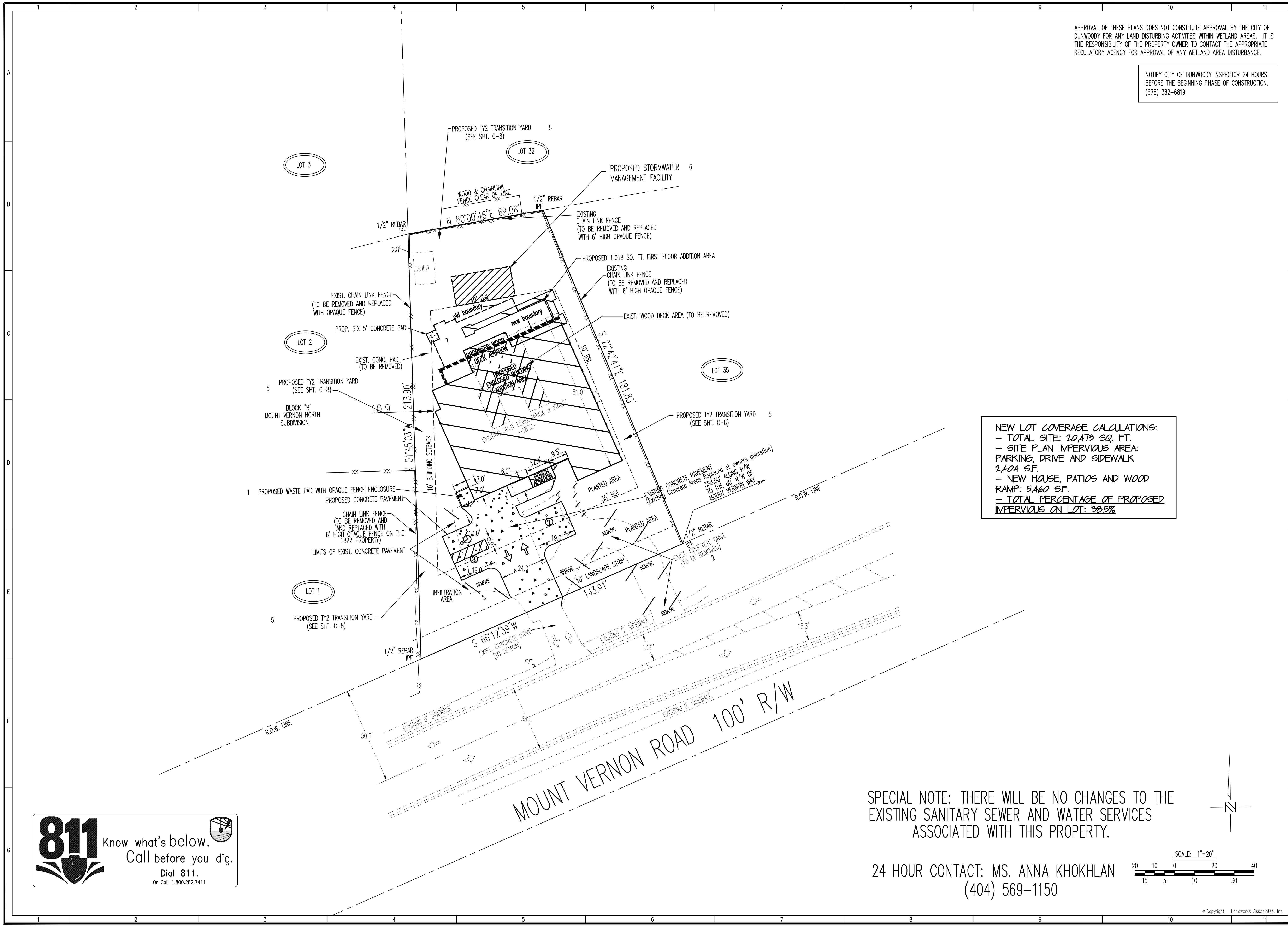
GASWCC LEVEL 2 CERTIFICATION  
NO. 001389  
EXPIRES 11-22-2023

**Landworks Associates, Inc.**  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100 environments2020@gmail.com  
"Celebrating 30 Years of Providing Dedicated Service To Our Clients!"

SITE DEVELOPMENT PLANS FOR:  
**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE	
SITE PLAN	
DATE:	12-19-22
JOB:	567-220202
DRW:	WJC
CHK:	JGA
SHEET NUMBER	

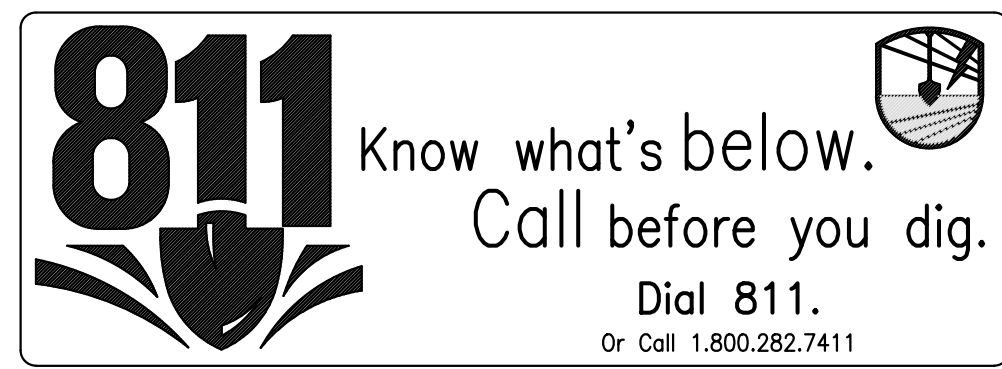
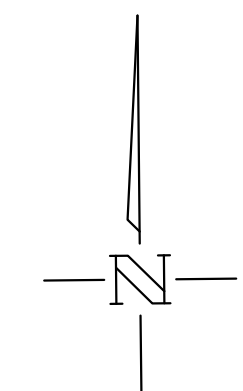
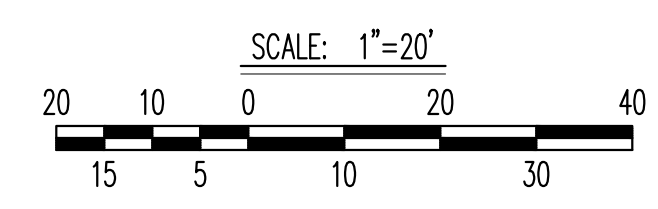
C-2



**NEW LOT COVERAGE CALCULATIONS:**  
 - TOTAL SITE: 20,473 SQ. FT.  
 - SITE PLAN IMPERVIOUS AREA: PARKING, DRIVE AND SIDEWALK 2,404 SF.  
 - NEW HOUSE, PATIOS AND WOOD RAMP: 5,460 SF.  
 - TOTAL PERCENTAGE OF PROPOSED IMPERVIOUS ON LOT: 38.5%

SPECIAL NOTE: THERE WILL BE NO CHANGES TO THE EXISTING SANITARY SEWER AND WATER SERVICES ASSOCIATED WITH THIS PROPERTY.

24 HOUR CONTACT: MS. ANNA KHOKHLAN  
(404) 569-1150



**SYMBOL LEGEND**

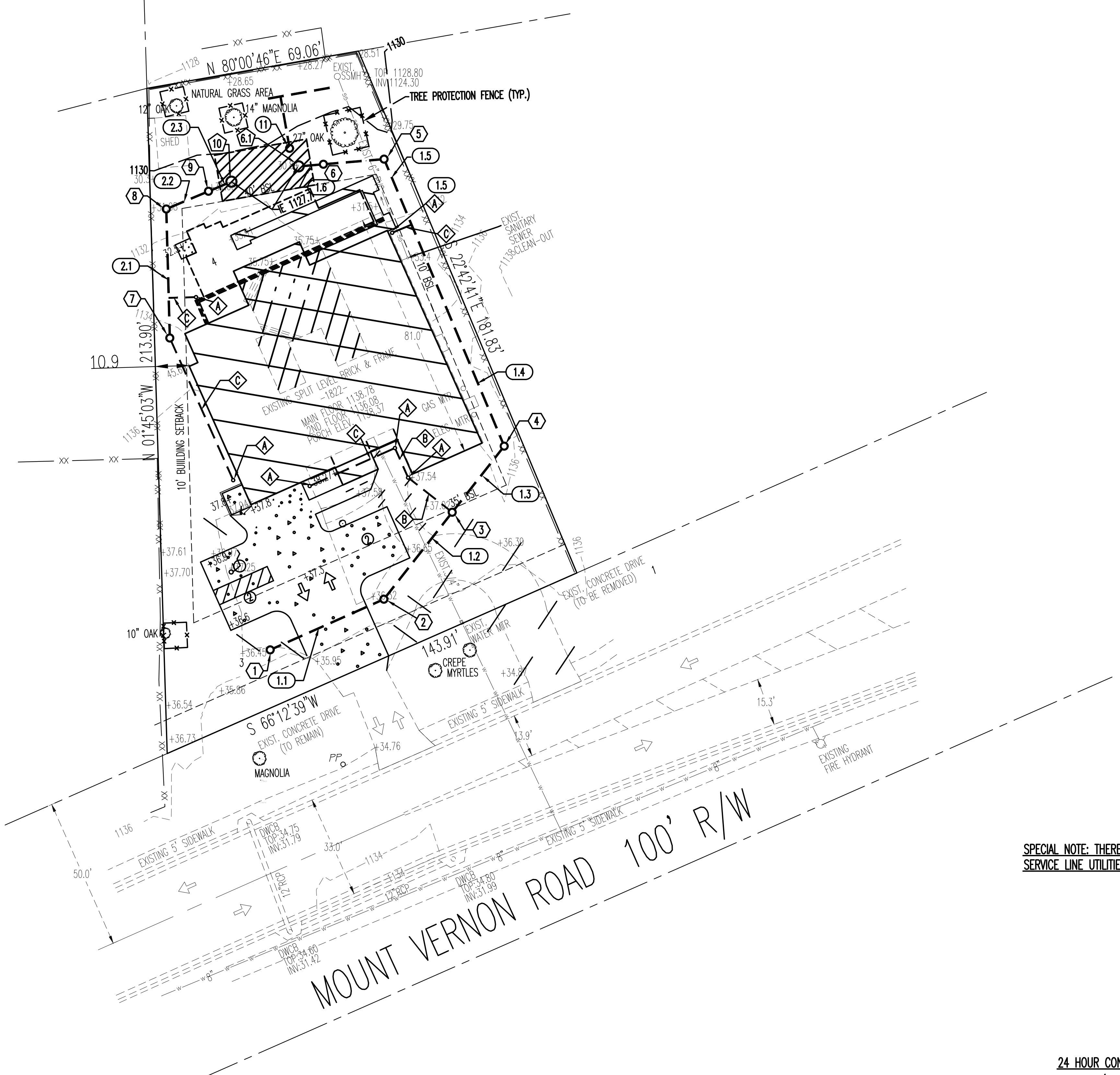
	EXISTING	PROPOSED
FIRE HYDRANT		
WATER VALVE		
WATER METER		
WATERLINE CAP		
FIRE DEPT. CONNECTION		
THRUST BLOCK		
POWER POLE		

**STORM SYSTEM LEGEND**

DOWNSPOUT CONNECTION	
6" ROOF DRAIN SCH 40 PVC PIPE	
4" ROOF DRAIN SCH 40 PVC PIPE	
ADS NYLOPLAST 18" DRAIN BASIN	
NDS FLO-WELL	
OUTLET/OBSERVATION WELL	
HDPE PIPE	

PIPE ID	DESCRIPTION
1.1	40 LF 8" HDPE @ 1.0%
1.2	35 LF 8" HDPE @ 1.1%
1.3	27 LF 8" HDPE @ 1.1%
1.4	100 LF 8" HDPE @ 5.1%
1.5	20 LF 10" HDPE @ 1.0%
1.6	8 LF 10" HDPE @ 1.2%
2.1	40 LF 8" HDPE @ 7.5%
2.2	15 LF 8" HDPE @ 6.7%
2.3	8 LF 10" HDPE @ 1.2%

STRUCTURE ID	INV. IN	INV. OUT
1	-	1134.4
2	1134.0	1134.0
3	1133.6	1133.6
4	1133.3	1133.3
5	1128.2	1128.0
6	1127.8	1127.8
6.1	1127.7	-
7	-	1132.0
8	1129.0	1129.0
9	1128.0	1127.8
10	1127.1	-
11	-	1127.7



APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

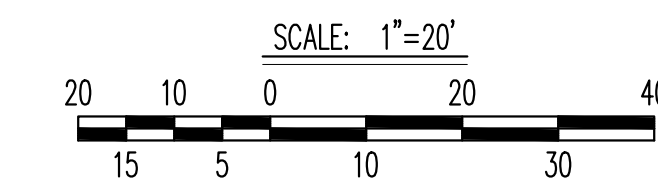
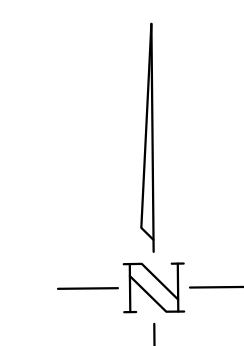
NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

NOTIFY DEKALB COUNTY FIRE MARSHAL INSPECTOR 24 HOURS BEFORE ANY CONSTRUCTION. (678) 406-7731

**STANDARD GRADING & DRAINAGE NOTES:**

- CONTRACTOR SHALL FIELD VERIFY TOPOGRAPHIC INFORMATION AS PROVIDED PRIOR TO ANY CONSTRUCTION. BENCHMARK.
- MAXIMUM SLOPE FOR CUT OR FILL IS 2H:1V EXCEPT EARTHEN DAM EMBANKMENTS SHALL BE 3H:1V.
- ALL FILL MATERIAL SHALL BE FREE OF ROOTS, ORGANIC MATERIAL AND TRASH AND CONSIST ONLY OF ACCEPTABLE MATERIAL. ALL EMBANKMENTS SHALL BE PLACED IN ACCORDANCE WITH THE LINES AND GRADES INDICATED IN THE PLANS. ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE MAXIMUM LABORATORY DRY WEIGHT PER CUBIC FOOT AS DETERMINED BY AASHTO METHOD T-99 IN ALL AREAS WHERE STRUCTURES, PAVEMENT, AND UTILITIES ARE TO BE PLACED. ALL OTHER FILL AREAS ARE TO BE COMPACTED TO AT LEAST 85% UNLESS NOTED OTHERWISE.
- FILL PLACEMENT TO BE PERFORMED IN ACCORDANCE WITH PROFESSIONAL GEOTECHNICAL ENGINEERING MONITORING AND FIELD RECOMMENDATIONS.
- TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- ALL DRAINAGE RELEASE AREAS MUST BE GRASSED AND PLACED WITH RIP-RAP AS NECESSARY TO CONTROL SOIL EROSION.
- A REVISION TO THE EC PLAN IS REQUIRED WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, THAT WILL HAVE A SIGNIFICANT AFFECT ON BMP'S WITH A HYDRAULIC COMPONENT, OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING POLLUTANT DISCHARGE.
- DEVELOPER IS TO CLEAN OUT ACCUMULATED SILT IN STORM STRUCTURES AND PIPES ON SITE AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- CONTRACTOR AND CONSTRUCTION STAKING COMPANY ARE SPECIFICALLY RESPONSIBLE FOR STORM STRUCTURE LOCATIONS AND LENGTH OF PIPE BETWEEN THEM BASED ON COORDINATION WITH FIELD INSPECTOR AND DETAILS CONTAINED WITHIN THESE PLANS.
- ALUMINUM COATED TYPE 2 STEEL PIPE (ACSP) SHALL COMPLY WITH AASHTO M-274 FOR THE COATING AND AASHTO M-36 FOR THE PIPE FABRICATION. ALL ACSP PIPE JOINTS SHALL BE JOINED WITH A COUPLING BAND FABRICATED FROM THE SAME MATERIAL AS THE PIPE. MINIMUM BAND GAUGES SHALL BE PER AASHTO M-196, SECTION 19. IF REQUIRED, GASKETS TO BE EITHER SLEEVE OR O-RING TYPE AND SHALL CONFORM TO AASHTO M-36, SECTION 9.3. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
- REINFORCED CONCRETE PIPE (RCP) SHALL BE IN NOT LESS THAN 8 FOOT JOINT LENGTHS. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1030-0, GEORGIA D.O.T. SPECIFICATION, TABLE NO.1. PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH A RUBBER GASKET CONFORMING TO ASTM C-443. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA D.O.T. STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
- SMOOTH WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-294 AND AASHTO M77, TYPE S & D. CONNECTIONS SHALL AT A MINIMUM USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-477. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, AASHTO SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.

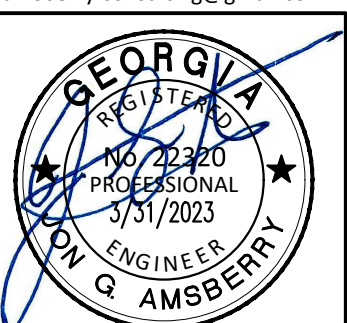
**SPECIAL NOTE: THERE ARE NO PROPOSED CHANGES TO THE EXISTING EXTERIOR SERVICE LINE UTILITIES ASSOCIATED WITH THE HOUSE STRUCTURE.**



24 HOUR CONTACT: MS. ANNA KHOKHLAN  
(404) 569-1150

REVISIONS	
1	12-01-22 CITY COMMENTS
2	12-19-22 CITY COMMENTS
3	02-18-23 CITY COMMENTS
7	3-14-23 HYDROLOGY
4	03-30-23 MOD. HOUSE ADD.

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com



GASWCC LEVEL 2 CERTIFICATION  
NO. 001389  
EXPIRES 11-22-2023

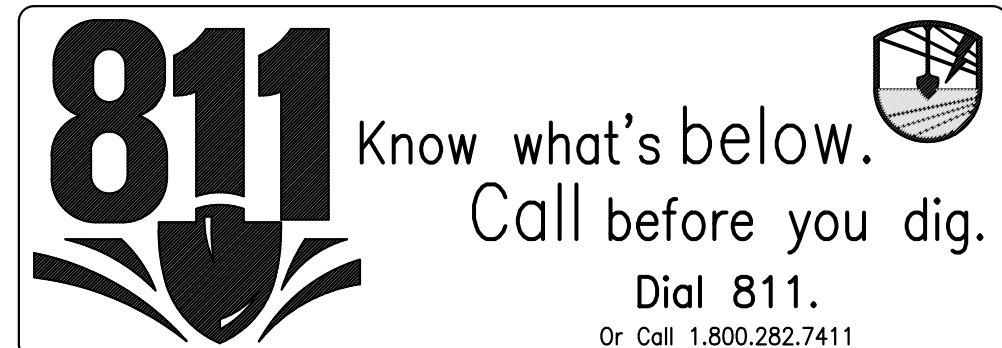
**Landworks Associates, Inc.**  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100  
environmentals2020@gmail.com  
\*Celebrating 30 Years Of Dedicated Service To Our Clients!\*

**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE  
**GRADING/UTILITY PLAN**

DATE:	03-22-22
JOB:	567-220202
DRW:	WJC
CHK:	JGA

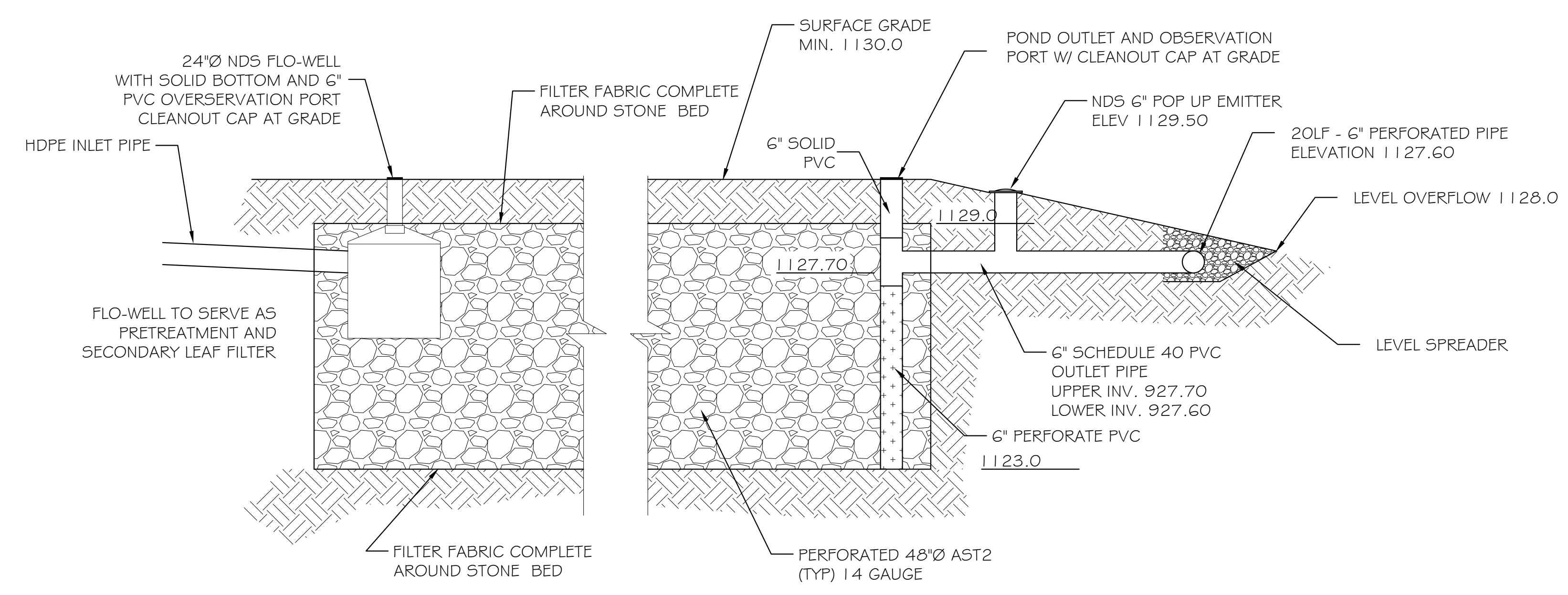
SHEET NUMBER  
**C-3**



APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

NOTIFY THE CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING OF CONSTRUCTION. (678) 382-6819

NOTIFY DEKALB COUNTY FIRE MARSHAL INSPECTOR 24 HOURS BEFORE ANY CONSTRUCTION (678) 406-7731



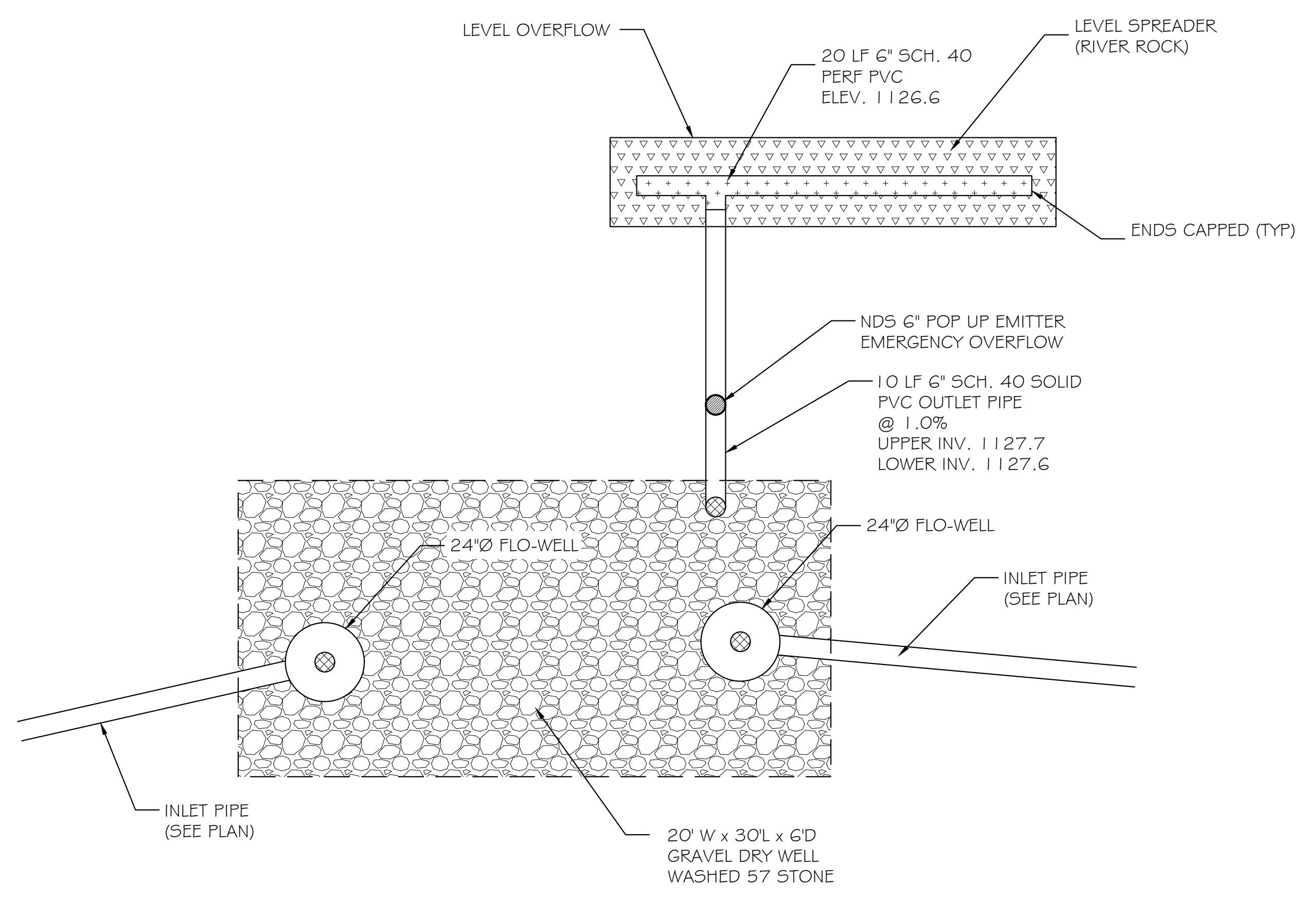
DRY WELL - ELEVATION  
NO SCALE

NDS, INC. 851 NORTH HARVARD AVE. LINDSAY, CA 93247. TOLL FREE: 1-800-726-1994. PHONE: (559) 562-8868. FAX: (559) 562-4488. www.ndspro.com

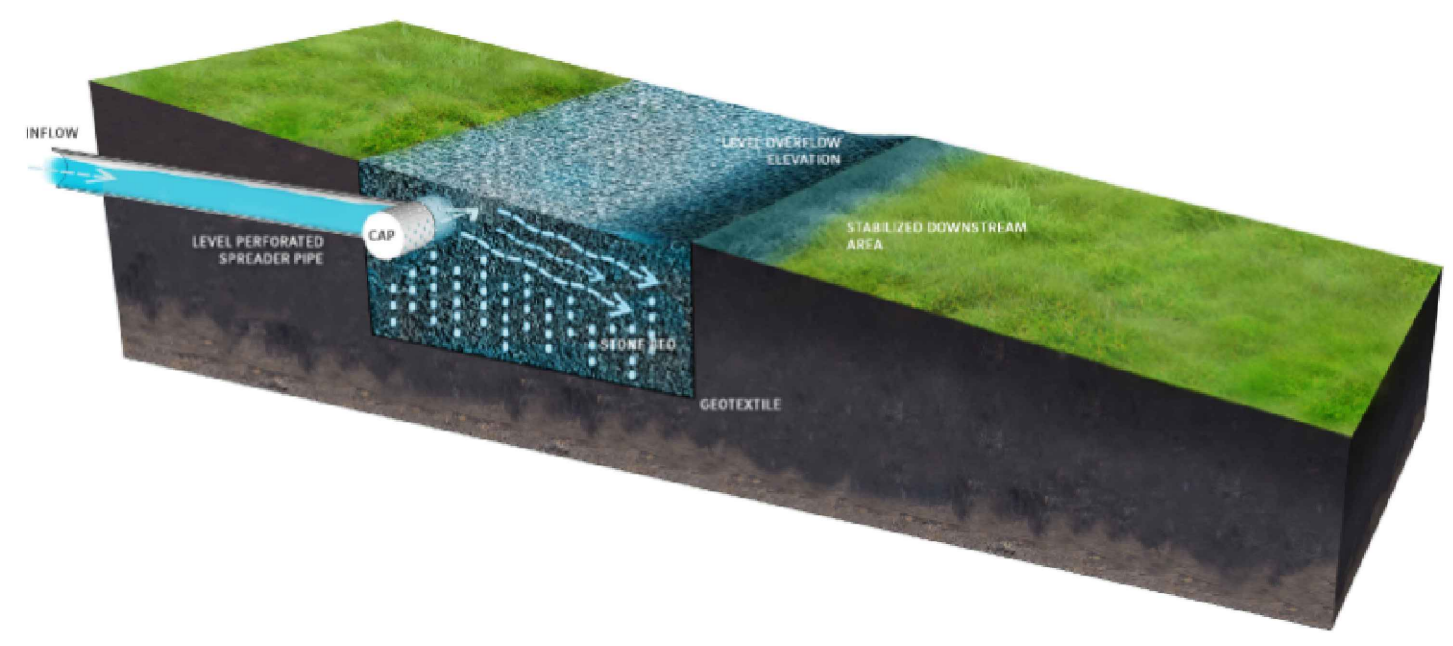
NOTES:  
1. MUST BE INSTALLED 17' AWAY FROM STRUCTURE OR FOUNDATION.  
2. FVW54 KIT DOES NOT COME WITH FVW54-47M.  
3. REFERENCE FLOW WELL CALCULATOR ON NDSPRO.COM  
4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
5. DO NOT SCALE DRAWING.  
6. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.  
7. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

FLO-WELL DRY WELL SYSTEM  
FLO WELL INSTALLATION DETAIL - LOAD CLASS "A" & "B" - GRAVEL INSTALLATION DETAIL

REVISION DATE 3-5-2015



DRY WELL - PLAN  
NO SCALE



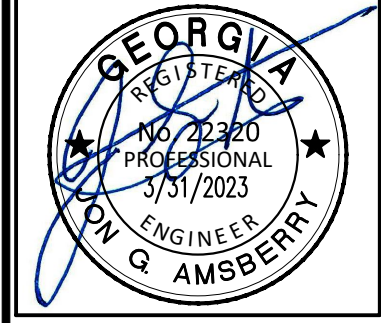
LEVEL SPREADER SCHEMATIC  
NO SCALE

24 HOUR CONTACT: MS. ANNA KHOKHLAN  
(404) 569-1150

Know what's below.  
Call before you dig.  
Dial 811.  
Or call 1.800.282.7411

REVISIONS	
7	3-14-23 HYDROLOGY

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com



GASWCC LEVEL 2 CERTIFICATION  
NO. 001389  
EXPIRES 11-22-2023

Landworks Associates, Inc.  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100 environments2020@gmail.com  
\*Celebrating 30 Years Of Providing Dedicated Service To Our Clients\*

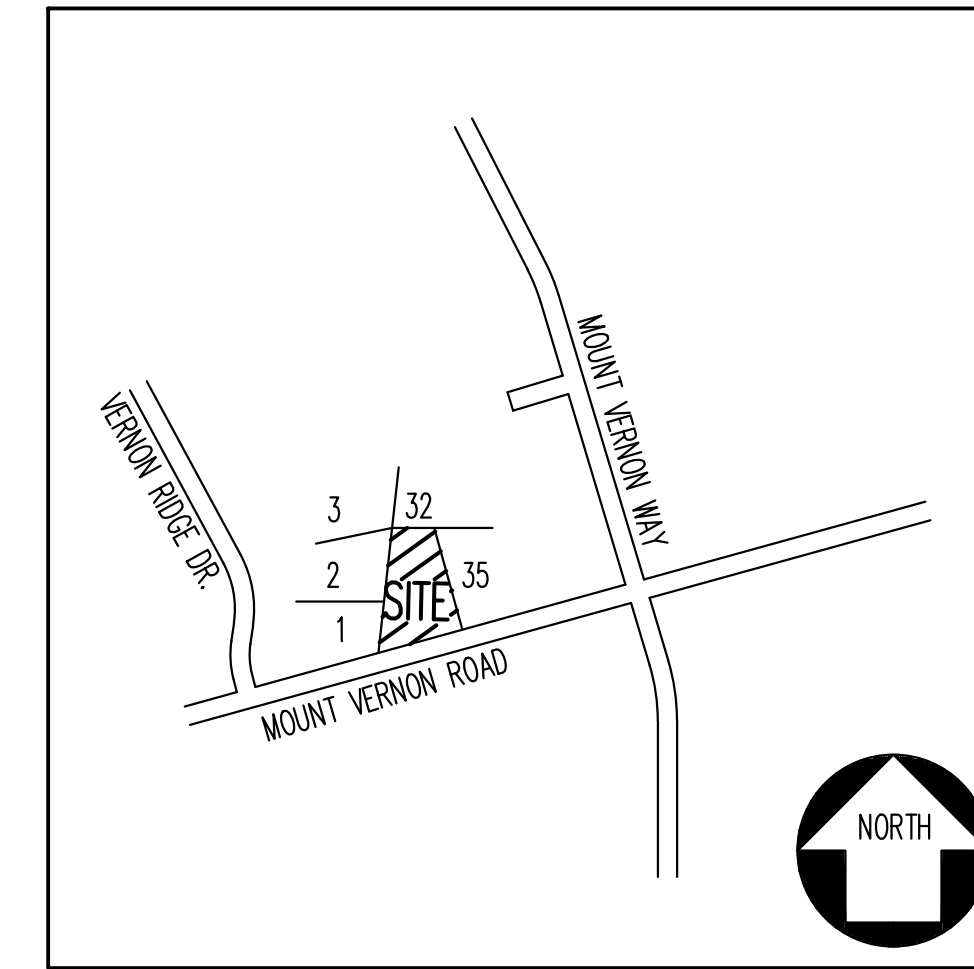
1822 MOUNT VERNON ROAD  
RESIDENTIAL HOUSE RENOVATION  
LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE	STORMWATER DETAILS
DATE:	03-22-22
JOB:	567-220202
DRW:	WJC
CHK:	JGA
SHEET NUMBER	



APPROXIMATE CONSTRUCTION SCHEDULE

	MONTH 1 (MAR)	MONTH 2 (APR)	MONTH 3 (MAY)	MONTH 4 (JUN)
INSTALL INITIAL PERIMETER CONTROL BMPS	●			
MAINTAIN EROSION AND SEDIMENT CONTROL BMPS	●	●	●	●
INSTALL REMAINING PHASE 1 BMPS	●	●		
MAINTAIN STORMWATER SYSTEM	●	●	●	●
CLEARING AND GRUBBING	●			
INSTALL PHASE 2 EROSION CONTROL BMPS		●	●	
ROUGH GRADING		●		
TEMPORARY STABILIZATION	●	●	●	●
BUILDING ADDITION CONSTRUCTION		●	●	●
FINAL GRADING			●	
FLAT CONCRETE WORK				●
INSTALL PHASE 3 EROSION CONTROL BMPS				●
FINAL LANDSCAPING				●
FINAL STABILIZATION				●



SITE LOCATION MAP

THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

CERTIFICATIONS

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA", (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.\*

NAME: *JGA* DATE: 3.31.2023

I CERTIFY THAT THE PERMITTEE'S COMPREHENSIVE MONITORING PROGRAM PROVIDES FOR THE MONITORING OF THE RECEIVING WATER(S) OR THE MONITORING OF THE STORM WATER OUTFALLS AND IS EXPECTED TO MEET THE MONITORING REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

NAME: *JGA* DATE: 3.31.2023

\*I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.\*

JON AMSBERRY, GA. REG. #22320 DATE: 3.31.2023

THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENTATION STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION IN ACCORDANCE WITH PART IV AS PAGE 25 OF THE PERMIT.

OWNER:  
MS. ANNA KHOKHLAN  
1822 MOUNT VERNON ROAD  
DUNWOODY, GEORGIA 30338  
CONTACT: MS. ANNA KHOKHLAN  
PHONE: (404) 569-1150  
khokhlanpch@yahoo.com

OPERATOR  
UNKNOWN AT THIS TIME

PRIMARY PERMITTEE:  
OWNER:  
MS. ANNA KHOKHLAN  
1822 MOUNT VERNON ROAD  
DUNWOODY, GEORGIA 30338  
CONTACT: MS. ANNA KHOKHLAN  
PHONE: (404) 569-1150  
khokhlanpch@yahoo.com

24 HOUR CONTACT:  
MS. ANNA KHOKHLAN  
(404) 569-1150

SECONDARY PERMITTEE  
NONE AT THIS TIME

GENERAL EROSION CONTROL NOTES

- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WITHIN 7 DAYS AFTER INSTALLATION.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- BMPS FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND THE REAR OF THE VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
- PROVIDE BMPS FOR REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS.
- A REVISION TO THE EC PLAN IS REQUIRED WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, THAT WILL HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT, OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING POLLUTANT DISCHARGE.\*

NARRATIVE:  
SEE SHEET C-1

SPECIAL NOTES:

THIS PROJECT INVOLVES THE RENOVATION OF AN EXISTING SINGLE FAMILY HOUSE, DECK ADDITION AND PROPOSED PARKING ADJUSTMENT.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

NO WETLANDS IN DISTURBED AREA.

PROJECT COORDINATES:

33.5654 N -84.1932 W

NOTIFY THE CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

NOTIFY DEKALB COUNTY FIRE MARSHAL INSPECTOR 24 HOURS BEFORE BEGINNING ANY CONSTRUCTION (678) 406-7731

1 THIS SITE BEING ONLY .47 ACRES IN SIZE DOES NOT REQUIRE NPDES COVERAGE AND MONITORING

REVISIONS

1	07-14-22	CITY COMMENTS
2	02-16-22	PROP. ACREAGE

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com



GASWCC LEVEL 2 CERTIFICATION  
NO. 001389  
EXPIRES 11-22-2023

Landworks Associates, Inc.  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100  
environmentals2020@gmail.com  
\*Celebrating 30 Years Of Providing Dedicated Service To Our Clients\*

SITE DEVELOPMENT PLANS FOR:  
LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.  
LAND LOT 367, 18TH DISTRICT, PARCEL 048, CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE  
ES&PC NOTES  
DATE: 03-22-22  
JOB: 567-220202  
DRW: WJC  
CHK: JGA  
SHEET NUMBER

C-4

**EROSION CONTROL NOTES**

- SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY CITY OF DUNWOODY INSPECTOR.
- ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION IS COMPLETED.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND EROSION.
- EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION OF THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (CURRENT EDITION).
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ALL PETROLEUM STORAGE SHALL BE LOCATED IN A SECONDARY CONTAINER AREA.
- BMPs FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND THE REAR OF THE VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.

**CRITICAL (SENSITIVE) AREAS (POTENTIAL EROSION PROBLEMS)**

PROBLEM	TREATMENT
▲ CUT AND FILL AREAS STEEPER THAN 3:1	SURFACE ROUGHENING
▲ ADJACENT SENSITIVE AREA	TYPE S SEDIMENT BARRIER
▲ EXISTING DITCH FOR SITE DISCHARGE	MONITORING, MULTIPLE BMPs

**SENSITIVE AREAS:**  
SENSITIVE AREAS AS NOTED ABOVE SHALL BE MONITORED DURING CONSTRUCTION TO INSURE PROPER EROSION AND SEDIMENT CONTROL MEASURES ARE BEING IMPLEMENTED TO PROTECT THESE AREAS. THE SITE DISCHARGE WILL EXIT THE SITE WITHIN AN EXISTING CREEK TRIBUTARY LOCATED NORTH OF THE PROPERTY.

NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION.  
(678) 406-7731

SOIL UNIT	SOIL NAME	PERMEABILITY IN/HR	ERODIBILITY K FACTOR	DESCRIPTION
Amc2	Appling	0.57-1.98	0.72	APPLING SANDY LOAM, 6 TO 10 % SLOPES, MODERATELY ERODED
ApB	Appling - Hard Labor	0.57-1.98	0.14/0.45	APPLING-HARD LABOR COMPLEX, 2 TO 6% SLOPES
PIB2	Pacolet	0.57-1.98	0.04	PACOLET SANDY LOAM, 2 TO 6% SLOPES, MODERATELY ERODED

**STORMWATER MANAGEMENT STANDARD EROSION NOTES:**

- THE EXISTING LAND USE OF THE SUBJECT SITE IS A PERSONAL CARE HOME WITH MINIMAL TREE COVERAGE. THE PROJECT WILL INVOLVE AN EXPANSION OF THE EXISTING HOME AND DECK AREA. THE SURROUNDING PROPERTIES ARE LIKE ZONED WITH RESIDENTIAL USES.
- OWNED/DEVELOPED BY :  
MS. ANNA KHOKHLAN  
1822 MOUNT VERNON ROAD  
DUNWOODY, GEORGIA 30338  
PHONE: (404) 569-1150
- NAME AND PHONE NUMBER OF THE 24-HOUR LOCAL CONTACT PERSON RESPONSIBLE FOR EROSION CONTROL EMERGENCIES IS MS. ANNA KHOKHLAN
- TOTAL PROJECT ACRES: .47 ACRES
- TOTAL DISTURBED ACRES: .12 ACRES
- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
- A 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK IS TO BE MAINTAINED ADJACENT TO ALL STREAMS, (DELINEATED WITHIN 50' OF SITE)
- DETENTION POND, DETENTION POND OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY CONSTRUCTION OR GRADING.
- DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH IF LAND DISTURBING ACTIVITIES CEASE FOR MORE THAN 14 CALENDAR DAYS.
- ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
- CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATING OR BLANKET.
- THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
- THE RECEIVING WATER'S IS AN UN-NAMED TRIBUTARY TO BALL MILL CREEK.
- TOTAL WETLAND ACRES IN DISTURBED AREA ON SITE IS 0.0 AC

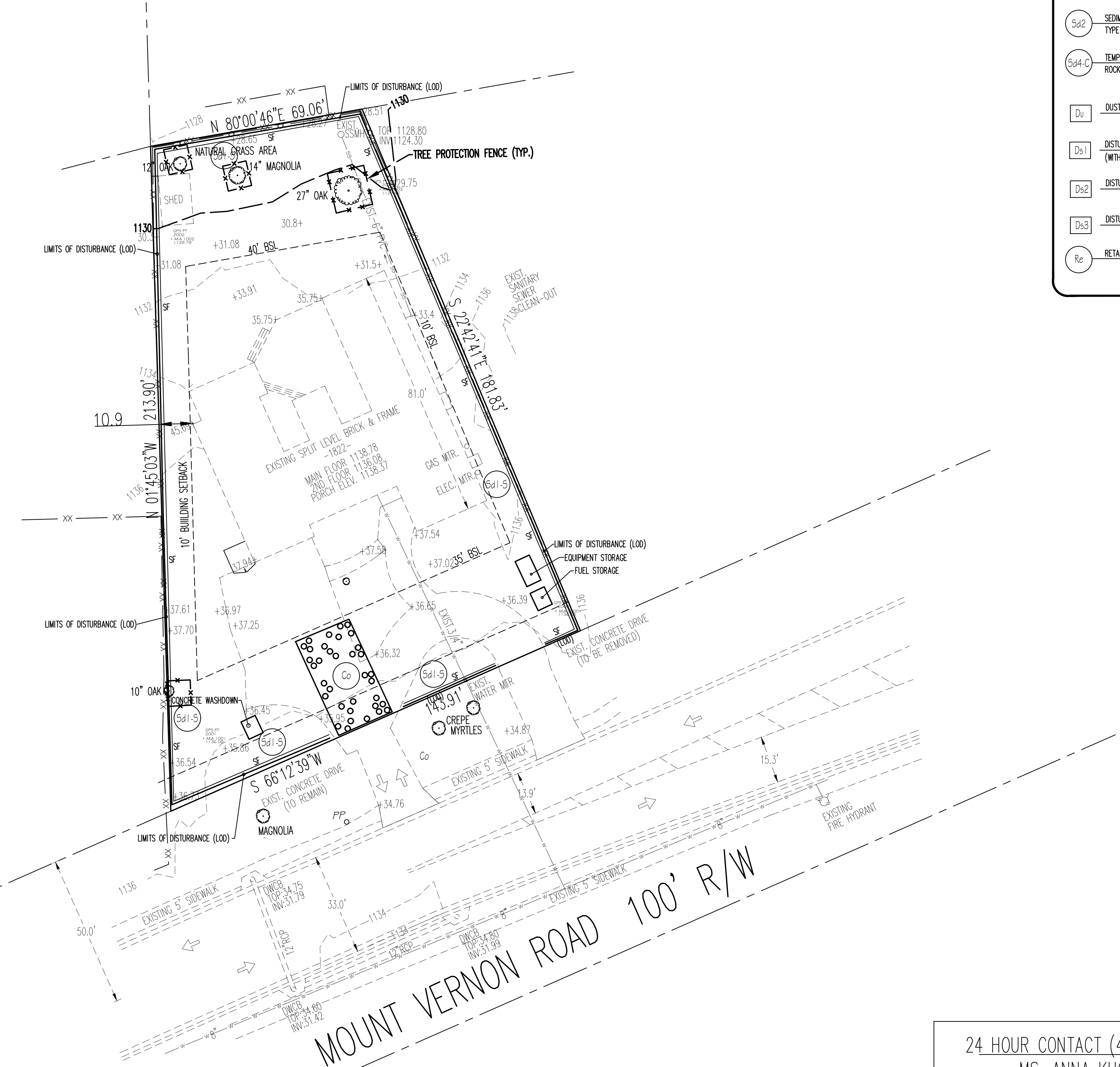
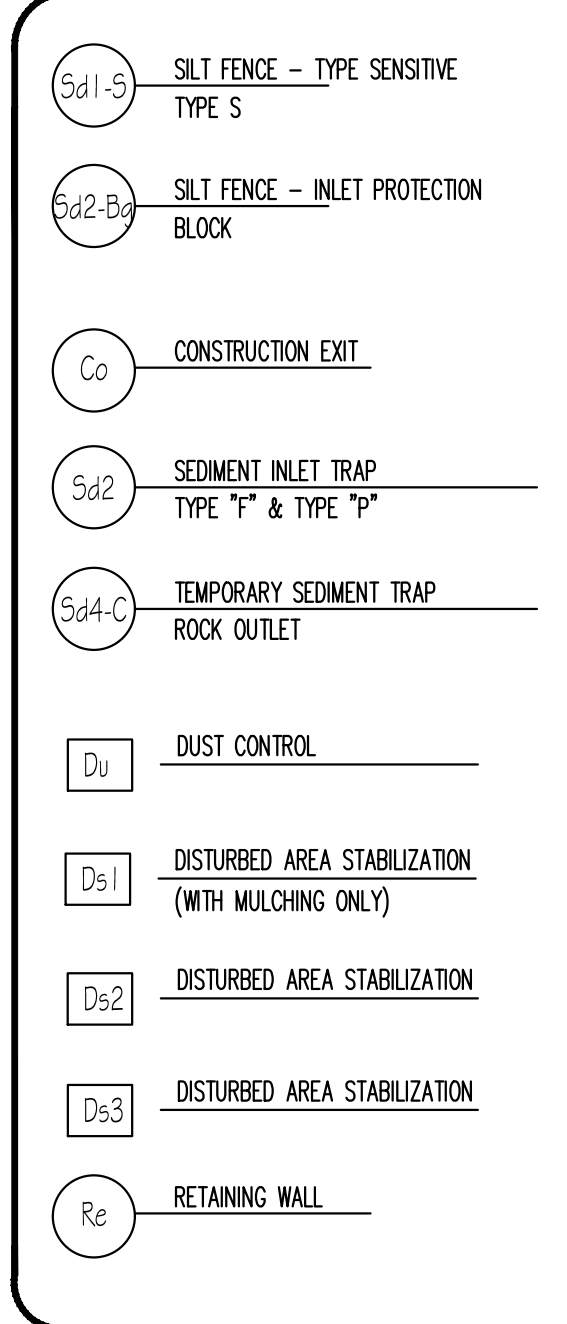
**CLEARING PHASE EROSION CONTROL NOTES:**

- PRIOR TO THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR.
- THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL COVER IS EXPOSED ONLY IN SMALL QUANTITIES
- THE OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.
- NO STAGING AREAS, MATERIAL STORAGE, CONCRETE WASH OUT AREAS, OR DEBRIS BURN AND BURIAL HOLES SHALL BE LOCATED WITHIN 500 FEET OF DESIGNATED TREE PROTECTION AREAS.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE AND ALL STREAM BUFFERS SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, REBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
- PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADWAY.
- THE FOLLOWING INITIAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY:

- THE CONSTRUCTION EXIT, CONSISTING OF A MINIMUM PAD SIZE OF 20 FEET BY 50 FEET WITH A MINIMUM OF 6" THICK STONE, SHALL BE PLACED AS SHOWN ON THE PLAN. THE STONE SIZE SHOULD CONSIST OF COURSE AGGREGATE BETWEEN 1.5" & 3" IN DIAMETER AND OVERLAP ON A GEOTEXTILE UNDERLAYER. THE GEOTEXTILE UNDERLAYER SHALL MEET THE REQUIREMENTS OF AASHTO M288-96, SECTION 7.3 SEPARATION REQUIREMENTS.
  - IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXITS, ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.
  - TYPE "S" SENSITIVE SILT FENCE SHOULD BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE PLAN. THE SILT FENCE SHOULD BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6-20.2. THE SILT FENCE SHOULD BE KEPT UPRIGHT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF S/D FENCING SHOULD BE REPAIRED IMMEDIATELY.
  - STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN.
  - TREE PROTECTION FENCING SHOULD BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE ACTIVITY AND MAINTAINED UNTIL FINAL LANDSCAPE IS INSTALLED. THE TREE PROTECTION FENCING SHOULD BE INSPECTED DAILY. ANY FAILURES OF S/D FENCING SHOULD BE REPAIRED IMMEDIATELY.
- AFTER INSTALLATION OF INITIAL EROSION CONTROL MEASURES THE SITE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE PROJECT DESIGN PROFESSIONAL. NO OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE PROJECT DESIGN PROFESSIONAL APPROVES THE INSTALLATION OF S/D EROSION CONTROL MEASURES. IF UNFORESEEN CONDITIONS EXIST IN THE FIELD THAT WARRANT ADDITIONAL EROSION CONTROL MEASURES, THE CONTRACTOR MUST CONSTRUCT AN ADDITIONAL EROSION CONTROL DEVICES DEEMED NECESSARY BY THE SITE INSPECTION.
  - AFTER APPROVAL OF THE INITIAL EROSION CONTROL INSTALLATION, THE CONTRACTOR MAY PROCEED WITH CLEARING AND GRADING ACTIVITIES. AS CLEARING PERMITS THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT POND AND DIVERSION DIKES AS SHOWN ON THE CLEARING PHASE PLAN TO CONTROL EROSION AND STORM WATER RUN OFF.
  - THE CONTRACTOR CAN UTILIZE CLEARED TREES AS BARRIER BRUSH SEDIMENT CONTROL IN AREAS SHOWN ON PLAN WHERE INITIAL GRADING ACTIVITIES WILL NOT OCCUR.
  - NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE.
  - ADDITIONAL SILT BARRIERS MUST BE PLACED AS SHOWN ON THE PLAN AS ACCESS IS OBTAINED. DURING CLEARING NO GRADING SHALL TAKE PLACE UNTIL SILT BARRIER INSTALLATION AND SEDIMENT POND ARE CONSTRUCTED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.
  - MULCH OR TEMPORARY GRASS SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF LAND DISTURBANCE.
  - ALL DISTURBED AREAS LEFT MULCHED AFTER 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION.
  - SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.
  - THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1"-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO PUBLIC ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
  - CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
  - FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

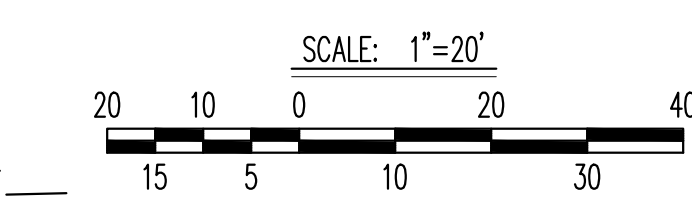
**EROSION CONTROL LEGEND**



NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION.  
(678) 406-7731

NOTIFY DEKALB COUNTY FIRE MARSHAL INSPECTOR 24 HOURS BEFORE ANY UTILITY CONSTRUCTION (678) 406-7731

24 HOUR CONTACT (404) 569-1150  
MS. ANNA KHOKHLAN

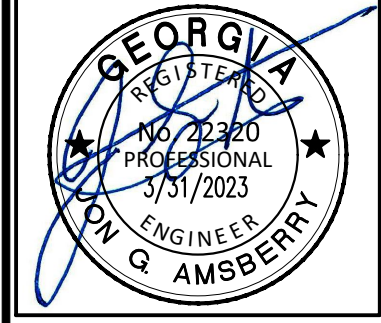


**811** Know what's below.  
Call before you dig.  
Dial 811.  
Or Call 1.800.282.7411

REVISIONS

1	02-16-23	PROP. ACREAGE
---	----------	---------------

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com



**Landworks Associates, Inc.**  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100  
environmentals2020@gmail.com  
"Celebrating 30 Years Of Providing Dedicated Service To Our Clients!"

**LEGACY MANOR PERSONAL CARE HOME - 1822 MOUNT VERNON RD.**  
LAND LOT 367, 18TH DISTRICT, PARCEL 04B,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SITE DEVELOPMENT PLANS FOR:

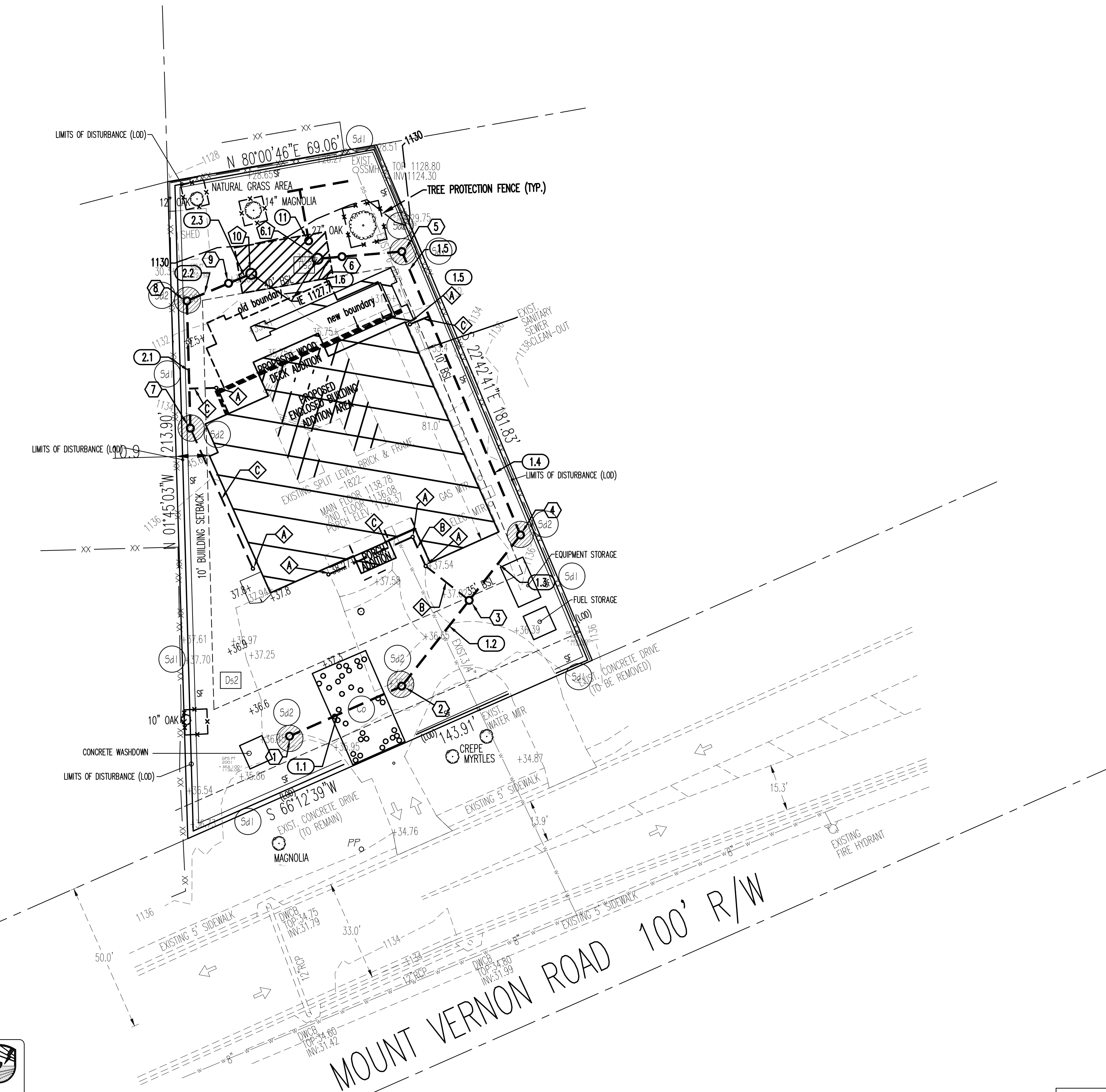
SHEET TITLE	INITIAL ES&PC PLAN
DATE:	03-22-22
JOB:	567-220202
DRW:	WJC
CHK:	JGA
SHEET NUMBER	C-5

CRITICAL AREAS (POTENTIAL EROSION PROBLEMS)	
PROBLEM	TREATMENT
CUT AND FILL AREAS STEEPER THAN 3:1	SURFACE ROUGHENING

- EROSION CONTROL NOTES**
- SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY THE CITY OF DUNWOODY INSPECTOR.
  - ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION IS CONSTRUCTED.
  - THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND EROSION.
  - EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION OF THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
  - ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (CURRENT EDITION).
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
  - EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

**EROSION CONTROL LEGEND**

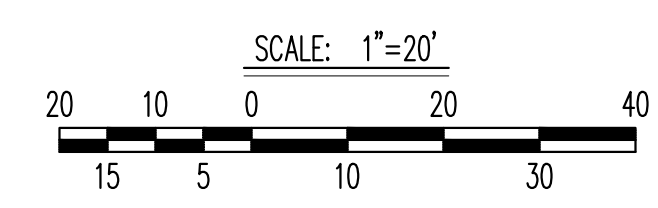
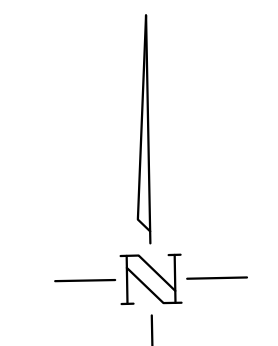
- SILT FENCE INLET PROTECTION BLOCK
- RETRO-FIT
- CHANNEL LINING VEGETATIVE
- SILT FENCE TYPE S
- CONSTRUCTION EXIT
- SEDIMENT INLET TRAP TYPE "F" & TYPE "P"
- TOP SOIL LOCATION
- SEDIMENT POND
- DIVERSION DITCH
- DUST CONTROL
- DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
- DISTURBED AREA STABILIZATION
- DISTURBED AREA STABILIZATION
- RETAINING WALL



APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

NOTIFY DEKALB COUNTY FIRE INSPECTOR 24 HOURS BEFORE ANY CONSTRUCTION (678) 406-7731



24 HOUR CONTACT (404) 569-1150  
MS. ANNA KHOKHLAN

**811** know what's below.  
Call before you dig.  
Dial 811.  
Or Call 1.800.282.7411

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com



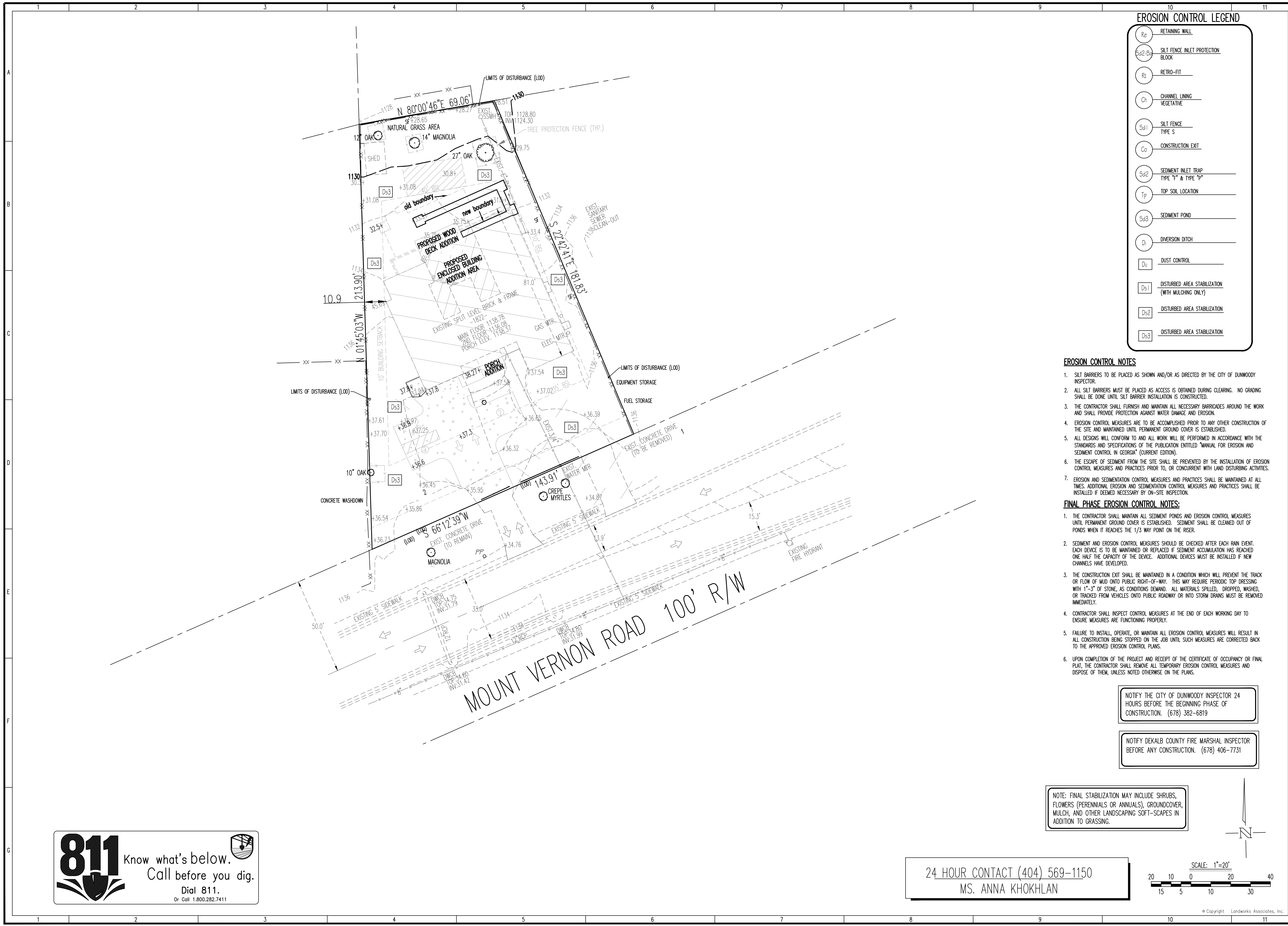
GASWCC LEVEL 2 CERTIFICATION  
NO. 001389  
EXPIRES 11-22-2023

**Landworks Associates, Inc.**  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100 environments2013@gmail.com  
"Celebrating 30 Years Of Providing Dedicated Service To Our Clients"

SITE DEVELOPMENT PLANS FOR:  
**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
LAND LOT 367 18TH DISTRICT, PARCEL 048,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE  
**INTERMEDIATE ES&PC PLAN**  
DATE: 03-22-22  
JOB: 567-220202  
DRW: WJC  
CHK: JGA

SHEET NUMBER  
**C-6**



### EROSION CONTROL LEGEND

- Re RETAINING WALL
- Sd2-Ba SILT FENCE INLET PROTECTION BLOCK
- Re RETRO-FIT
- Ch CHANNEL LINING VEGETATIVE
- Sd1 SILT FENCE TYPE S
- Co CONSTRUCTION EXIT
- Sa2 SEDIMENT INLET TRAP TYPE "T" & TYPE "P"
- Tp TOP SOIL LOCATION
- Sa3 SEDIMENT POND
- Di DIVERSION DITCH
- Du DUST CONTROL
- Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
- Ds2 DISTURBED AREA STABILIZATION
- Ds3 DISTURBED AREA STABILIZATION

### EROSION CONTROL NOTES

- SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY THE CITY OF DUNWOODY INSPECTOR.
- ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION IS CONSTRUCTED.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND EROSION.
- EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION OF THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (CURRENT EDITION).
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.

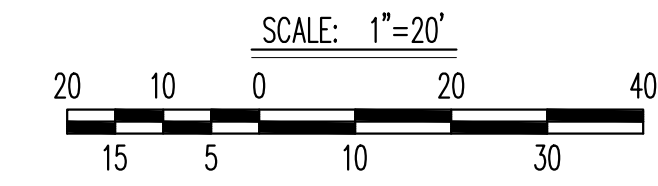
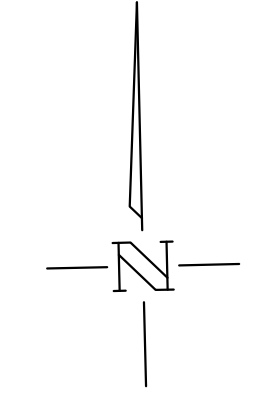
### FINAL PHASE EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT PONDS AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF PONDS WHEN IT REACHES THE 1/3 WAY POINT ON THE RISER.
- SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1"-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO PUBLIC ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.
- UPON COMPLETION OF THE PROJECT AND RECEIPT OF THE CERTIFICATE OF OCCUPANCY OR FINAL PLAT, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM, UNLESS NOTED OTHERWISE ON THE PLANS.

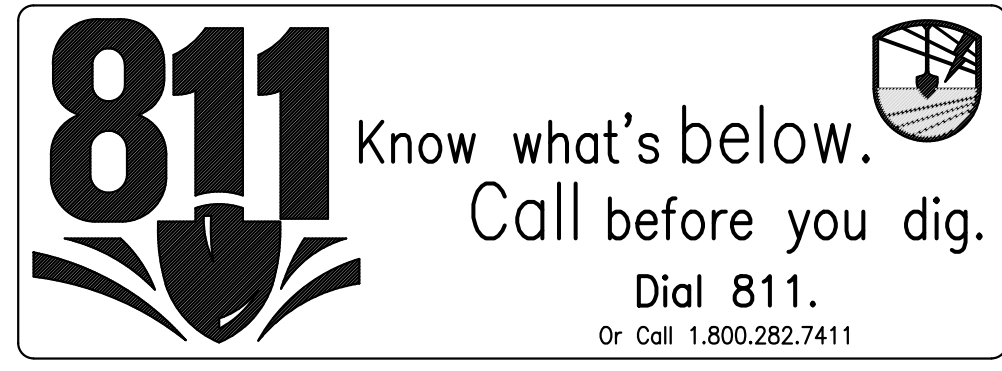
NOTIFY THE CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

NOTIFY DEKALB COUNTY FIRE MARSHAL INSPECTOR BEFORE ANY CONSTRUCTION. (678) 406-7731

NOTE: FINAL STABILIZATION MAY INCLUDE SHRUBS, FLOWERS (PERENNIALS OR ANNUALS), GROUNDCOVER, MULCH, AND OTHER LANDSCAPING SOFT-SCAPES IN ADDITION TO GRASSING.



24 HOUR CONTACT (404) 569-1150  
MS. ANNA KHOKHLAN



REVISIONS	
1	12-01-22 CITY COMMENTS
2	12-19-22 CITY COMMENTS

CIVIL ENGINEERING CONSULTANT  
JON G. AMSBERRY, P.E.  
P.O. BOX 1556  
LOGANVILLE, GEORGIA 30052  
770.713.6186 Phone  
amsberry.consulting@gmail.com

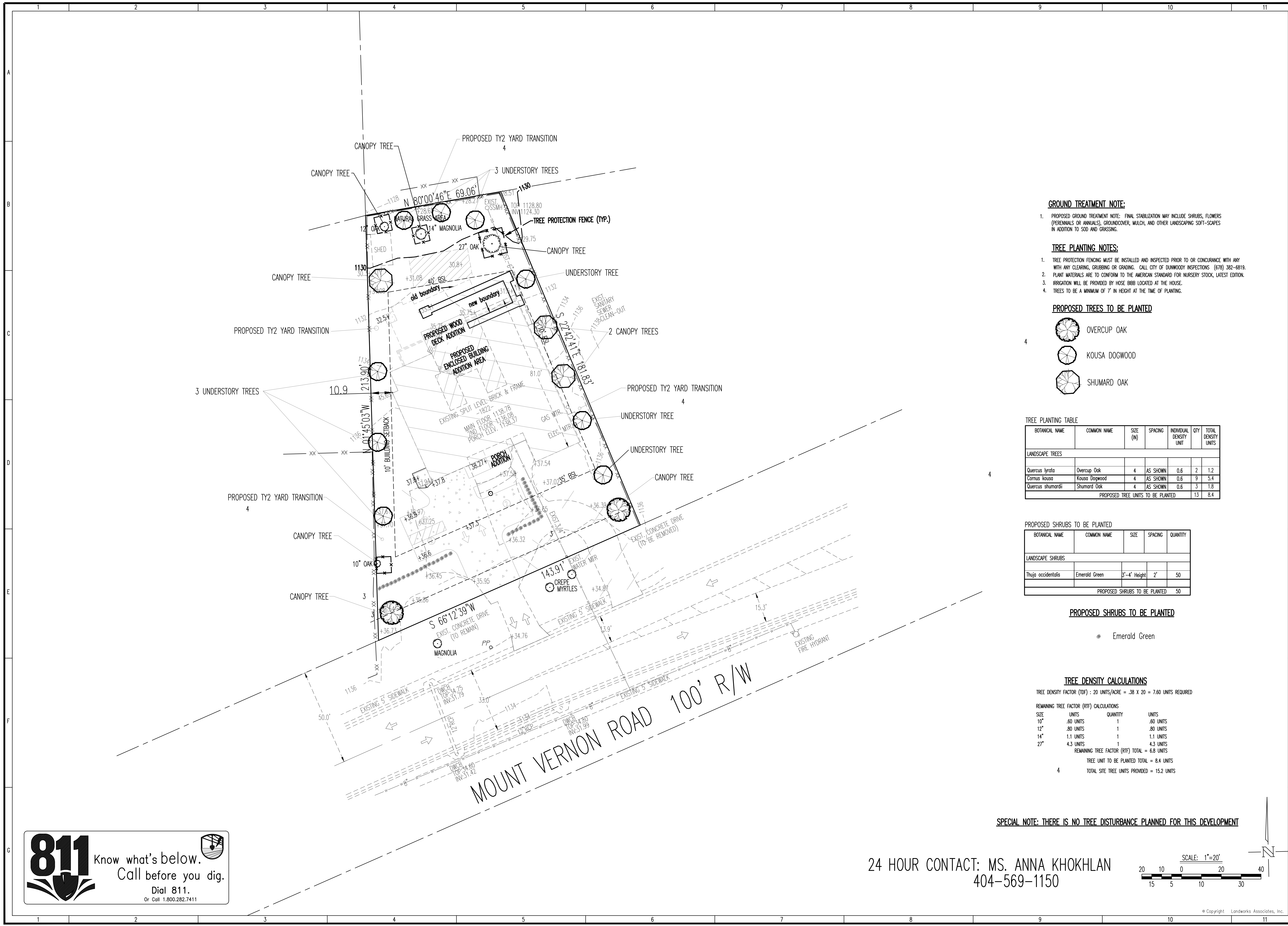


GASWCC LEVEL 2 CERTIFICATION  
NO. 001389  
EXPIRES 11-30-2022

**Landworks Associates, Inc.**  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100  
environmentals2020@gmail.com  
"Celebrating 30 Years Of Providing Dedicated Service To Our Clients!"

SITE DEVELOPMENT PLANS FOR:  
**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE	
FINAL ES&PC PLAN	
DATE:	03-22-22
JOB:	567-220202
DRW:	WJC
CHK:	JGA
SHEET NUMBER	
C-7	



**GROUND TREATMENT NOTE:**

1. PROPOSED GROUND TREATMENT NOTE: FINAL STABILIZATION MAY INCLUDE SHRUBS, FLOWERS (PERENNIALS OR ANNUALS), GROUNDCOVER, MULCH, AND OTHER LANDSCAPING SOFT-SCAPES IN ADDITION TO SOO AND GRASSING.

**TREE PLANTING NOTES:**

1. TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO OR CONCURRENCE WITH ANY WITH ANY CLEARING, GRUBBING OR GRADING. CALL CITY OF DUNWOODY INSPECTIONS (678) 382-6819.
2. PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
3. IRRIGATION WILL BE PROVIDED BY HOSE BIBB LOCATED AT THE HOUSE.
4. TREES TO BE A MINIMUM OF 7' IN HEIGHT AT THE TIME OF PLANTING.

**PROPOSED TREES TO BE PLANTED**

- 4 OVERCUP OAK
- KOUSA DOGWOOD
- SHUMARD OAK

**TREE PLANTING TABLE**

BOTANICAL NAME	COMMON NAME	SIZE (IN)	SPACING	INDIVIDUAL DENSITY	QTY	TOTAL DENSITY UNITS
<b>LANDSCAPE TREES</b>						
<i>Quercus lyrata</i>	Overcup Oak	4	AS SHOWN	0.6	2	1.2
<i>Cornus kousa</i>	Kousa Dogwood	4	AS SHOWN	0.6	9	5.4
<i>Quercus shumardii</i>	Shumard Oak	4	AS SHOWN	0.6	3	1.8
PROPOSED TREE UNITS TO BE PLANTED						8.4

**PROPOSED SHRUBS TO BE PLANTED**

BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
<b>LANDSCAPE SHRUBS</b>				
<i>Thuja occidentalis</i>	Emerald Green	3'-4" Height	2'	50
PROPOSED SHRUBS TO BE PLANTED				50

**PROPOSED SHRUBS TO BE PLANTED**

- Emerald Green

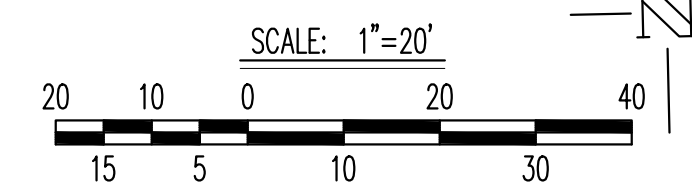
**TREE DENSITY CALCULATIONS**

TREE DENSITY FACTOR (TDF) : 20 UNITS/ACRE = .38 X 20 = 7.60 UNITS REQUIRED

REMAINING TREE FACTOR (RTF) CALCULATIONS

SIZE	UNITS	QUANTITY	UNITS
10"	.60 UNITS	1	.60 UNITS
12"	.80 UNITS	1	.80 UNITS
14"	1.1 UNITS	1	1.1 UNITS
27"	4.3 UNITS	1	4.3 UNITS
REMAINING TREE FACTOR (RTF) TOTAL =			6.8 UNITS
TREE UNIT TO BE PLANTED TOTAL =			8.4 UNITS
TOTAL SITE TREE UNITS PROVIDED =			15.2 UNITS

SPECIAL NOTE: THERE IS NO TREE DISTURBANCE PLANNED FOR THIS DEVELOPMENT



REVISIONS	
1	12-01-22 CITY COMMENTS
2	12-19-22 CITY COMMENTS
3	01-26-22 ADDED SHRUBS
4	02-18-23 TY2 YARD TRANS

CIVIL ENGINEERING CONSULTANT  
**JON G. AMSBERRY, P.E.**  
 P.O. BOX 1556  
 LOGANVILLE, GEORGIA 30052  
 770.713.6186 Phone  
 amsberry.consulting@gmail.com



**Landworks Associates, Inc.**  
 P.O. BOX 88834  
 ATLANTA, GEORGIA 30356  
 (770) 513-7100 environments2020@gmail.com  
 \*Celebrating 30 Years of Providing Dedicated Service To Our Clients!\*

SITE DEVELOPMENT PLANS FOR:  
**LEGACY MANOR PERSONAL CARE**  
**HOME-1822 MOUNT VERNON RD.**  
 LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
 CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE	
TREE PROTECTION PLAN	
DATE:	01-26-23
JOB:	567-220202
DRW:	WJC
CHK:	JGA
SHEET NUMBER	

C-8

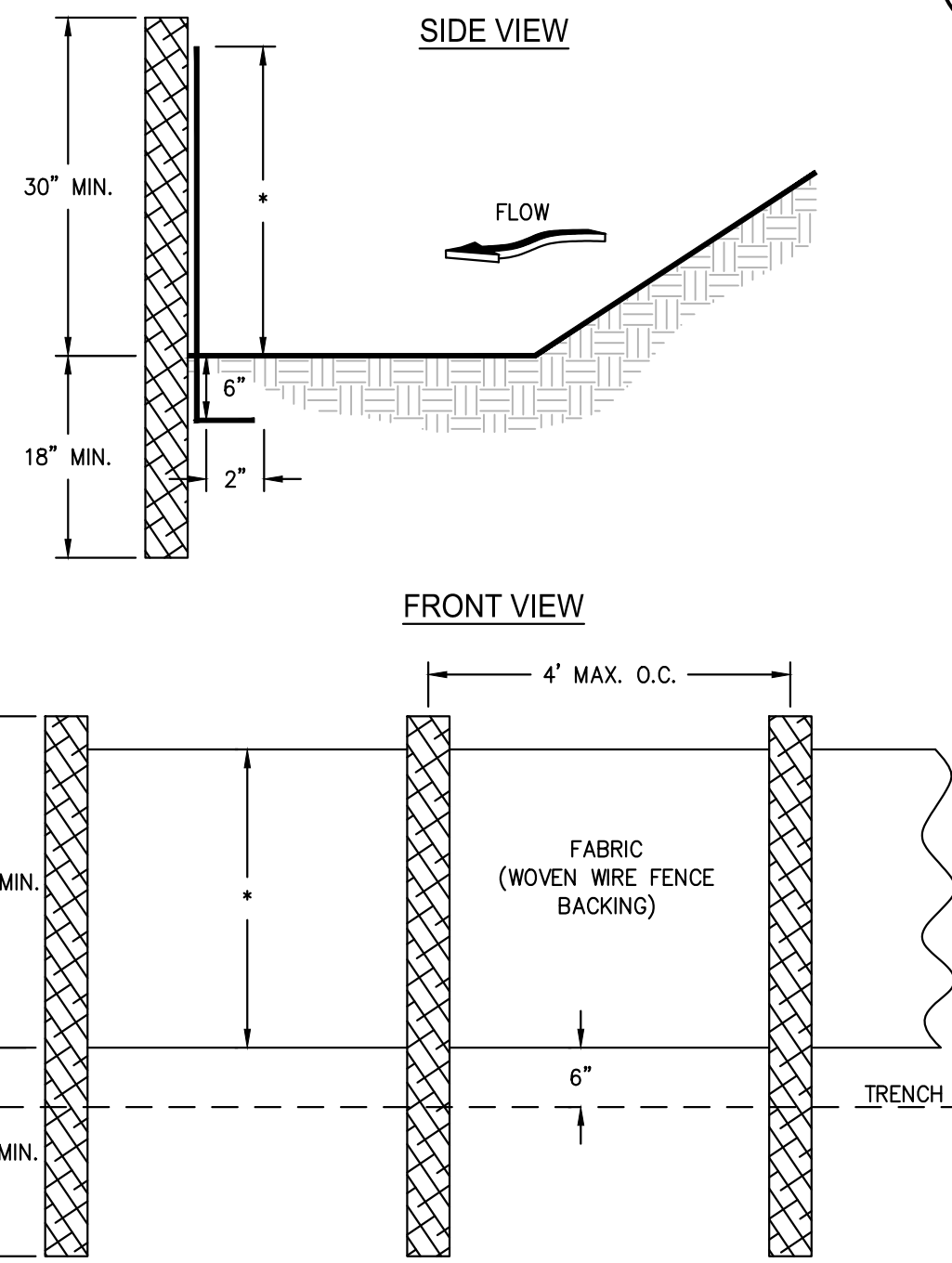
**811** Know what's below.  
 Call before you dig.  
 Dial 811.  
 Or Call 1.800.282.7411

24 HOUR CONTACT: MS. ANNA KHOKHLAN  
 404-569-1150



**SILT FENCE - TYPE SENSITIVE**

**Sd1-s**

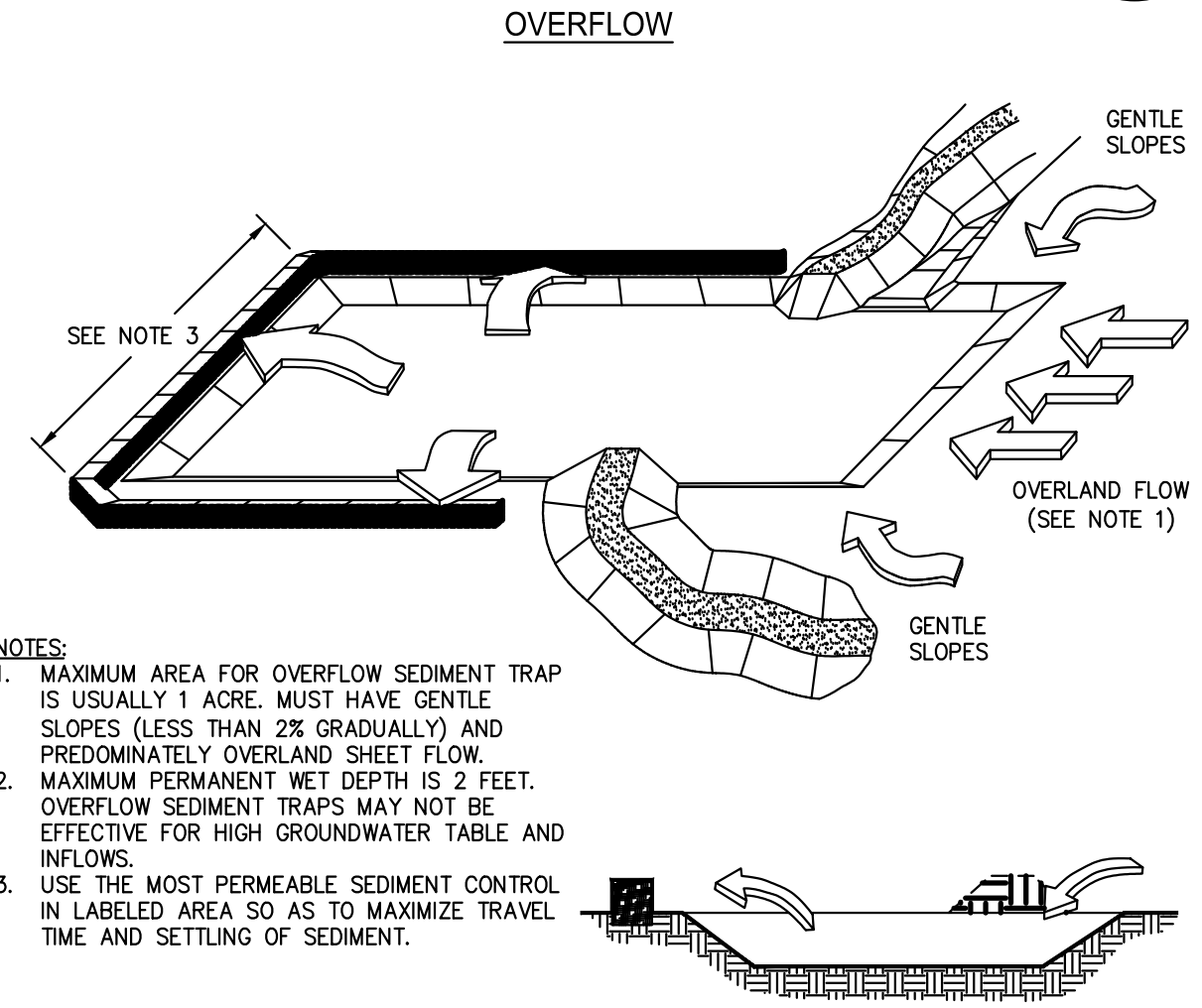


- NOTES:**  
 1. USE STEEL POSTS AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.  
 2. HEIGHT (\*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

**TEMPORARY SEDIMENT TRAP**

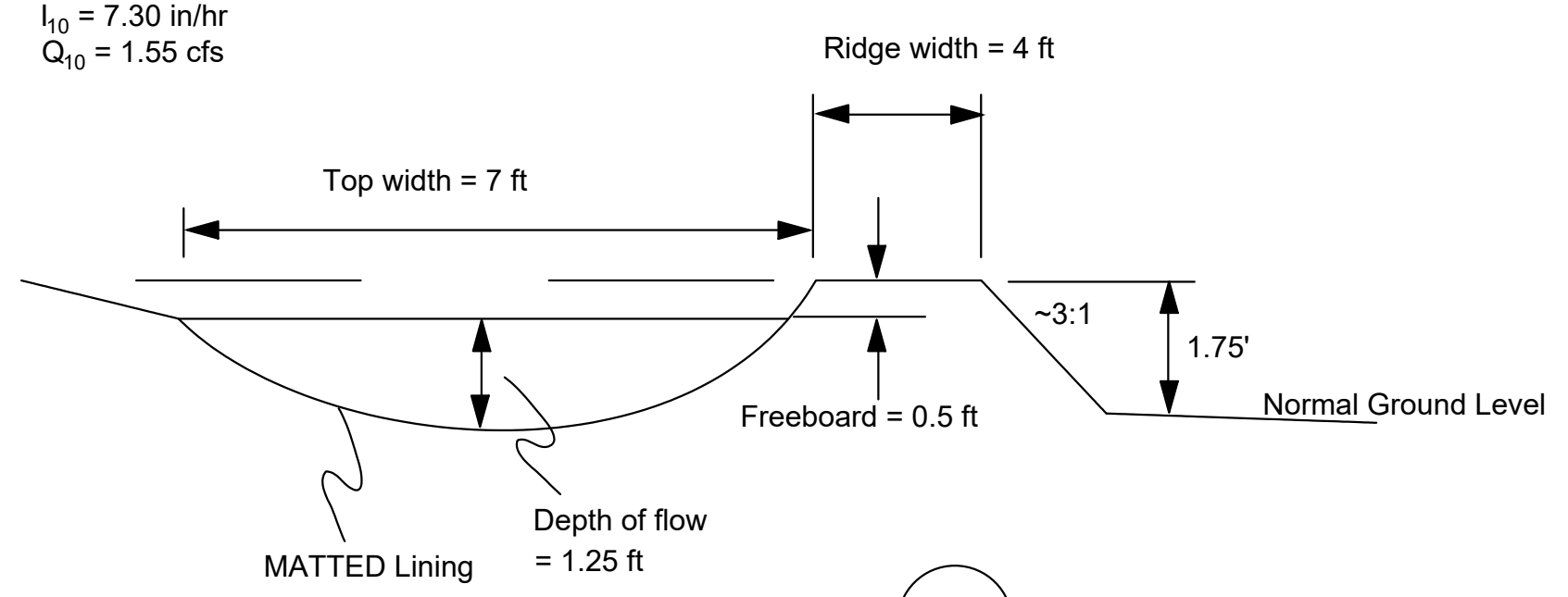
COURTESY OF CITY OF KNOXVILLE BMP EROSION AND SEDIMENT

**Sd4-A**



- NOTES:**  
 1. MAXIMUM AREA FOR OVERFLOW SEDIMENT TRAP IS USUALLY 1 ACRE. MUST HAVE GENTLE SLOPES (LESS THAN 2% GRADUALLY) AND PREDOMINATELY OVERLAND SHEET FLOW.  
 2. MAXIMUM PERMANENT WET DEPTH IS 2 FEET. OVERFLOW SEDIMENT TRAPS MAY NOT BE EFFECTIVE FOR HIGH GROUNDWATER TABLE AND INFLOWS.  
 3. USE THE MOST PERMEABLE SEDIMENT CONTROL IN LABELED AREA SO AS TO MAXIMIZE TRAVEL TIME AND SETTLING OF SEDIMENT.

DA = 0.53 AC  
 c = 0.40  
 T<sub>c</sub> = 5 min  
 I<sub>10</sub> = 7.30 in/hr  
 Q<sub>10</sub> = 1.55 cfs



**D1 DIVERSION DITCH DETAIL**

**DISTURBED AREA STABILIZATION VEGETATIVE PLAN**

**Ds1 Ds2 Ds3**

**GENERAL**

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGES FROM SEDIMENTATION AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

**SOIL CONDITIONS**

DUE TO GRADING AND CONSTRUCTION, THE AREA TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATA. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

**TREATMENT SPECIFICATIONS**

**HYDRAULIC SEEDING EQUIPMENT:**

WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED IN A HOMOGENEOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH A BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24-HOURS AFTER SEEDING. THE MULCH WILL BE UNIFORMLY SPREAD OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION IS AS FOLLOWS:

**A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)**

AGRICULTURAL LIMESTONE	4000 LBS./ACRE
FERTILIZER, 5-10-5	1500 LBS./ACRE
MULCH, STRAW OR HAY	5000 LBS./ACRE
WOOD CELLULOSE FIBER MULCH	1000 LBS./ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SERICA LESPEDeza, SCARIFIED	60 LBS.	3/1 - 6/15
WEEPING LOVEGRASS OR HULLED COMMON BERMUDAGRASS	4 LBS.	
	6 LBS.	
FESCUE SERICA LESPEDeza, UNSCARIFIED	40 LBS.	9/1 - 10/31
	60 LBS.	
FESCUE SERICA LESPEDeza, UNSCARIFIED	40 LBS.	11/1 - 2/28
	75 LBS.	
RYE	50 LBS.	
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

**B. TOPDRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL**

FERTILIZER (AMMONIUM NITRATE 33.5%)	300 LBS./ACRE
C. SECOND-YEAR FERTILIZER: (0-20-20 OR EQUIVALENT)	500 LBS./ACRE

**CONVENTIONAL SEEDING EQUIPMENT:**

GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED AND FIRMED. SEEDING WILL BE DONE WITH CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION IS AS FOLLOWS:

**A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)**

AGRICULTURAL LIMESTONE	4000 LBS./ACRE
FERTILIZER, 5-10-5	1500 LBS./ACRE
MULCH, STRAW OR HAY	5000 LBS./ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
HULLED COMMON BERMUDA GRASS	10 LBS.	3/1 - 6/15
FESCUE	50 LBS.	
FESCUE RYE GRASS	50 LBS.	11/1 - 2/28
	50 LBS.	
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

**B. TOPDRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL**

FERTILIZER (AMMONIUM NITRATE 33.5%)	300 LBS./ACRE
C. SECOND-YEAR FERTILIZER: (5-10-5 OR EQUIVALENT)	800 LBS./ACRE

**DEFINITION**

Controlling surface and air movement of dust from construction sites, roads, and demolition sites.

**PURPOSE**

- To prevent surface and air movement of dust from exposed soil surfaces.
- To reduce the presence of airborne substances which may be harmful or injurious to human health, welfare, or safety, or to animals or plant life.

**CONDITIONS**

This practice is applicable to areas subject to surface and air movement of dust where on and off-site damage may occur without treatment.

**METHOD AND MATERIALS**

**A. TEMPORARY METHODS**

**Mulches.** See standard Ds1 - Disturbed Area Stabilization (With Mulching Only). Synthetic resins may be used instead of asphalt to bind mulch material. Refer to standard Tb-Tackifiers and Binders. Resins such as Curasol or Terratac should be used according to manufacturer's recommendations.

**Vegetative Cover.** See standard Ds2 - Disturbed Area Stabilization (With Temporary Seeding).

**Spray-on Adhesives.** These are used on mineral soils (not effective on muck soils). Keep traffic off these areas. Refer to standard Tb-Tackifiers and Binders.

**Tillage.** This practice is designed to roughen and bring clods to the surface. It is an emergency measure which should be used before wind erosion starts. Begin, plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.

**Irrigation.** This is generally done as an emergency treatment. Site is sprinkled with water until the surface is wet. Repeat as needed.

**Barriers.** Solid board fences, snowfences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 15 times their height are effective in controlling wind erosion.

**Calcium Chloride.** Apply at rate that will keep surface moist. May need retreatment.

**B. PERMANENT METHODS**

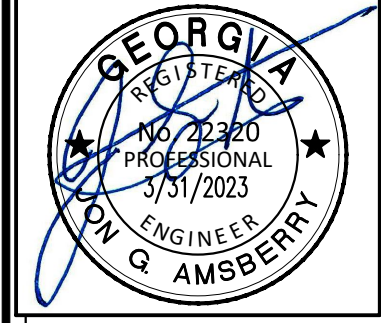
**Permanent Vegetation.** See standard Ds3-Disturbed Area Stabilization (With Permanent Vegetation). Existing trees and large shrubs may afford valuable protection if left in place.

**Topsoiling** This entails covering the surface with less erosive soil material. See standard Tp-Topsoiling.

**Stone.** Cover surface with crushed stone or coarse gravel. See standard Cr-Construction Road Stabilization.



CIVIL ENGINEERING CONSULTANT  
 JON G. AMSBERRY, P.E.  
 P.O. BOX 1556  
 LOGANVILLE, GEORGIA 30052  
 770.713.6186 Phone  
 amsberryconsulting@gmail.com



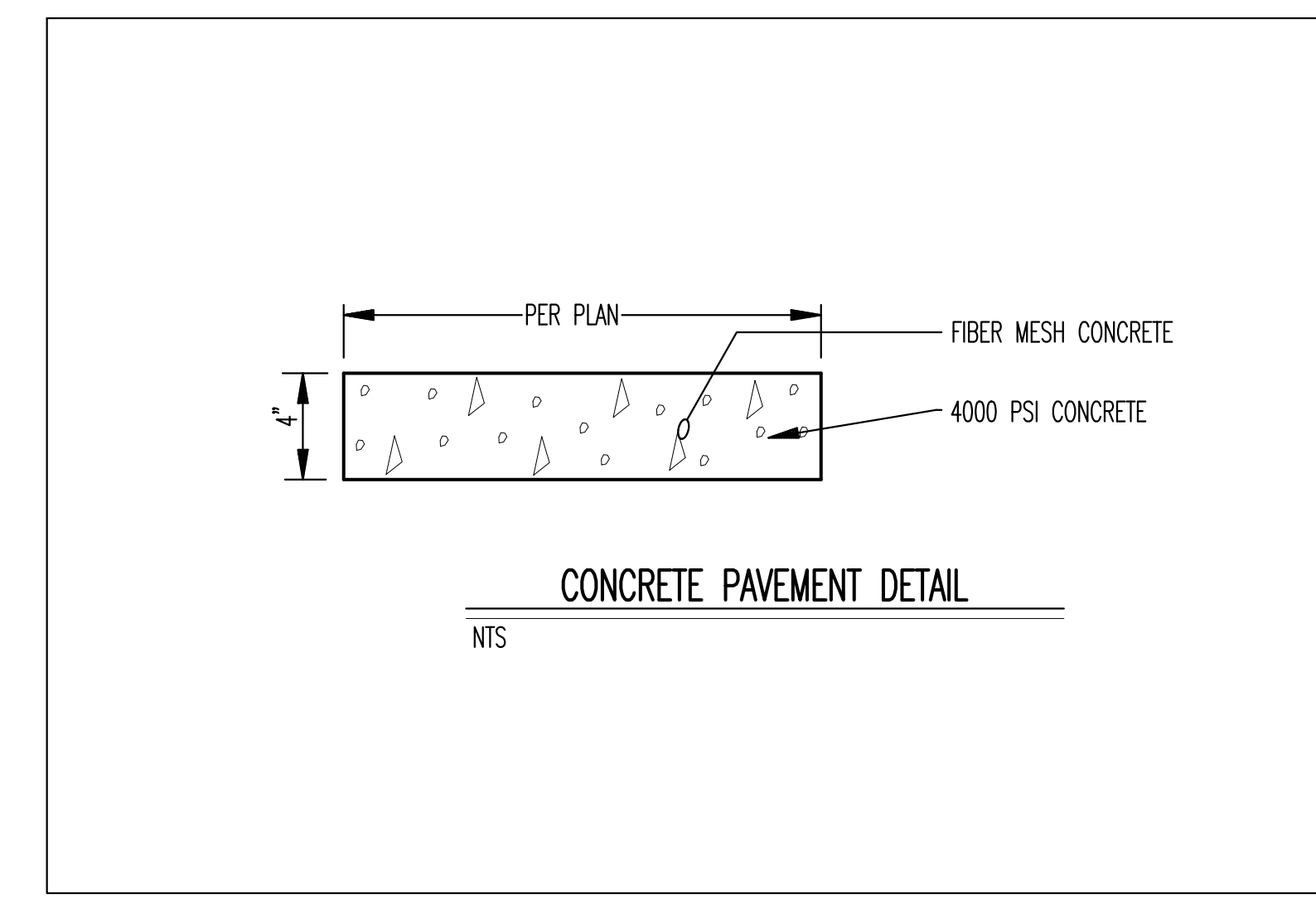
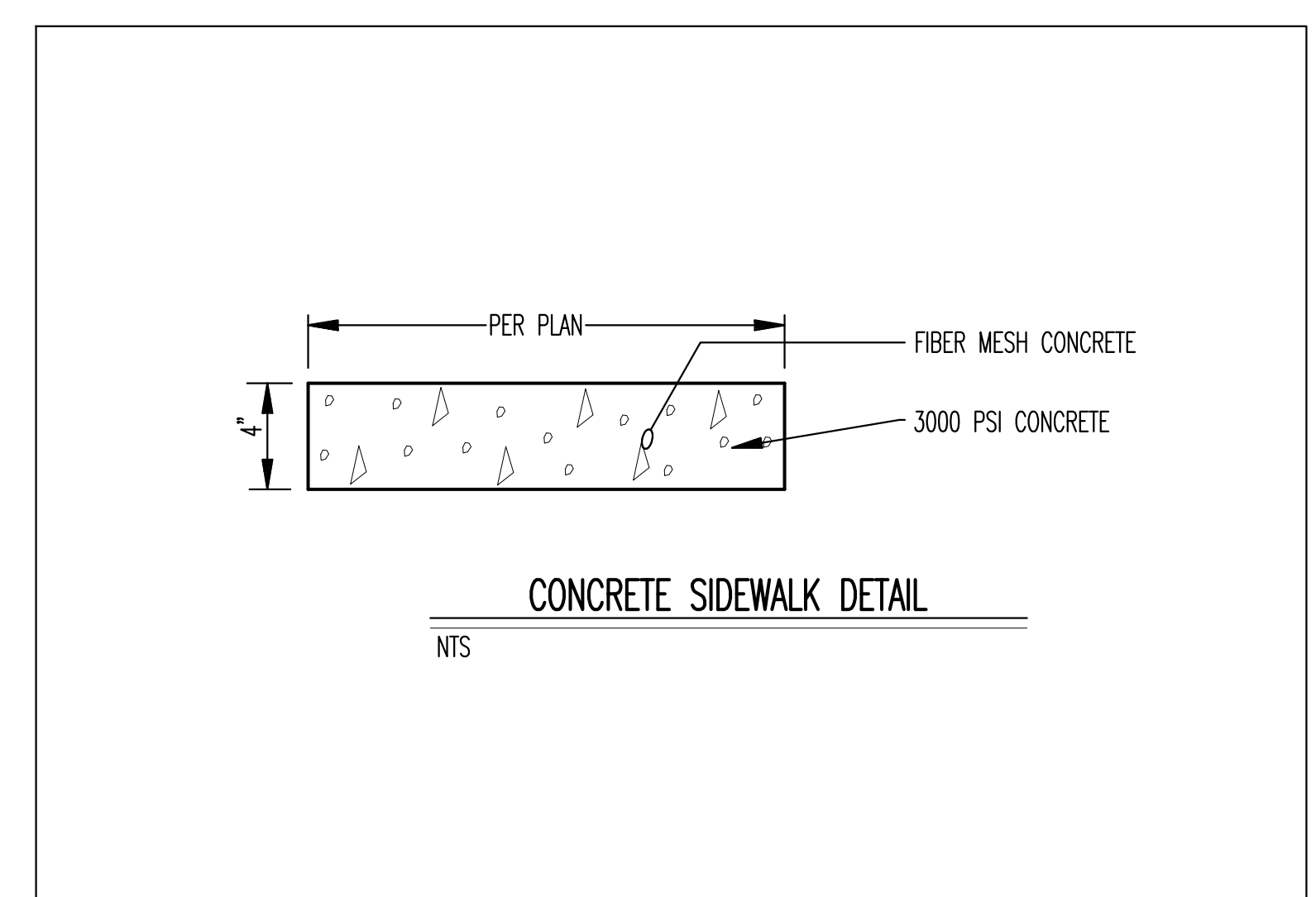
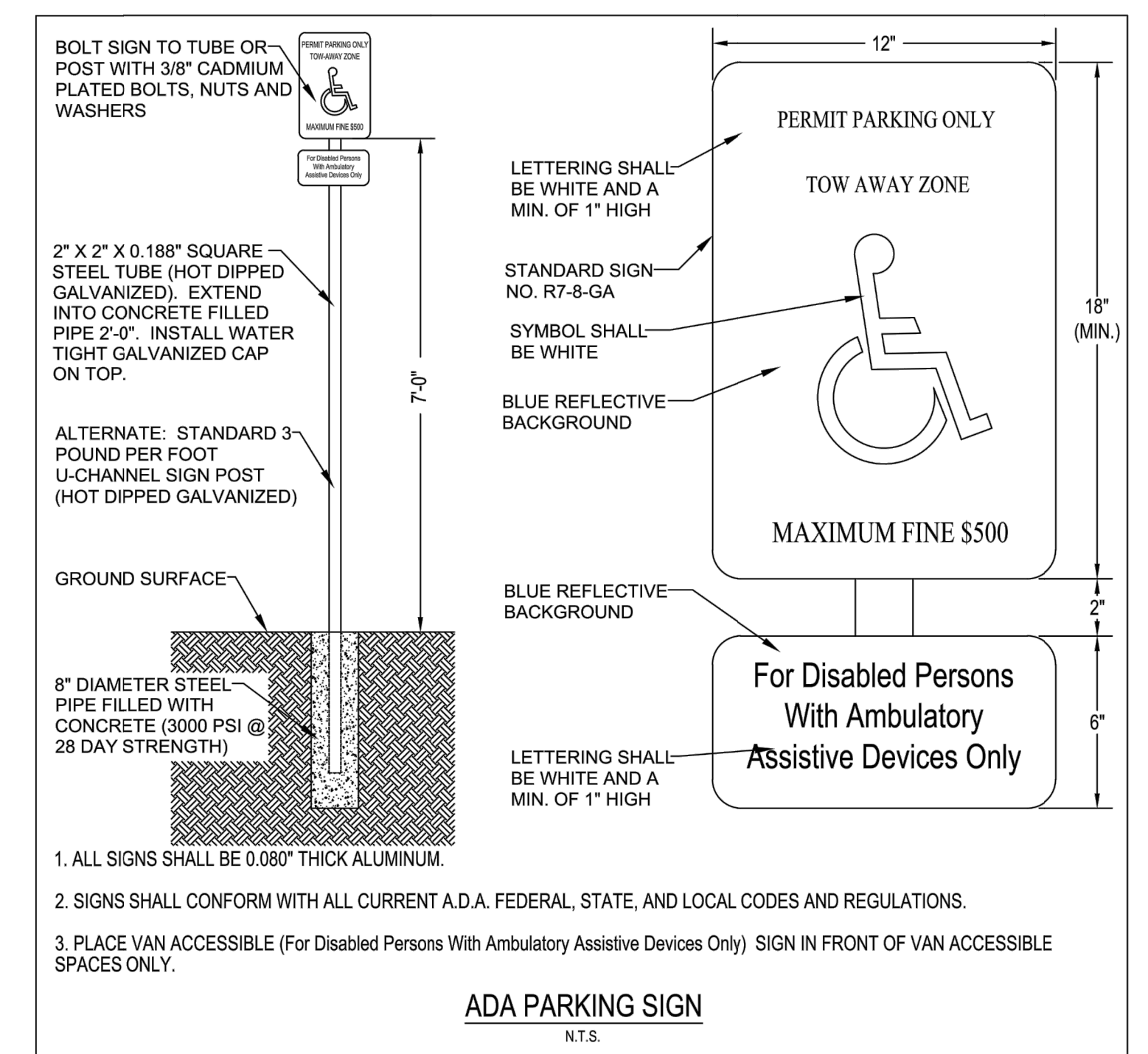
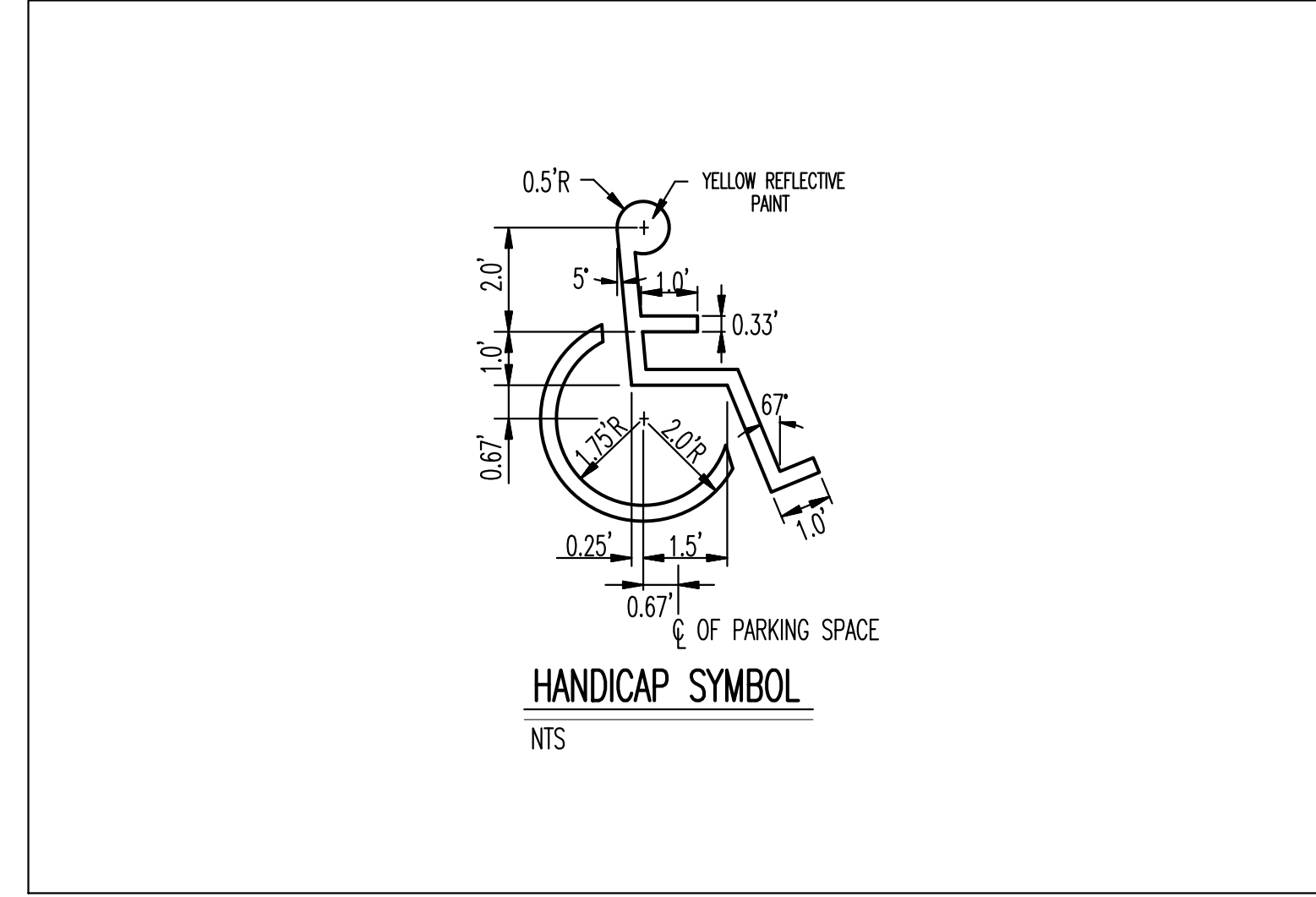
GASWCC LEVEL 2 CERTIFICATION  
 NO. 001389  
 EXPIRES 11-22-2023

**Landworks Associates, Inc.**  
 P.O. BOX 88834  
 ATLANTA, GEORGIA 30356  
 (770) 513-7100  
 environments2013@gmail.com  
 "Celebrating 30 Years of Providing Dedicated Service to Our Clients!"

**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
 LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
 CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE  
**CONSTRUCTION DETAILS**  
 DATE: 03-10-22  
 JOB: 567-220202  
 DRW: WJC  
 CHK: JGA

SHEET NUMBER  
**C-10**



NO.	DESCRIPTION	DATE

CIVIL ENGINEERING CONSULTANT  
 JON G. AMSBERRY, P.E.  
 P.O. BOX 1556  
 LOGANVILLE, GEORGIA 30052  
 770.713.6186 Phone  
 amsberry.consulting@gmail.com



GASWCC LEVEL 2 CERTIFICATION  
 NO. 001389  
 EXPIRES 11-22-2023

**Landworks Associates, Inc.**  
 P.O. BOX 88834  
 ATLANTA, GEORGIA 30356  
 (770) 513-7100 environments2020@gmail.com  
 \*Celebrating 30 Years Of Providing Dedicated Service To Our Clients!\*

SITE DEVELOPMENT PLANS FOR:  
**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
 LAND LOT 367, 18TH DISTRICT, PARCEL 04B,  
 CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE  
**CONSTRUCTION DETAILS**  
 DATE: 03-10-22  
 JOB: 567-220202  
 DRW: WJC  
 CHK: JGA

SHEET NUMBER  
**C-11**



# ANDERSEN | TATE | CARR

March 30, 2023

## SUPPLEMENTAL LETTER

### **City of Dunwoody, Georgia**

#### **Applicant:**

Anna and Roman Khokhlan

#### **Property:**

Tax Parcel IDs 18 367 01 048  
±.47 Acres of Land  
Located at 1822 Mount Vernon Road,  
Dunwoody Dekalb County, Georgia

#### **Submitted for Applicant by:**

Anre' D. Washington, Esq.  
ANDERSEN TATE & CARR, P.C.  
One Sugarloaf Centre  
1960 Satellite Blvd.  
Suite 4000  
Duluth, Georgia 30097  
770.822.0900  
[awashington@atclawfirm.com](mailto:awashington@atclawfirm.com)

Dear Mayor, City Council, and City Attorney:

The purpose of this Supplemental Letter is for the following reasons: 1) outline the amendments to the site plan to address concerns heard at the public hearing; 2) provide additional details regarding the development; and, 3) raise constitutional objections to reserve all rights to claims for relief for the Legacy Personal Care Home's ("Legacy Manor") current pending Special Land Use Permit application for a property located at 1822 Mount Vernon Road, Dunwoody, Dekalb County, Georgia. The SLUP request is consistent with the City of Dunwoody's code and future land use plan. The Applicant requests a SLUP to build a home for up to seven seniors to reside with the necessary professional care.

The value basis of this request and Legacy Manor's business is to provide disabled seniors with a home to age in place with dignity and peace of mind. During the public hearing, several issues were raised outside of land use, but within land use, there were questions regarding lot coverage, parking, and buffers. The Applicant has amended the site plan to address those issues.

First, The Applicant reduced the site's lot coverage from approximately 43% to 38%. A typical residential structure in Dunwoody would only permit 35%, and SLUP permit as much as 60% coverage. This development falls marginally close to a standard residential building. This site simply encloses an area previously open-air to increase the footprint of the building.

Second, following public concerns that additional parking would "look too commercial," the Applicant withdrew a request for an additional three parking and has agreed to limit parking to four parking spots with one Americans with Disability Act (ADA) compliant parking space. This change is to keep this site consistent with the residential "look and feel" of Mount Vernon Road. Relatedly, the site plan fits with all necessary setbacks, does not over-incorporate impervious surfaces, and is not taller than permitted by the code. Further, with regard to resident and visitor parking, none of the residents drive, and in the two decades of its operation, Legacy Manor has not ever had any citations from police or complaints from visitors related to improper or insufficient parking.

Third, the Applicant has crafted an enhanced landscaping plan to build a private, environmentally friendly, high-quality building. As part of this request, the Applicant has submitted a drainage plan to resolve the issues from the previous structure, mitigate runoff, and ensure no negative impact on neighboring properties. Finally, for additional privacy, the Applicant has agreed to a transitional vegetative buffer along residential properties and a vegetative buffer along Mount Vernon Road.

In closing, to the extent the Mayor and City Council refuse to grant the Special Land Use Permit, the Applicant reserves the right to file suit based on the Equal Protection Clause of the 14<sup>th</sup> Amendment of the United States Constitution, the Fair Housing Act, the Americans with Disabilities Act, Equal Protection Clause Article I Section 1 Paragraph II of the Georgia Constitution and all other relevant state and federal protections. Regrettably, throughout this process, from letters, to community meetings, and public hearings, many objections, questions, and comments were outside the legal basis for a land-use decision. Accordingly, this letter serves as notice that a denial could lead to subsequent litigation.

Respectfully submitted this 30<sup>th</sup> day of March, 2023.

**ANDERSEN, TATE & CARR, P.C.**

**Anre' D. Washington**

Anre' D. Washington, Esq.

# ANDERSEN | TATE | CARR

March 13, 2023

## CONSTITUTIONAL OBJECTIONS

### **Special Land Use Permit City of Dunwoody, Georgia**

#### **Applicant:**

Anna and Roman Khokhlan

#### **Property:**

Tax Parcel IDs 18 367 01 048

±.47 Acres of Land

Located at 1822 Mount Vernon Road,  
Dunwoody Dekalb County, Georgia

**For the Development and Elder and Personal Care Facility for Seniors**

#### **Submitted for Applicant by:**

Anre' D. Washington, Esq.

ANDERSEN TATE & CARR, P.C.

One Sugarloaf Centre

1960 Satellite Blvd.

Suite 4000

Duluth, Georgia 30097

770.822.0900

[awashington@atclawfirm.com](mailto:awashington@atclawfirm.com)

## **I. JUSTIFICATION FOR SPECIAL LAND USE PERMIT**

The portions of the City of Dunwoody Unified Development Ordinance, as amended, (the “UDO”) which classify or may classify the Subject Property which is the subject of the Special Land USE Permit (SLUP) rezoning application into any more or less intensive zoning classification, development and/or conditions other than as requested by the Applicant are, and would be, unconstitutional in that they would destroy the Applicant's property rights without first paying fair, adequate and just compensation for such rights, in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983, the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

The application of the UDO, as applied to the Subject Property, which restricts its use to the present zoning classification, is unconstitutional, illegal, null and void, constituting a taking of the Applicant's property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States, Article I, Section I, Paragraphs I and II of the Constitution of the State of Georgia of 1983, and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States denying the Applicant any economically viable use of the Subject Property while not substantially advancing legitimate state interests. Under *Lathrop v. Deal*, the application of the UDO in a way that constitutes a taking shall be deemed a waiver of sovereign immunity.<sup>1</sup>

The Subject Property is presently suitable for development under the R-100 SLUP zoning classification as requested by the Applicant and is not economically suitable for development under its present RM zoning classification of City of Dunwoody County. A denial of the requested rezoning would constitute an arbitrary and capricious act by the Mayor and City Council without any rational basis therefore, constituting an abuse of discretion in violation of Article I, Section I, Paragraphs I and II of the Constitution of the State of Georgia of 1983 and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

A refusal by the City of Dunwoody Mayor and City Council to grant the SLUP the Subject Property to R-100 zoning classification, with only such additional conditions as agreed to by the Applicant, so as to permit the only feasible economic use of the Subject Property, would be unconstitutional and discriminate in an arbitrary, capricious and unreasonable manner between the Applicant and owners of similarly situated property in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution.

Any rezoning of the Subject Property to the R-100 classification without the SLUP, subject to conditions which are different from the requested conditions by which the Applicant may amend its application, to the extent such different conditions would have the effect of further restricting the Applicant's utilization of the Subject Property, would also constitute an arbitrary, capricious and discriminatory act in zoning the Subject Property to an unconstitutional classification and would likewise violate each of the provisions of the State and Federal Constitutions as set forth hereinabove.

---

<sup>1</sup> *Lathrop v. Deal*, 301 Ga 408, 880-881 S.E. 2d 867 (2017)

Respectfully submitted this 13<sup>th</sup> day of March, 2022.

**ANDERSEN, TATE & CARR, P.C.**

*Anre' D. Washington*

Anre' D. Washington, Esq.

Enclosures

# HYDROLOGY REPORT

For

## Legacy Manor Personal Care Home

1822 Mount Vernon Road  
Dunwoody, Georgia

*Prepared By:*

**Landworks Associates, Inc**

P.O. Box 88834  
Atlanta, Georgia 30356

Jon G. Amsberry, PE  
Engineering Consultant  
1737 Rivermist Dr., SW  
Lilburn, Georgia 30047  
770.713.6186 Ph  
jonamsberry@gmail.com

March 11, 2023



3/11/2023

**TABLE OF CONTENTS**

	<b>PAGE</b>
PURPOSE .....	3
SITE DESCRIPTION .....	3
HYDROLOGY .....	3
STORMWATER MANAGEMENT STANDARDS .....	3
CONCLUSION.....	5
EXECUTIVE SUMMARY .....	6
INPUT PARAMETERS.....	7

**LIST OF FIGURES**

<u>FIGURE NO.</u>	<u>DESCRIPTION</u>
1	Site Location
2	Pre-Developed Drainage Map
3	Post-Developed Drainage Map
4	Drainage Plan
5	Drainage Details
Appendix A	Water Quality & Channel Protection Calculations
Appendix B	Hydrographs
Appendix C	Misc. Information
Appendix D	Operation and Maintenance Plan

## PURPOSE

The purpose of this study is to analyze the stormwater management requirements for a Personal Care Home project located in the City of Dunwoody, Georgia. The proposed site must meet regulations set forth by the City of Dunwoody.

## SITE DESCRIPTION

The site is located at 1822 Mount Vernon Road in the City of Dunwoody. The project site was previously a residential single family lot designated as Lot 36 of Mount Vernon North Subdivision. The subdivision was created in 1968.

The existing site consists of 0.47 acres. Basin A contains 0.19 acres draining to the right-of-way of Mount Vernon Road. Basin B contains 0.28 acres draining to the north to Lot 32 of Mount Vernon North Subdivision located at 1563 Vernon Way Court.

The re-developed site will remain a 0.47 acre tract. Basin A will consist of 0.06 acres draining to the right-of-way of Mount Vernon Road. Basin B will consist of 0.41 acres draining to the north with discharge towards 1563 Vernon Court Way.

Existing Basin A contains 4,525 sq. ft. of impervious surface area with a weighted Rational C Factor of 0.612. Developed Basin A will contain 477 sq. ft. of impervious surface area with a weighted Rational C Factor of 0.363

Existing Basin B contains 4,608 sq. ft. of impervious surface area with a weighted Rational C Factor of 0.493. Developed Basin B will contain 8,532 sq. ft. of impervious surface area with a weighted Rational C Factor of 0.563.

## STORMWATER MANAGEMENT STANDARDS

In accordance with city of Dunwoody requirements the site design for this project will follow the performance standards set forth in the Georgia Stormwater Management Manual.

### *STANDARD #1 – NATURAL RESOURCE INVENTORY*

The project site is a previously developed single family residential lot. The site has moderate grades gently sloping away from the existing structure. There are few trees over ten inches in diameter existing on the site. These trees will be protected during construction. The site currently contains 11,340 sq. ft. of landscaped permeable area. The developed site will contain 11,464 sq. ft. of landscaped permeable area. As such, the development will provide an increase of landscaped permeable area.

An examination of the U.S. Fish & Wildlife Services National Wetlands Map and site visits to the project location show no apparent wetlands on the subject property.

The NRCS Web Soil Survey was examined regarding the soil type on the project site. The soil on the site is Cecil-Urban land complex. This soil type typically has slopes of 2 to 10 percent, is well drained, has a Ksat in the range of 0.57 to 1.98 in/hr and is within Hydrologic Soil Group B and has a low to moderate susceptibility to rill and sheet erosion with a K factor of 0.20.

FEMA Map 13089C0005K dated August 19, 2019 was examined to determine if the project site was located within a Flood Hazard Area. This parcel does not lie within a flood hazard zone in accordance with the above map.



***STANDARD #2 – BETTER SITE DESIGN PRACTICES***

The project will include stormwater management that will seek to mitigate anticipated development flow conditions for quantity with the proposed development. The small developable area makes it difficult to provide non-structural methods to control, treat and attenuate the post-development storm flows.

***STANDARD #3 – RUNOFF REDUCTION***

Runoff Reduction of the first 1 inch of storm water will be provided with an infiltration type dry well system. The dry well system will be located within Developed Basin B and will compensate for 100% of the site impervious from both basins.

***STANDARD #4 – WATER QUALITY***

Water quality is met in accordance with City of Dunwoody and Georgia Stormwater Management Manual requirements through the achievement of 100% runoff reduction.

***STANDARD #5 – STREAM CHANNEL PROTECTION***

The developed peak discharge for the 1-year, 24-hour rain event will not exceed 2.0 cfs. Per section 2.2.4.2 of the GSMM, control of the Channel Protection Volume is not required. However, post developed flows will be dissipated through a level spreader device to create a sheet flow condition.

***STANDARD #6 – OVERBANK FLOOD PROTECTION***

The dry well facility design includes an oversize underground trench to provide for the reduction of peak flows for the 2-year through 25-year design storm events to rates below the existing flows within Basin B. Basin A flows will be reduced due to the elimination of drainage area and impervious surfaces discharging from that basin.

***STANDARD #7 – EXTREME FLOOD PROTECTION***

The project design reduces the peak flow rates for the 50-year and 100-year design storm events to rates below existing conditions. These flows will be conveyed to the existing regional detention facility which will attenuate flows for the overall industrial park below pre-developed rates.

***STANDARD #8 – DOWNSTREAM ANALYSIS***

The existing property is on a ridge line discharging in two directions. The reduction of peak flows well below existing flows, including the attenuation of hydrograph timing added to the sheet flow discharge dissipation will result in reduced immediate and downstream impacts on the immediate adjacent property. The adjacent property discharges into Vernon Way Court. The reduced effect immediately downstream will have a carry over effect to and beyond the 10% study point. Thereby reducing downstream effects within the overall basin.

***STANDARD #9 – CONSTRUCTION EROSION AND SEDIMENTATION CONTROL***

The construction plans include an Erosion, Sedimentation and Pollution Control Plan for the proposed project. Installation and proper implementation of the BMPs as directed on the plans is expected to prevent sediment and pollution transport from the project site.

**STANDARD #10 – STORMWATER MANAGEMENT SYSTEM OPERATION AND MAINTENANCE**

An operation and maintenance plan and schedule is included within the appendix of this report.

**STANDARD #11 – POLLUTION PREVENTION**

Prevention of pollutant transport from the project site during construction is listed within the appropriate BMPs on the construction plans. Proper inspection and maintenance of the stormwater management system as outlined in the O&M schedule is expected to prevent pollutant transport off-site.

**STANDARD #12 – STORMWATER MANAGEMENT SITE PLAN**

The stormwater management site plan is included with the construction documents.

**CONCLUSION**

The facilities as shown on the construction documents associated with this report will meet and/or exceed the requirements set forth by the City of Dunwoody for Stormwater Management if constructed in accordance with the permitted plans.

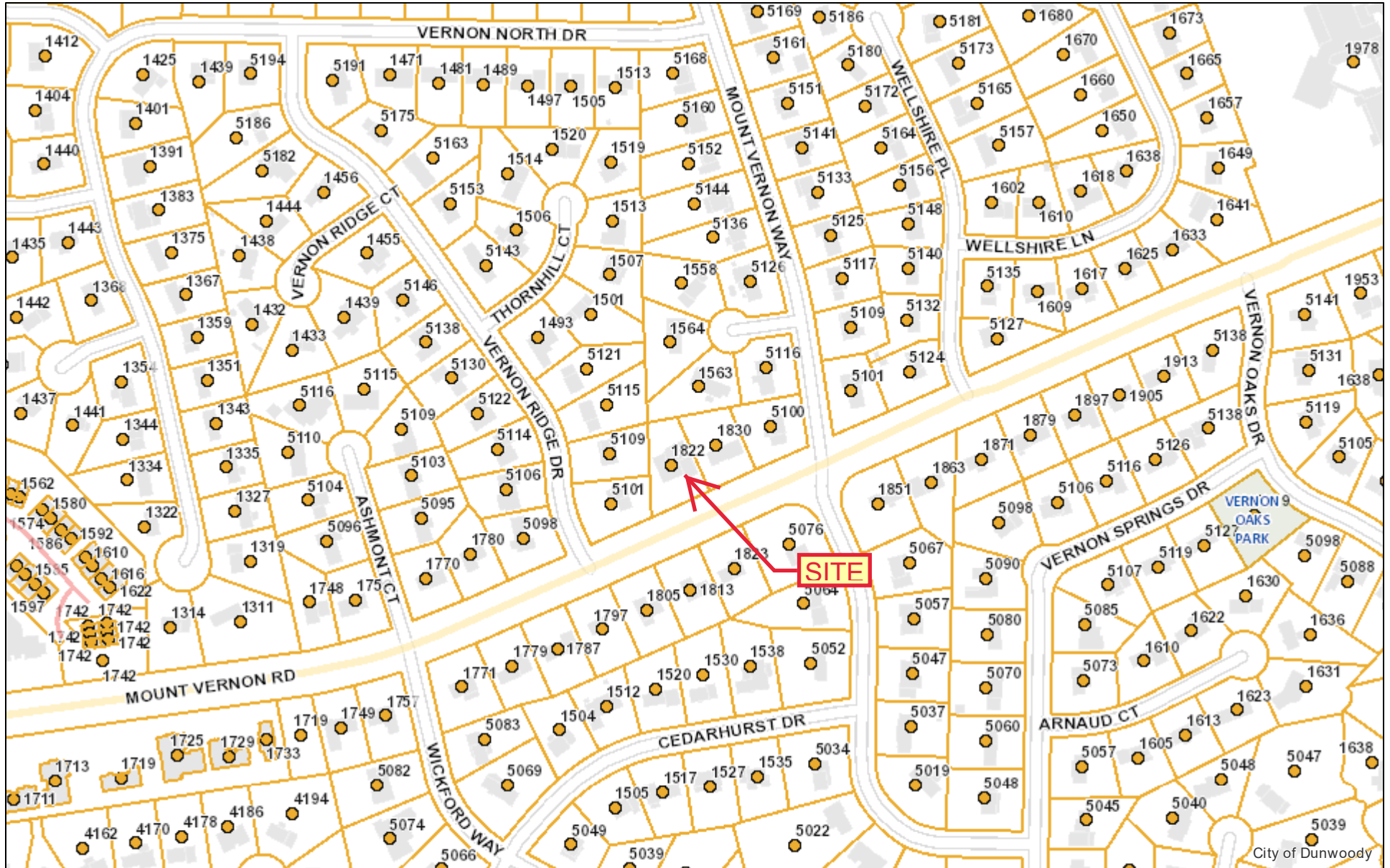
# EXECUTIVE SUMMARY

## Flow Summary

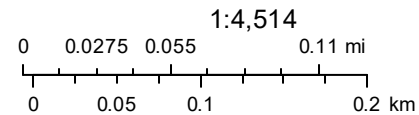
Existing C x A Basin A = **0.114**  
 Existing C x A Basin B = **0.140**  
 Developed C x A Basin A = **0.023**  
 Developed C x A Basin B = **0.229**

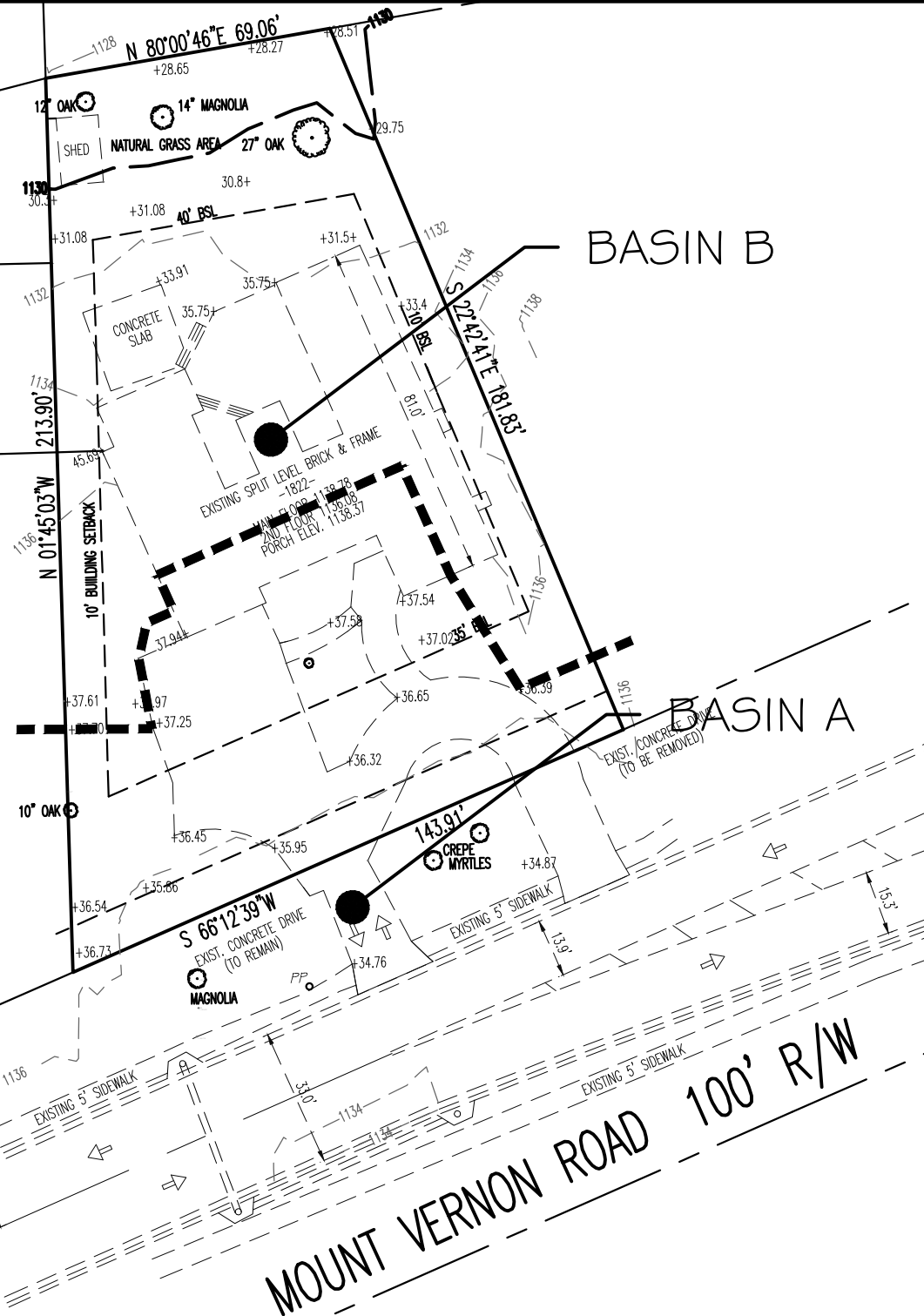
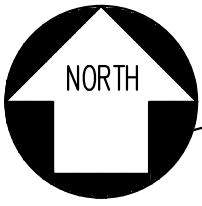
Basin	Design Storm Event (yrs)	Storm Intensity (in/hr)	Existing Peak Flows (cfs)	Developed Peak Flows (cfs)	Detention Required? (Yes/No)	Routed Peak Flows (cfs)	Pond Elevation (ft)	Pond Storage (cft)
<b>Basin A</b>	1	4.88	0.56	0.11	No			
	2	5.62	0.64	0.13	No			
	5	6.85	0.78	0.16	No			
	10	7.91	0.90	0.18	No			
	25	9.42	1.07	0.22	No			
	50	10.60	1.21	0.24	No			
	100	11.90	1.36	0.27	No			
<b>Basin B</b>	1	4.88	0.68	1.12	Yes	0.00	924.00	987
	2	5.62	0.79	1.29	Yes	0.02	927.74	1138
	5	6.85	0.96	1.57	Yes	0.30	928.03	1207
	10	7.91	1.11	1.81	Yes	0.47	928.16	1240
	25	9.42	1.32	2.16	Yes	0.83	928.45	1308
	50	10.60	1.48	2.43	Yes	1.25	928.67	1361
	100	11.90	1.67	2.73	Yes	1.60	928.93	1424

<b>INPUT PARAMETERS</b>			
<b>Existing Site Basin A</b>			
	<u>AREA</u>	<u>C (Rational)</u>	<u>CN (NRCS)</u>
Impervious	<b>4,525</b> sf	<b>0.900</b>	<b>98</b>
Landcaped	<b>3,607</b> sf	<b>0.250</b>	<b>61</b>
	<b>8,132</b> sf	<b>0.612</b>	<b>82</b>
	<b>0.19</b> ac		
Rational Method CxA =	<b>0.114</b>		
<b>Existing Site Basin B</b>			
	<u>AREA</u>	<u>C (Rational)</u>	<u>CN (NRCS)</u>
Impervious	<b>4,608</b> sf	<b>0.900</b>	<b>98</b>
Landcaped	<b>7,733</b> sf	<b>0.250</b>	<b>61</b>
	<b>12,341</b> sf	<b>0.493</b>	<b>75</b>
	<b>0.28</b> ac		
Rational Method CxA =	<b>0.140</b>		
<b>Developed Site Basin A</b>			
	<u>AREA</u>	<u>C (Rational)</u>	<u>CN (NRCS)</u>
Impervious	<b>477</b> sf	<b>0.900</b>	<b>98</b>
Landcaped	<b>2,261</b> sf	<b>0.250</b>	<b>61</b>
	<b>2,738</b> sf	<b>0.363</b>	<b>67</b>
	<b>0.06</b> ac		
Rational Method CxA =	<b>0.023</b>		
<b>Developed Site Basin B</b>			
	<u>AREA</u>	<u>C (Rational)</u>	<u>CN (NRCS)</u>
Impervious	<b>8,532</b> sf	<b>0.900</b>	<b>98</b>
Landcaped	<b>9,203</b> sf	<b>0.250</b>	<b>61</b>
	<b>17,735</b> sf	<b>0.563</b>	<b>79</b>
	<b>0.41</b> ac		
Rational Method CxA =	<b>0.229</b>		



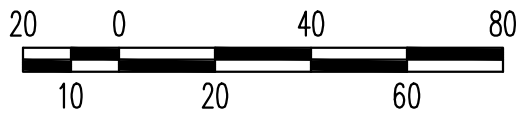
The City of Dunwoody does not warrant the accuracy or currency of the map provided and does not guarantee the suitability of the map for any purpose, expressed or implied.





# EXISTING CONDITIONS

SCALE: 1"=40'



## Landworks Associates, Inc.

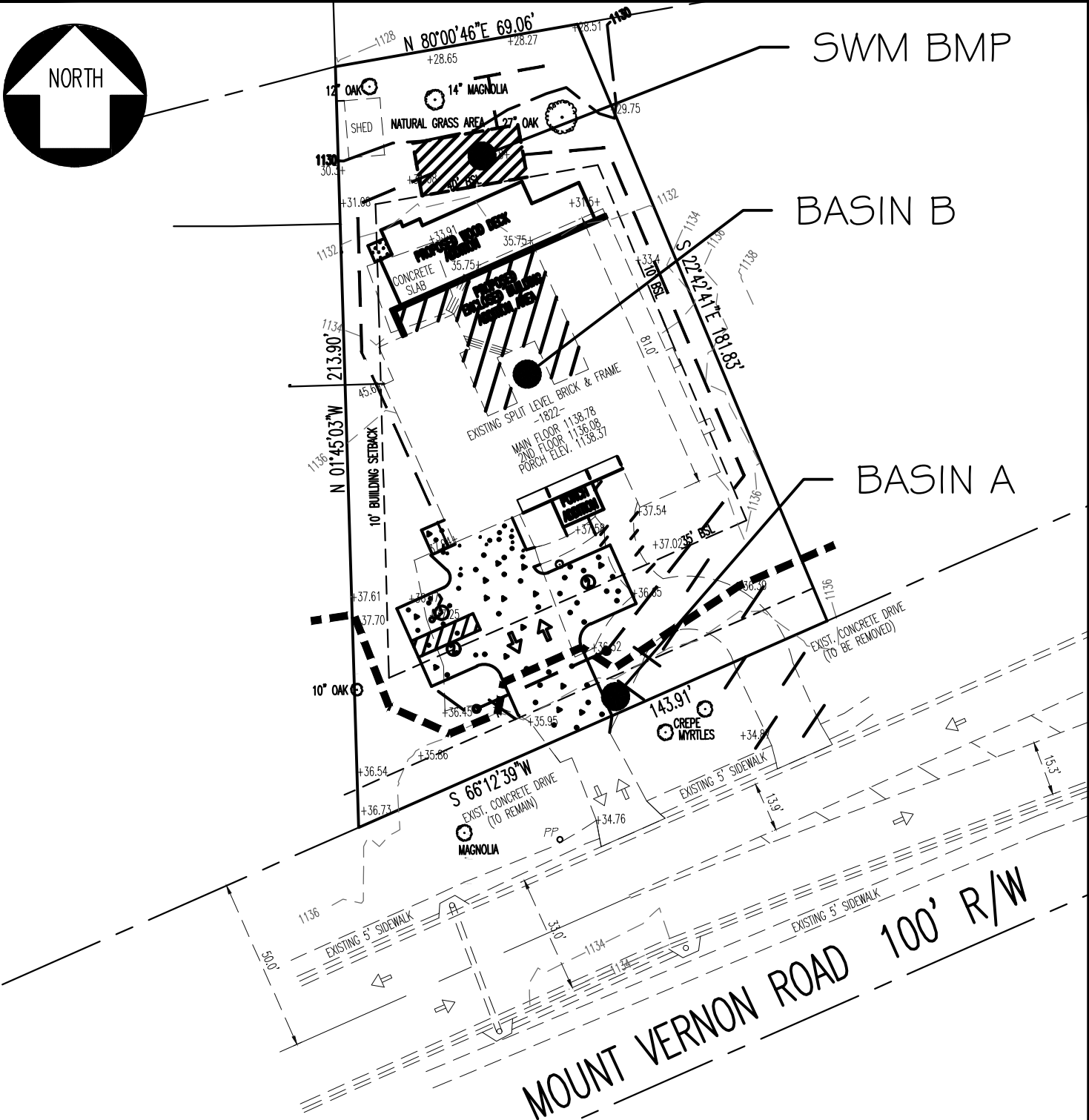
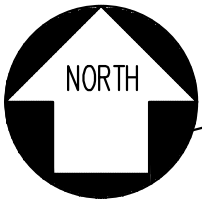
P.O. BOX 8834  
 ATLANTA, GEORGIA 30356  
 PHONE: (770) 513-7100



1822 Mount Vernon Road  
 City of Dunwoody, GA

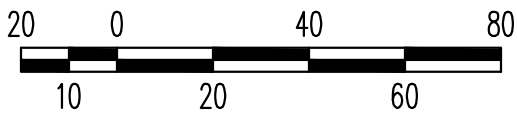
DATE	3-11-23
PROJECT NO.	
DRAWN BY:	JGA
CHECKED BY:	JGA

Packet page:...



DEVELOPED  
CONDITIONS

SCALE: 1"=40'



Landworks Associates, Inc.

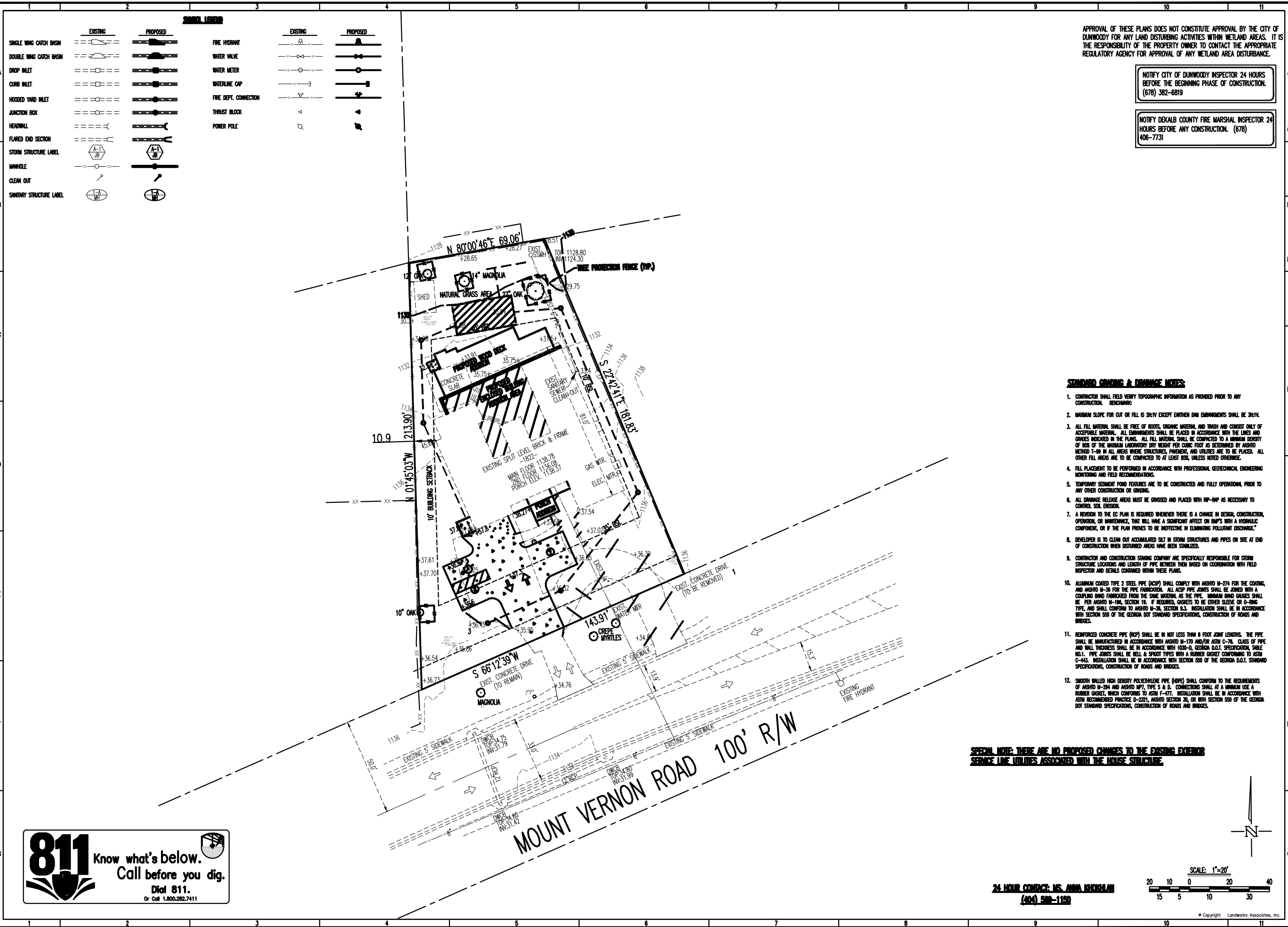
P.O. BOX 8834  
ATLANTA, GEORGIA 30356  
PHONE: (770) 513-7100



1822 Mount Vernon Road  
City of Dunwoody, GA

DATE	3-11-23
PROJECT NO.	
DRAWN BY:	JGA
CHECKED BY:	JGA

Packet page:...



APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

NOTIFY DEKALB COUNTY FIRE MARSHAL INSPECTOR 24 HOURS BEFORE ANY CONSTRUCTION. (678) 406-7731

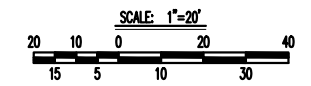
**STANDARD GRADING & DRAINAGE NOTES:**

- CONTRACTOR SHALL FIELD VERIFY TOPOGRAPHIC INFORMATION AS PROVIDED PRIOR TO ANY CONSTRUCTION. BENCHMARK:
- MINIMUM SLOPE FOR CUT OR FILL IS 2% EXCEPT EARTHEN DAM EMBANKMENTS SHALL BE 3%.
- ALL FILL MATERIAL SHALL BE FREE OF ROOTS, ORGANIC MATERIAL AND TRASH AND CONSIST ONLY OF ACCEPTABLE MATERIAL. ALL EMBANKMENTS SHALL BE PLACED IN ACCORDANCE WITH THE LINES AND GRADINGS INDICATED IN THE PLANS. ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE MAXIMUM LABORATORY DRY WEIGHT PER CUBIC FOOT AS DETERMINED BY ASTM METHOD T-99 IN ALL AREAS WHERE STRUCTURES, PAVEMENT, AND UTILITIES ARE TO BE PLACED. ALL OTHER FILL AREAS ARE TO BE COMPACTED TO AT LEAST 90%, UNLESS NOTED OTHERWISE.
- FILL PLACEMENT TO BE PERFORMED IN ACCORDANCE WITH PROFESSIONAL GEOTECHNICAL ENGINEERING MONITORING AND FIELD RECOMMENDATIONS.
- TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- ALL DRAINAGE RELEASE AREAS MUST BE GROSSED AND PLACED WITH RIP-RAP AS NECESSARY TO CONTROL SOIL EROSION.
- A REVISION TO THE EC PLAN IS REQUIRED WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, THAT WILL HAVE A SIGNIFICANT AFFECT ON BMP'S WITH A HYDRAULIC COMPONENT, OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING POLLUTANT DISCHARGE.
- DEVELOPER IS TO CLEAN OUT ACCUMULATED SILT IN STORM STRUCTURES AND PIPES ON SITE AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- CONTRACTOR AND CONSTRUCTION STAGING COMPANY ARE SPECIALLY RESPONSIBLE FOR STORM STRUCTURE LOCATIONS AND LENGTH OF PIPE BETWEEN THEM BASED ON COORDINATION WITH FIELD INSPECTOR AND DETAILS CONTAINED WITHIN THESE PLANS.
- ALUMINUM COATED TYPE 2 STEEL PIPE (ACSP) SHALL COMPLY WITH ASTM A-274 FOR THE COATING, AND ASTM A-36 FOR THE PIPE FABRICATION. ALL ACSP PIPE JOINTS SHALL BE JOINED WITH A COUPLING BOND FABRICATED FROM THE SAME MATERIAL AS THE PIPE. MINIMUM BOND GRADES SHALL BE PER ASTM A-106, SECTION 19. IF REQUIRED, GASKETS TO BE EITHER SLEEVE OR O-RING TYPE, AND SHALL CONFORM TO ASTM A-36, SECTION B.3. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
- REINFORCED CONCRETE PIPE (RCP) SHALL BE IN NOT LESS THAN 8 FOOT JOINT LENGTHS. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1000-9, GEORGIA D.O.T. SPECIFICATION, TABLE 10.1. PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH A RUBBER GASKET CONFORMING TO ASTM C-443. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA D.O.T. STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
- SMOOTH WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL CONFORM TO THE REQUIREMENTS OF ASTM M-294 AND ASTM M-77, TYPE S & D. CONNECTIONS SHALL AT A MINIMUM USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-477. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, ASTM SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.

**SPECIAL NOTE: THERE ARE NO PROPOSED CHANGES TO THE EXISTING EXTERIOR SERVICE LINE UTILITIES ASSOCIATED WITH THE HOUSE STRUCTURE.**



24 HOUR CONTACT: MS. ANNA KHOSHIAN (404) 500-1150



REVISIONS	
1	12-01-22 CITY COMMENTS
2	12-19-22 CITY COMMENTS
3	02-18-23 CITY COMMENTS

GEORGE LEVEL 1 CERTIFICATION #001380 ISSUED 11/22/2000 EXPIRATION 11/22/2023

**Landworks Associates, Inc.**  
 P.O. BOX 88834  
 ATLANTA, GEORGIA 30356  
 (770) 513-7100 environments2020@gmail.com  
 "Celebrating 30 Years Of Dedicated Service To Our Client"

**LEGACY MANOR PERSONAL CARE HOME-1822 MOUNT VERNON RD.**  
 LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
 CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

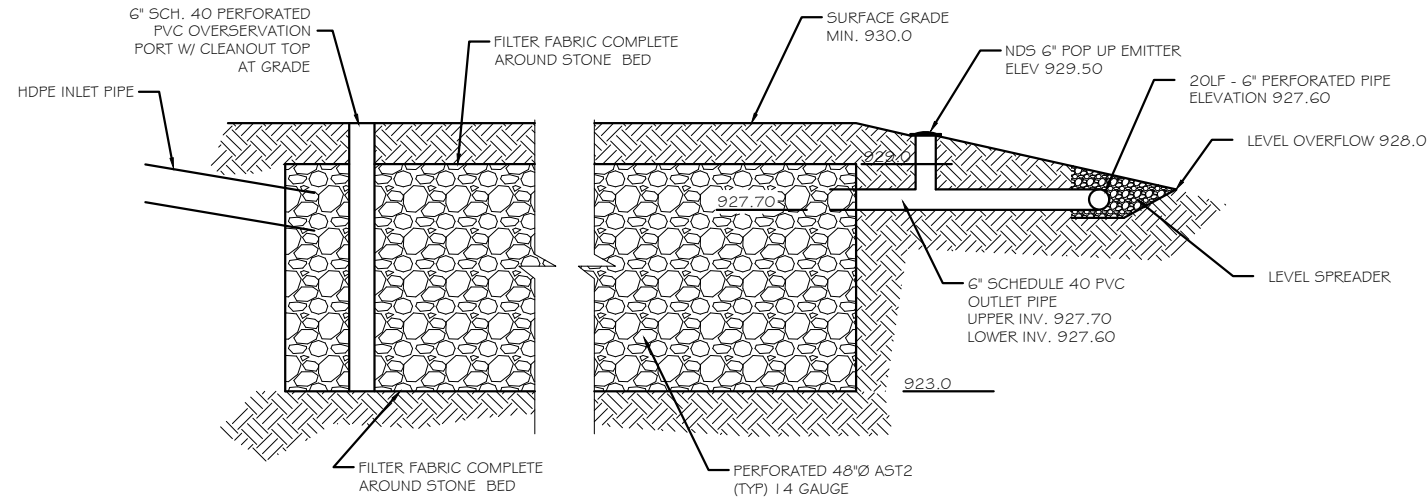
SHEET TITLE: GRADING/UTILITY PLAN  
 DATE: 03-22-22  
 JOB: 567-220202  
 DRN: WJC  
 CHK: JCA  
 SHEET NUMBER: C-3



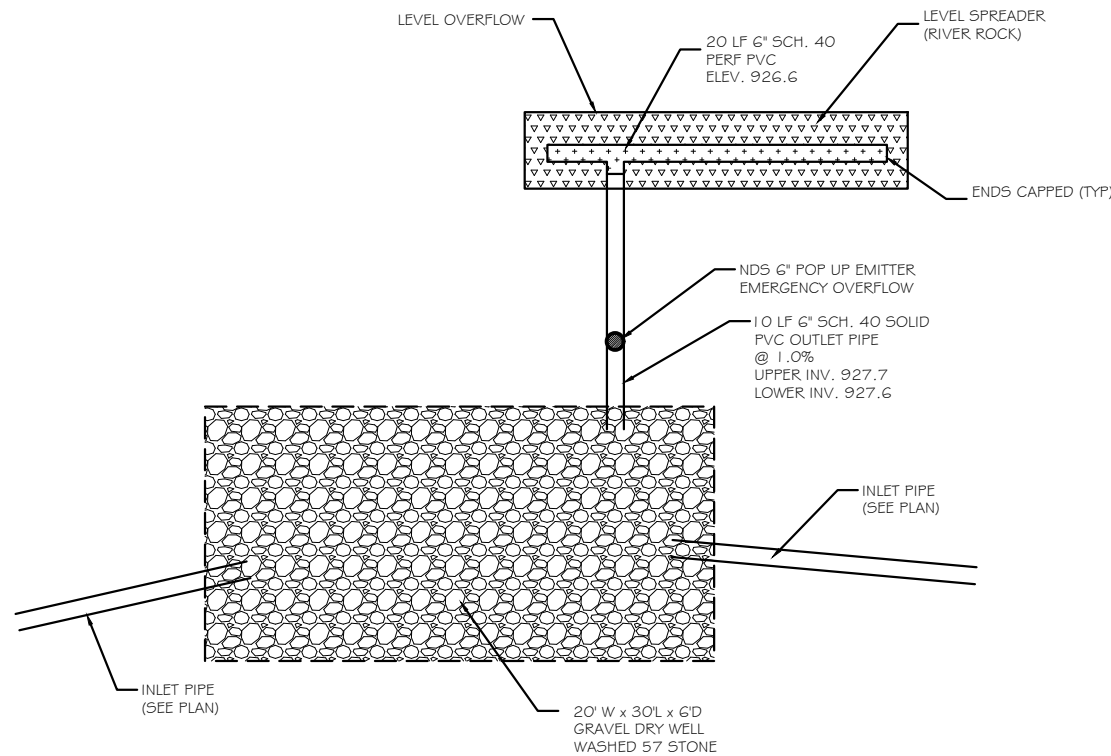
APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

NOTIFY THE CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING OF CONSTRUCTION. (678) 382-6819

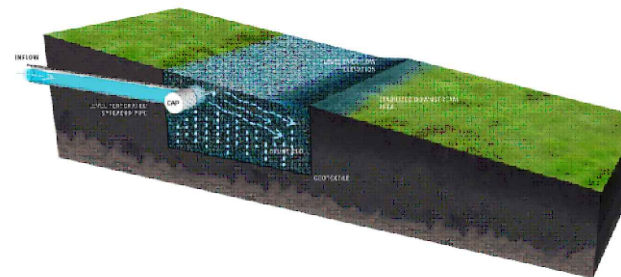
NOTIFY DEKALB COUNTY FIRE MARSHAL INSPECTOR 24 HOURS BEFORE ANY CONSTRUCTION (678) 406-7731



**DRY WELL - ELEVATION**  
NO SCALE



**DRY WELL - PLAN**  
NO SCALE



**LEVEL SPREADER SCHEMATIC**  
NO SCALE

24 HOUR CONTACT: MS. ANNA KHOKHLAN  
(404) 569-1150



REVISIONS	

GEORGE LEVEL 1  
 CERTIFICATION #001389  
 ISSUED 11/22/2000  
 EXPIRATION 11/22/2023

**Landworks Associates, Inc.**  
 P.O. BOX 88834  
 ATLANTA, GEORGIA 30356  
 (770) 513-7100 environments2020@gmail.com  
 "Celebrating 30 Years Of Providing Dedicated Service To Our Clients"

1822 MOUNT VERNON ROAD  
**RESIDENTIAL HOUSE RENOVATION**  
 LAND LOT 567, 18TH DISTRICT, PARCEL 048,  
 CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

DATE:	03-22-22
JOB:	567-220202
DRW:	WJC
CHK:	JCA
SHEET NUMBER	

Appendix A  
Water Quality Calculations

**Runoff Reduction Calculations**

Site Drainage Area = 0.47 ac = 20,473 ft<sup>2</sup>  
 Impervious Area (I) = 0.21 ac = 9,009 ft<sup>3</sup> 44.0%  
 P<sub>RR</sub> = 1.0 in  
 R<sub>v</sub> = 0.45  
 RR<sub>v</sub> = 0.45 in  
 RR<sub>v</sub> = 761 ft<sup>3</sup>

Dry Well Stage/Storage Chart End Area Method

Stage(ft)	Delta	Area (sft)	Voids	Volume (cft)	Storage (cft)
923.0		450			0
	1.0		40%	180	
924.0		450			180
	2.0		40%	360	
926.0		450			540
	2.0		40%	360	
928.0		450			900
	1.0		40%	180	
929.0		450			1,080

RR<sub>v</sub> Elevation = 927.2 ft

## Appendix B Hydrographs

# Hydraflow Table of Contents

## 1 - Year

- Summary Report..... 1**
- Hydrograph Reports..... 2**
  - Hydrograph No. 1, Dekalb, Existing Basin B..... 2
  - Hydrograph No. 2, Dekalb, Developed Basin B..... 3
  - Hydrograph No. 3, Reservoir, POND..... 4
  - Pond Report - Infiltration..... 5

## 2 - Year

- Summary Report..... 7**
- Hydrograph Reports..... 8**
  - Hydrograph No. 1, Dekalb, Existing Basin B..... 8
  - Hydrograph No. 2, Dekalb, Developed Basin B..... 9
  - Hydrograph No. 3, Reservoir, POND..... 10

## 5 - Year

- Summary Report..... 11**
- Hydrograph Reports..... 12**
  - Hydrograph No. 1, Dekalb, Existing Basin B..... 12
  - Hydrograph No. 2, Dekalb, Developed Basin B..... 13
  - Hydrograph No. 3, Reservoir, POND..... 14

## 10 - Year

- Summary Report..... 15**
- Hydrograph Reports..... 16**
  - Hydrograph No. 1, Dekalb, Existing Basin B..... 16
  - Hydrograph No. 2, Dekalb, Developed Basin B..... 17
  - Hydrograph No. 3, Reservoir, POND..... 18

## 25 - Year

- Summary Report..... 19**
- Hydrograph Reports..... 20**
  - Hydrograph No. 1, Dekalb, Existing Basin B..... 20
  - Hydrograph No. 2, Dekalb, Developed Basin B..... 21
  - Hydrograph No. 3, Reservoir, POND..... 22

## 50 - Year

- Summary Report..... 23**
- Hydrograph Reports..... 24**
  - Hydrograph No. 1, Dekalb, Existing Basin B..... 24
  - Hydrograph No. 2, Dekalb, Developed Basin B..... 25
  - Hydrograph No. 3, Reservoir, POND..... 26

## 100 - Year

- Summary Report..... 27**
- Hydrograph Reports..... 28**
  - Hydrograph No. 1, Dekalb, Existing Basin B..... 28
  - Hydrograph No. 2, Dekalb, Developed Basin B..... 29

---

Hydrograph No. 3, Reservoir, POND.....	30
--	----

# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Dekalb	0.668	1	25	599	-----	-----	-----	Existing Basin B
2	Dekalb	1.118	1	25	1,003	-----	-----	-----	Developed Basin B
3	Reservoir	0.000	1	1993	0	2	924.00	987	POND
Hydrology.gpw					Return Period: 1 Year			Monday, 03 / 13 / 2023 Packet page:...	

# Hydrograph Report

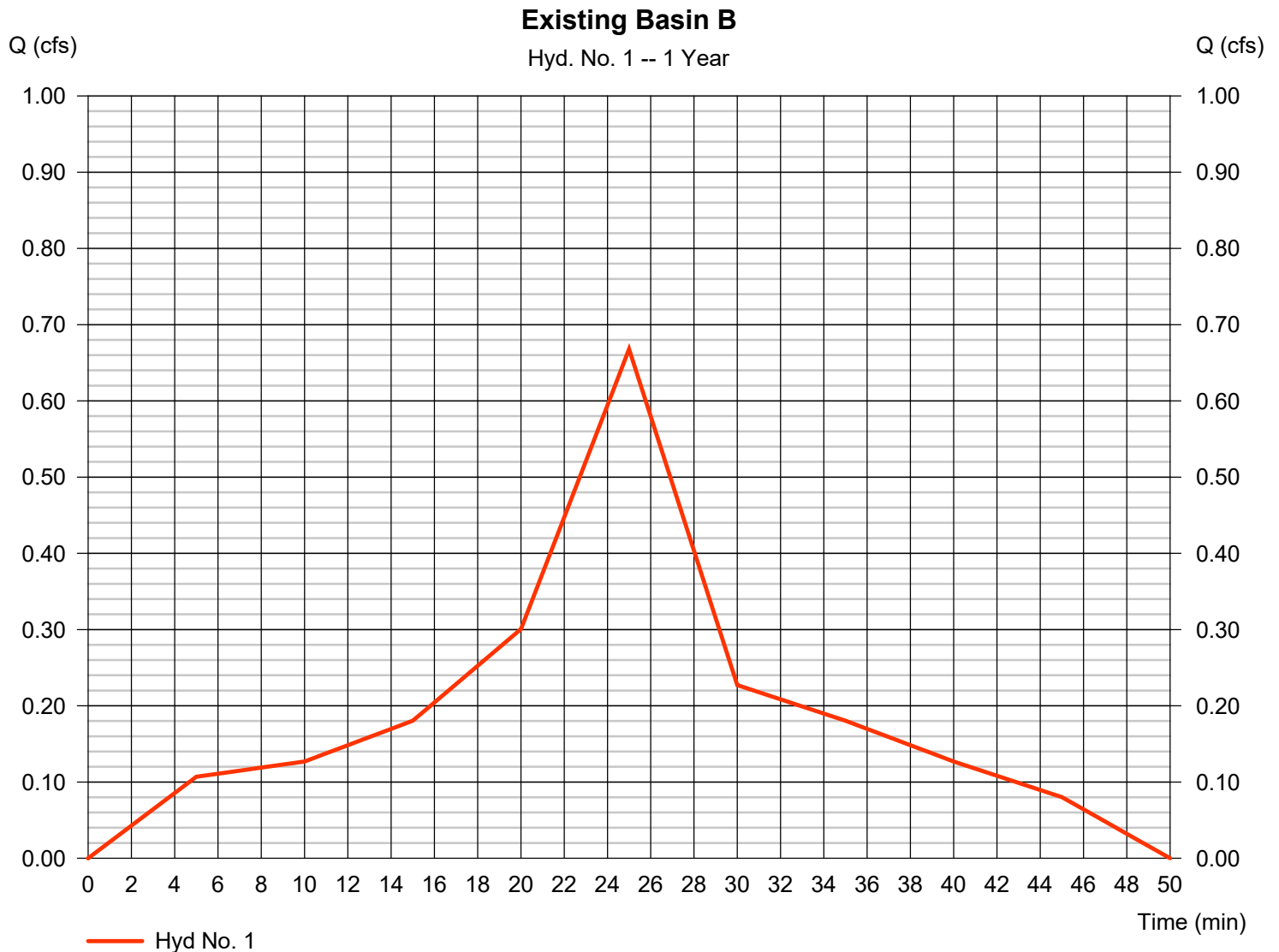
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 1

Existing Basin B

Hydrograph type	= Dekalb	Peak discharge	= 0.668 cfs
Storm frequency	= 1 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 599 cuft
Drainage area	= 0.280 ac	Runoff coeff.	= 0.49
Intensity	= 4.868 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a





# Hydrograph Report

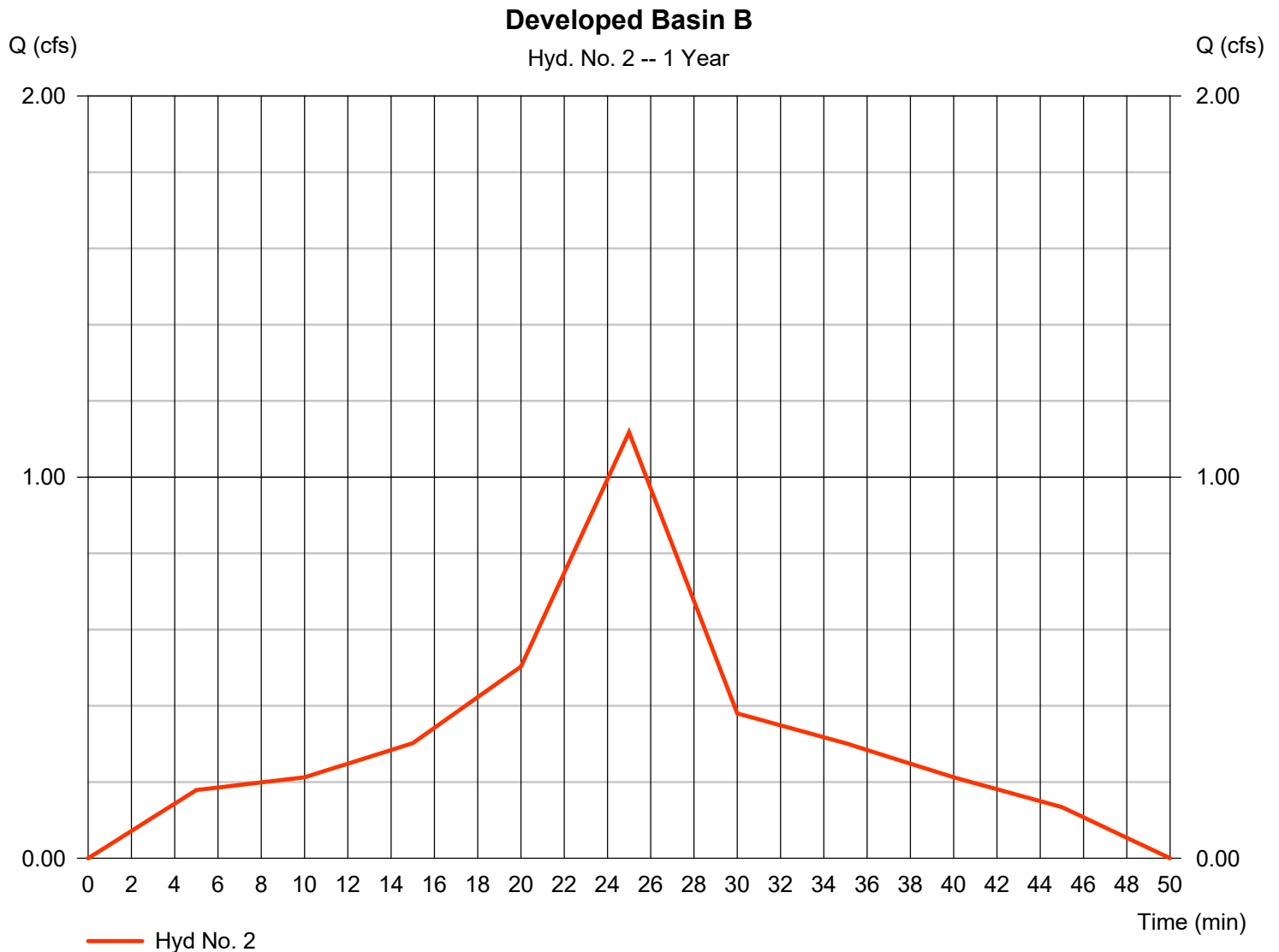
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 2

Developed Basin B

Hydrograph type	= Dekalb	Peak discharge	= 1.118 cfs
Storm frequency	= 1 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 1,003 cuft
Drainage area	= 0.410 ac	Runoff coeff.	= 0.56
Intensity	= 4.868 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

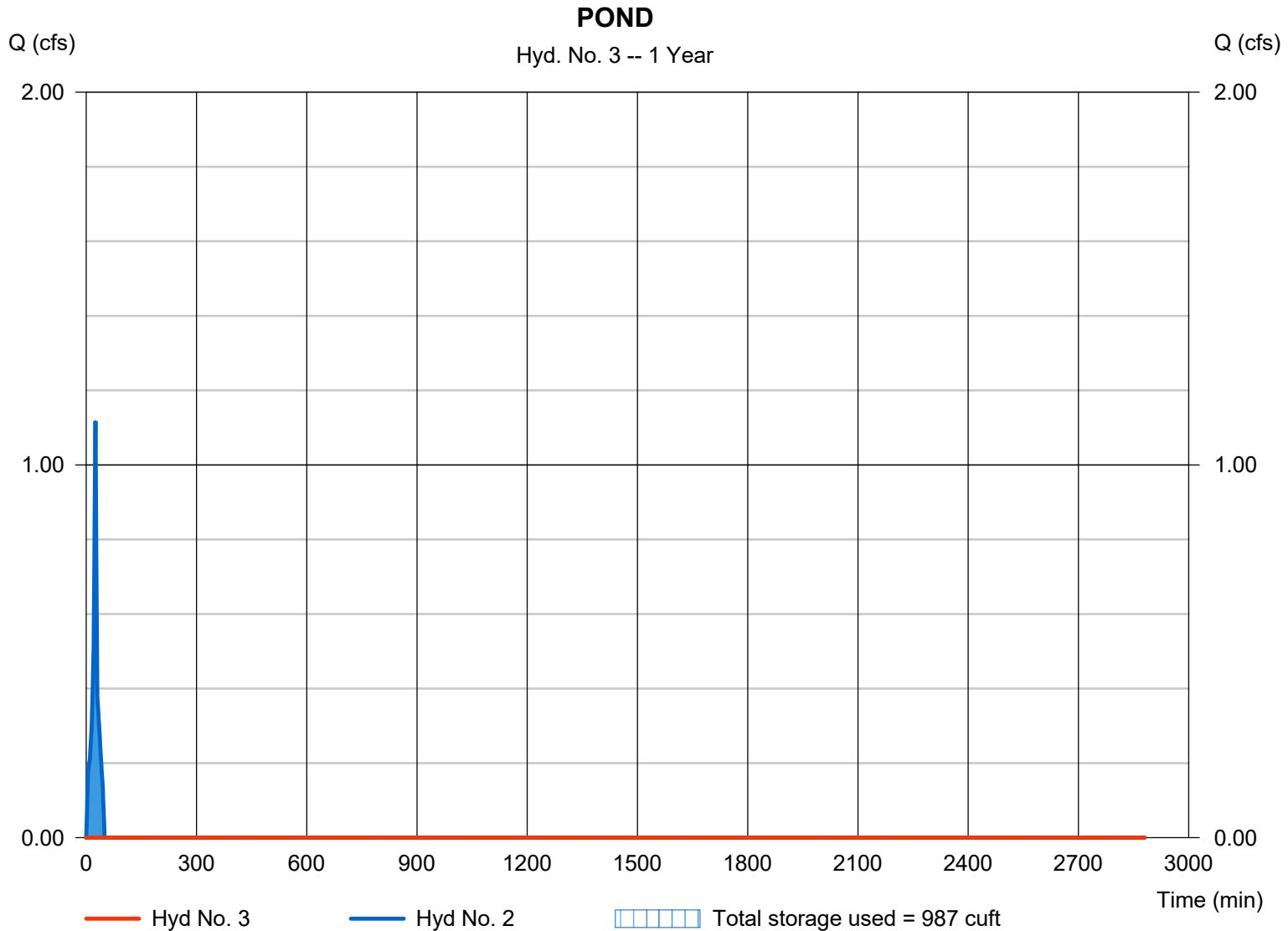
Monday, 03 / 13 / 2023

## Hyd. No. 3

POND

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 1 yrs	Time to peak	= 1993 min
Time interval	= 1 min	Hyd. volume	= 0 cuft
Inflow hyd. No.	= 2 - Developed Basin B	Max. Elevation	= 924.00 ft
Reservoir name	= Infiltration	Max. Storage	= 987 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



## Pond No. 1 - Infiltration

### Pond Data

Contours -User-defined contour areas. Average end area method used for volume calculation. Beginning Elevation = 923.00 ft. Voids = 40.00%

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	923.00	600	0	0
1.00	924.00	600	240	240
2.00	925.00	600	240	480
3.00	926.00	600	240	720
4.00	927.00	600	240	960
5.00	928.00	600	240	1,200
6.00	929.00	600	240	1,440

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 8.00	0.00	0.00	0.00
Span (in)	= 8.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 927.70	0.00	0.00	0.00
Length (ft)	= 10.00	0.00	0.00	0.00
Slope (%)	= 1.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.500 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	923.00	0.00	---	---	---	---	---	---	---	0.000	---	0.000
0.10	24	923.10	0.00	---	---	---	---	---	---	---	0.001	---	0.001
0.20	48	923.20	0.00	---	---	---	---	---	---	---	0.001	---	0.001
0.30	72	923.30	0.00	---	---	---	---	---	---	---	0.002	---	0.002
0.40	96	923.40	0.00	---	---	---	---	---	---	---	0.003	---	0.003
0.50	120	923.50	0.00	---	---	---	---	---	---	---	0.003	---	0.003
0.60	144	923.60	0.00	---	---	---	---	---	---	---	0.004	---	0.004
0.70	168	923.70	0.00	---	---	---	---	---	---	---	0.005	---	0.005
0.80	192	923.80	0.00	---	---	---	---	---	---	---	0.006	---	0.006
0.90	216	923.90	0.00	---	---	---	---	---	---	---	0.006	---	0.006
1.00	240	924.00	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.10	264	924.10	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.20	288	924.20	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.30	312	924.30	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.40	336	924.40	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.50	360	924.50	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.60	384	924.60	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.70	408	924.70	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.80	432	924.80	0.00	---	---	---	---	---	---	---	0.007	---	0.007
1.90	456	924.90	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.00	480	925.00	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.10	504	925.10	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.20	528	925.20	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.30	552	925.30	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.40	576	925.40	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.50	600	925.50	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.60	624	925.60	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.70	648	925.70	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.80	672	925.80	0.00	---	---	---	---	---	---	---	0.007	---	0.007
2.90	696	925.90	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.00	720	926.00	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.10	744	926.10	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.20	768	926.20	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.30	792	926.30	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.40	816	926.40	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.50	840	926.50	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.60	864	926.60	0.00	---	---	---	---	---	---	---	0.007	---	0.007

Continues on next page...

Packet page:...

Infiltration

**Stage / Storage / Discharge Table**

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
3.70	888	926.70	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.80	912	926.80	0.00	---	---	---	---	---	---	---	0.007	---	0.007
3.90	936	926.90	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.00	960	927.00	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.10	984	927.10	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.20	1,008	927.20	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.30	1,032	927.30	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.40	1,056	927.40	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.50	1,080	927.50	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.60	1,104	927.60	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.70	1,128	927.70	0.00	---	---	---	---	---	---	---	0.007	---	0.007
4.80	1,152	927.80	0.04 ic	---	---	---	---	---	---	---	0.007	---	0.042
4.90	1,176	927.90	0.13 ic	---	---	---	---	---	---	---	0.007	---	0.141
5.00	1,200	928.00	0.27 oc	---	---	---	---	---	---	---	0.007	---	0.275
5.10	1,224	928.10	0.40 oc	---	---	---	---	---	---	---	0.007	---	0.404
5.20	1,248	928.20	0.52 oc	---	---	---	---	---	---	---	0.007	---	0.522
5.30	1,272	928.30	0.61 oc	---	---	---	---	---	---	---	0.007	---	0.613
5.40	1,296	928.40	0.72 oc	---	---	---	---	---	---	---	0.007	---	0.724
5.50	1,320	928.50	0.95 oc	---	---	---	---	---	---	---	0.007	---	0.956
5.60	1,344	928.60	1.13 oc	---	---	---	---	---	---	---	0.007	---	1.141
5.70	1,368	928.70	1.29 oc	---	---	---	---	---	---	---	0.007	---	1.300
5.80	1,392	928.80	1.43 oc	---	---	---	---	---	---	---	0.007	---	1.442
5.90	1,416	928.90	1.56 oc	---	---	---	---	---	---	---	0.007	---	1.571
6.00	1,440	929.00	1.65 ic	---	---	---	---	---	---	---	0.007	---	1.659

...End

# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Dekalb	0.771	1	25	691	-----	-----	-----	Existing Basin B
2	Dekalb	1.290	1	25	1,157	-----	-----	-----	Developed Basin B
3	Reservoir	0.015	1	49	7	2	927.74	1,138	POND
Hydrology.gpw					Return Period: 2 Year			Monday, 03 / 13 / 2023 Packet page:...	

# Hydrograph Report

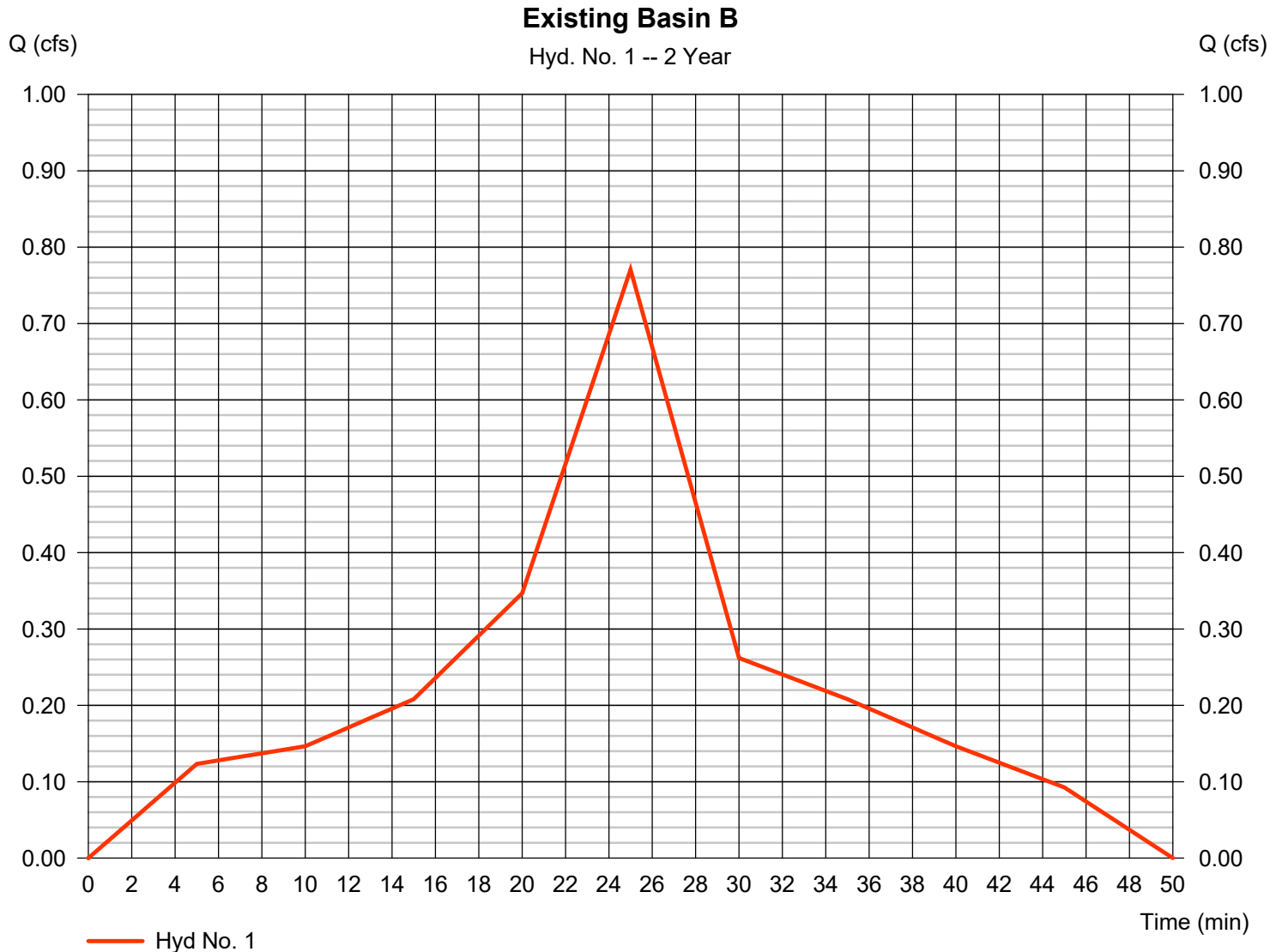
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 1

Existing Basin B

Hydrograph type	= Dekalb	Peak discharge	= 0.771 cfs
Storm frequency	= 2 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 691 cuft
Drainage area	= 0.280 ac	Runoff coeff.	= 0.49
Intensity	= 5.617 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

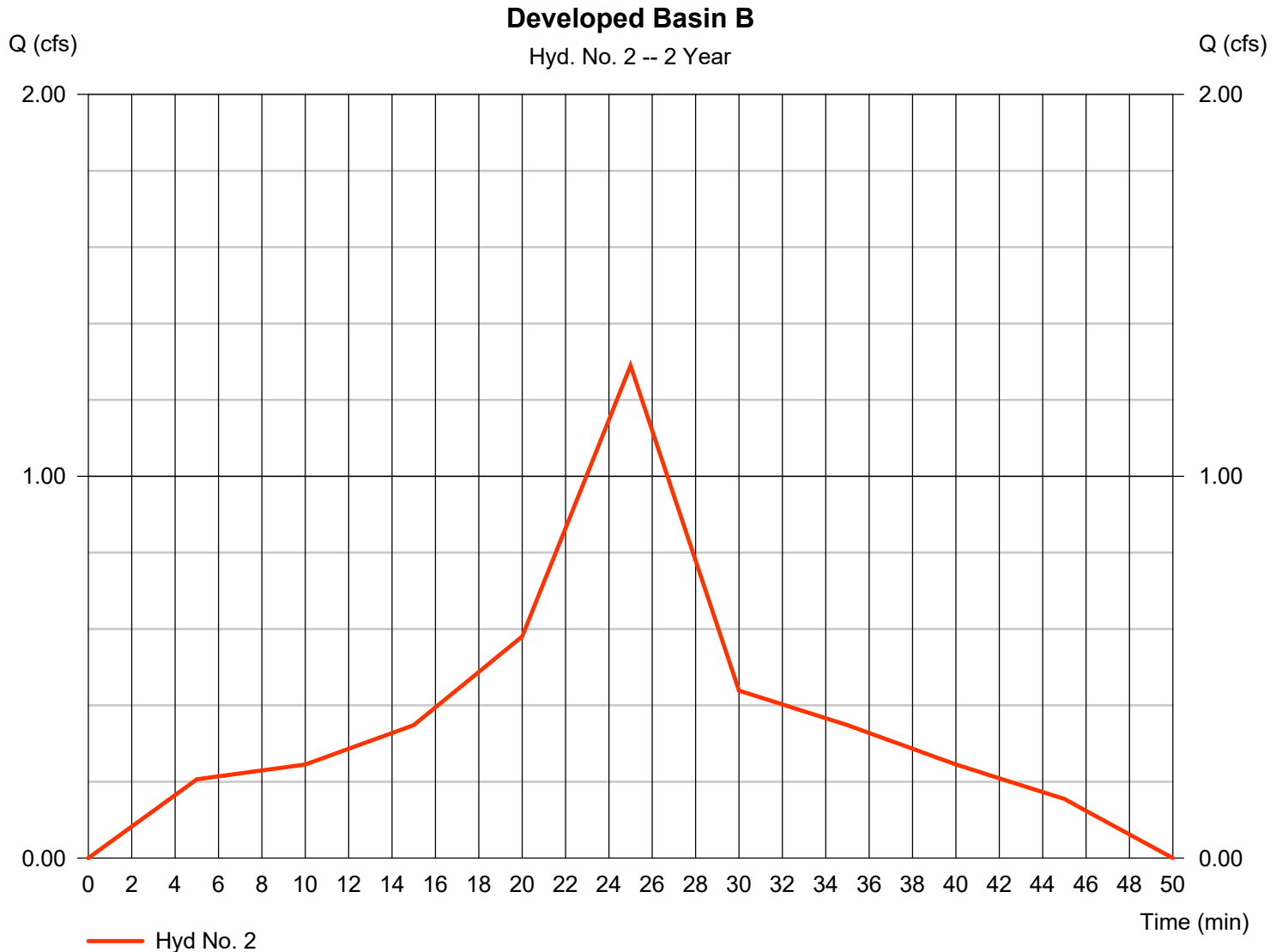
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 2

Developed Basin B

Hydrograph type	= Dekalb	Peak discharge	= 1.290 cfs
Storm frequency	= 2 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 1,157 cuft
Drainage area	= 0.410 ac	Runoff coeff.	= 0.56
Intensity	= 5.617 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

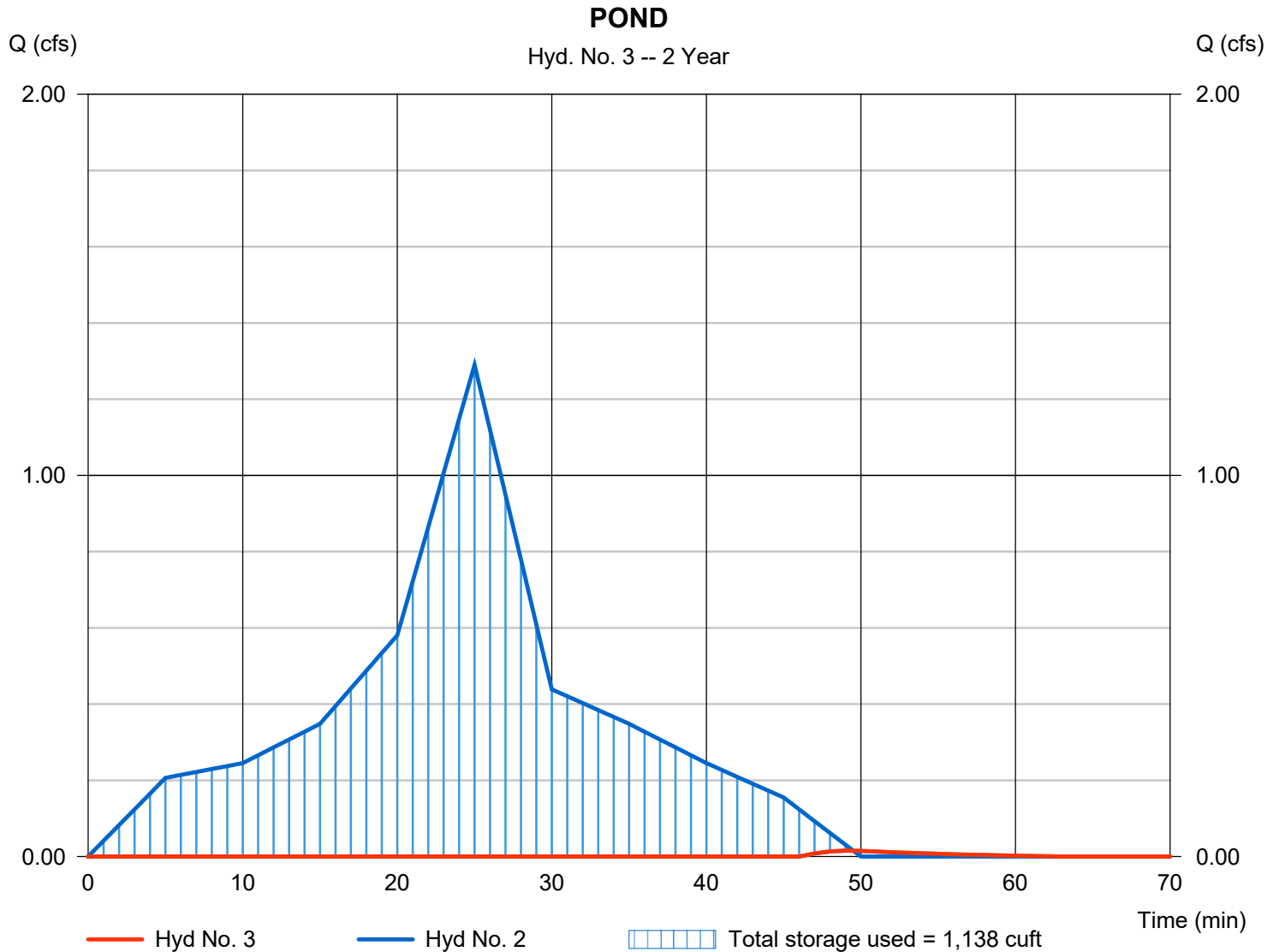
Monday, 03 / 13 / 2023

## Hyd. No. 3

POND

Hydrograph type	= Reservoir	Peak discharge	= 0.015 cfs
Storm frequency	= 2 yrs	Time to peak	= 49 min
Time interval	= 1 min	Hyd. volume	= 7 cuft
Inflow hyd. No.	= 2 - Developed Basin B	Max. Elevation	= 927.74 ft
Reservoir name	= Infiltration	Max. Storage	= 1,138 cuft

Storage Indication method used. Exfiltration extracted from Outflow.





# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Dekalb	0.939	1	25	842	-----	-----	-----	Existing Basin B
2	Dekalb	1.571	1	25	1,409	-----	-----	-----	Developed Basin B
3	Reservoir	0.304	1	40	254	2	928.03	1,207	POND
Hydrology.gpw					Return Period: 5 Year			Monday, 03 / 13 / 2023 Packet page:...	

# Hydrograph Report

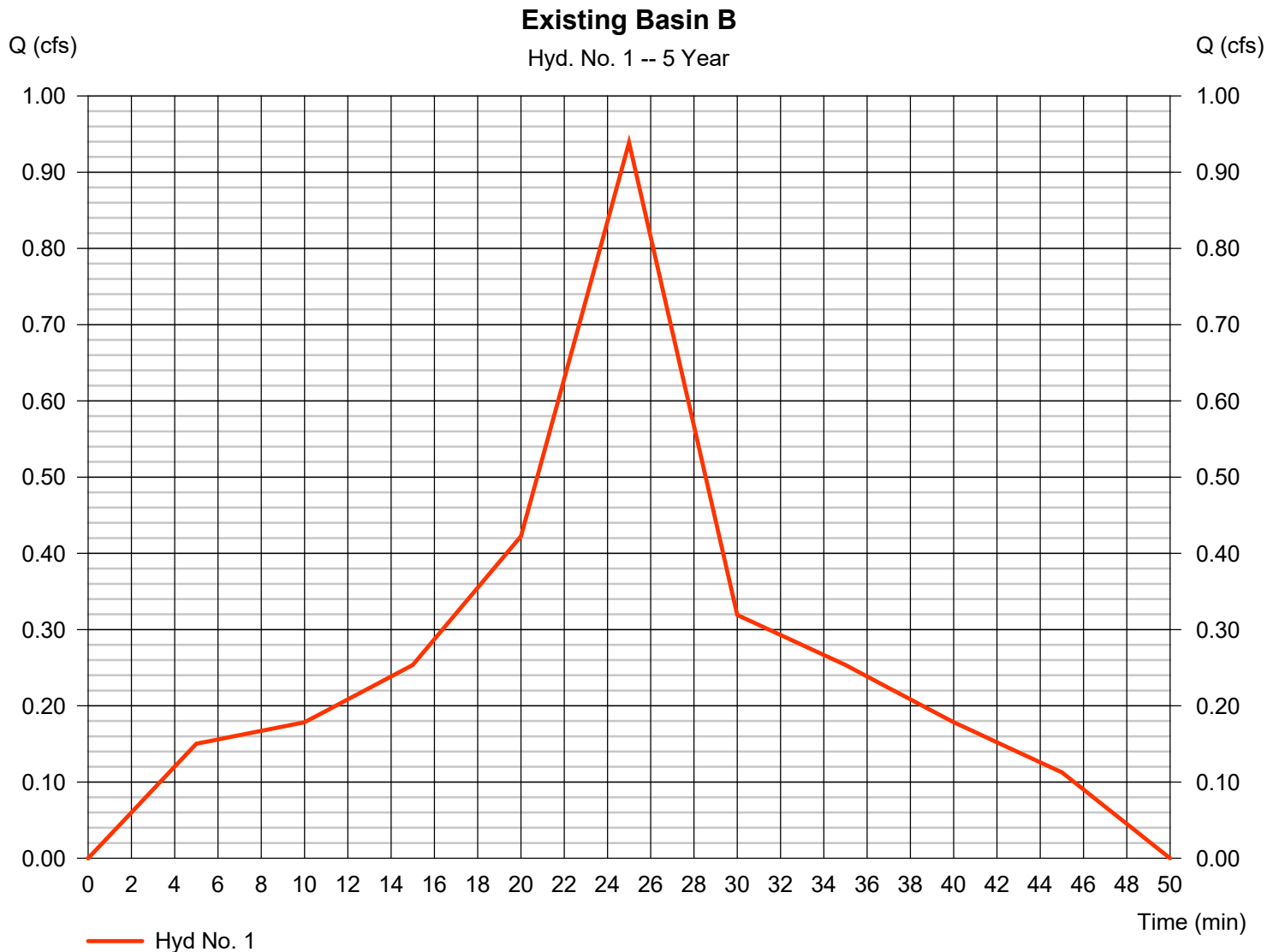
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 1

Existing Basin B

Hydrograph type	= Dekalb	Peak discharge	= 0.939 cfs
Storm frequency	= 5 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 842 cuft
Drainage area	= 0.280 ac	Runoff coeff.	= 0.49
Intensity	= 6.843 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

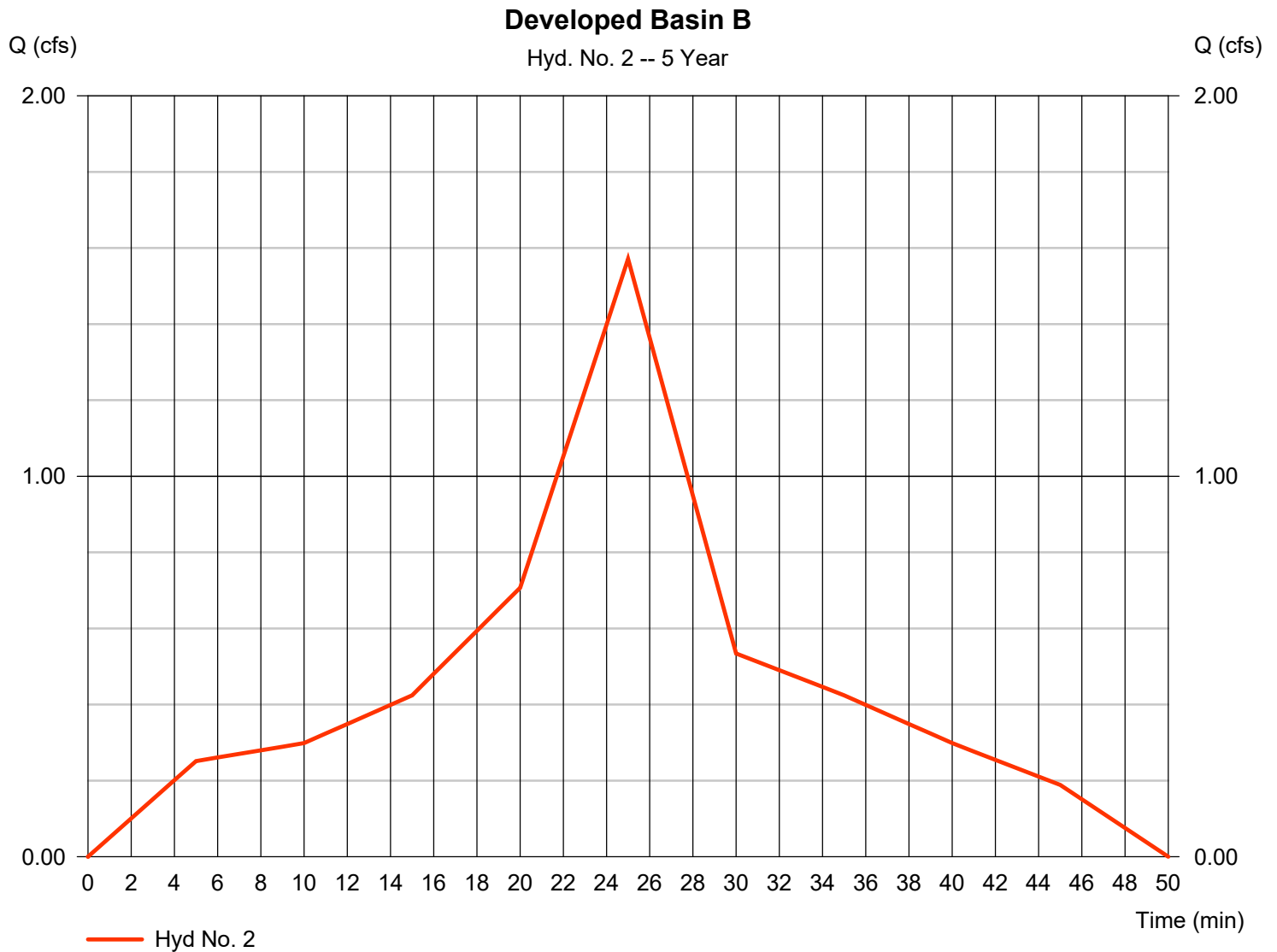
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 2

Developed Basin B

Hydrograph type	= Dekalb	Peak discharge	= 1.571 cfs
Storm frequency	= 5 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 1,409 cuft
Drainage area	= 0.410 ac	Runoff coeff.	= 0.56
Intensity	= 6.843 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

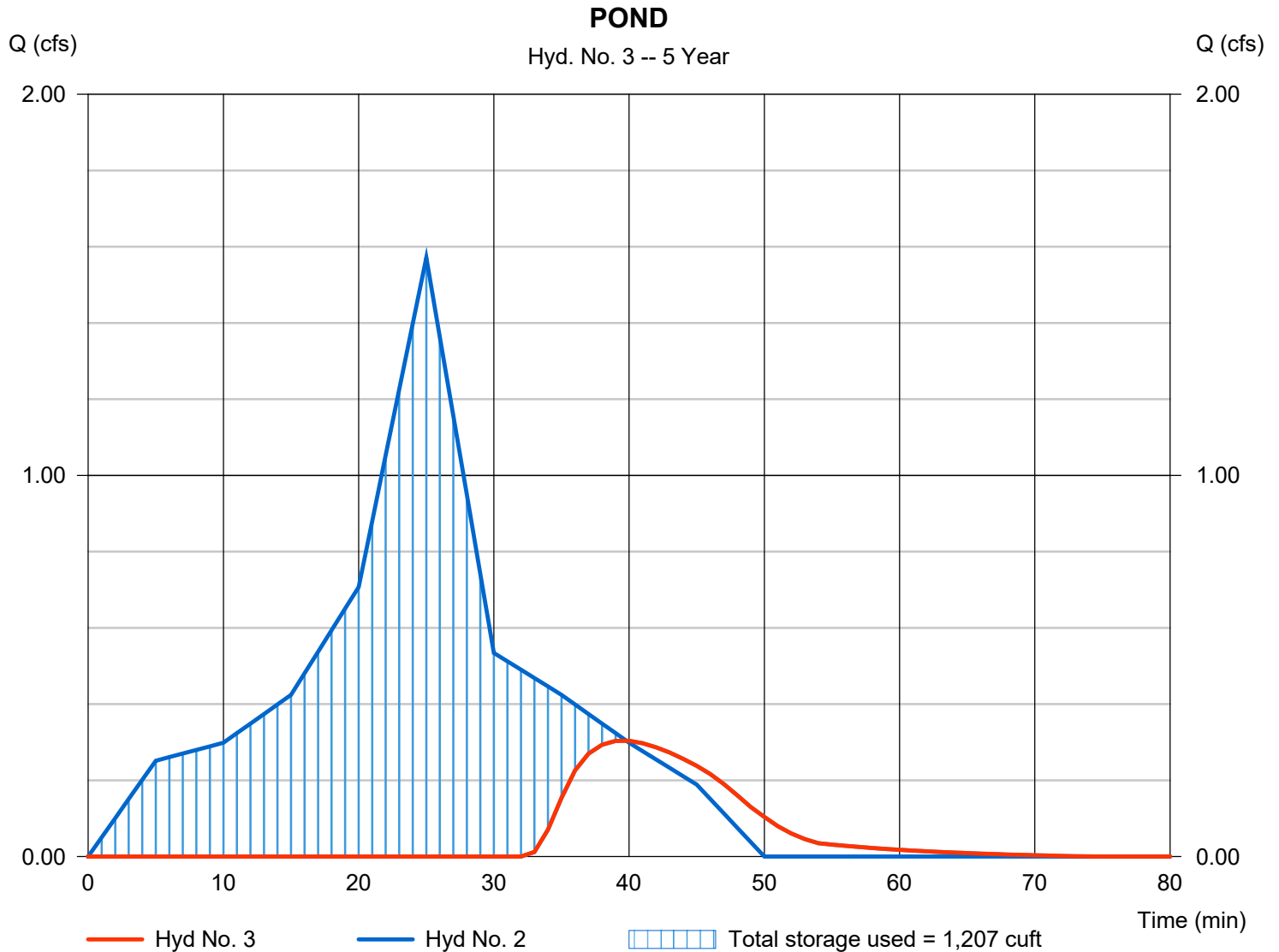
Monday, 03 / 13 / 2023

## Hyd. No. 3

POND

Hydrograph type	= Reservoir	Peak discharge	= 0.304 cfs
Storm frequency	= 5 yrs	Time to peak	= 40 min
Time interval	= 1 min	Hyd. volume	= 254 cuft
Inflow hyd. No.	= 2 - Developed Basin B	Max. Elevation	= 928.03 ft
Reservoir name	= Infiltration	Max. Storage	= 1,207 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Dekalb	1.085	1	25	973	-----	-----	-----	Existing Basin B
2	Dekalb	1.815	1	25	1,628	-----	-----	-----	Developed Basin B
3	Reservoir	0.474	1	35	473	2	928.16	1,240	POND
Hydrology.gpw					Return Period: 10 Year			Monday, 03 / 13 / 2023 Packet page:...	

# Hydrograph Report

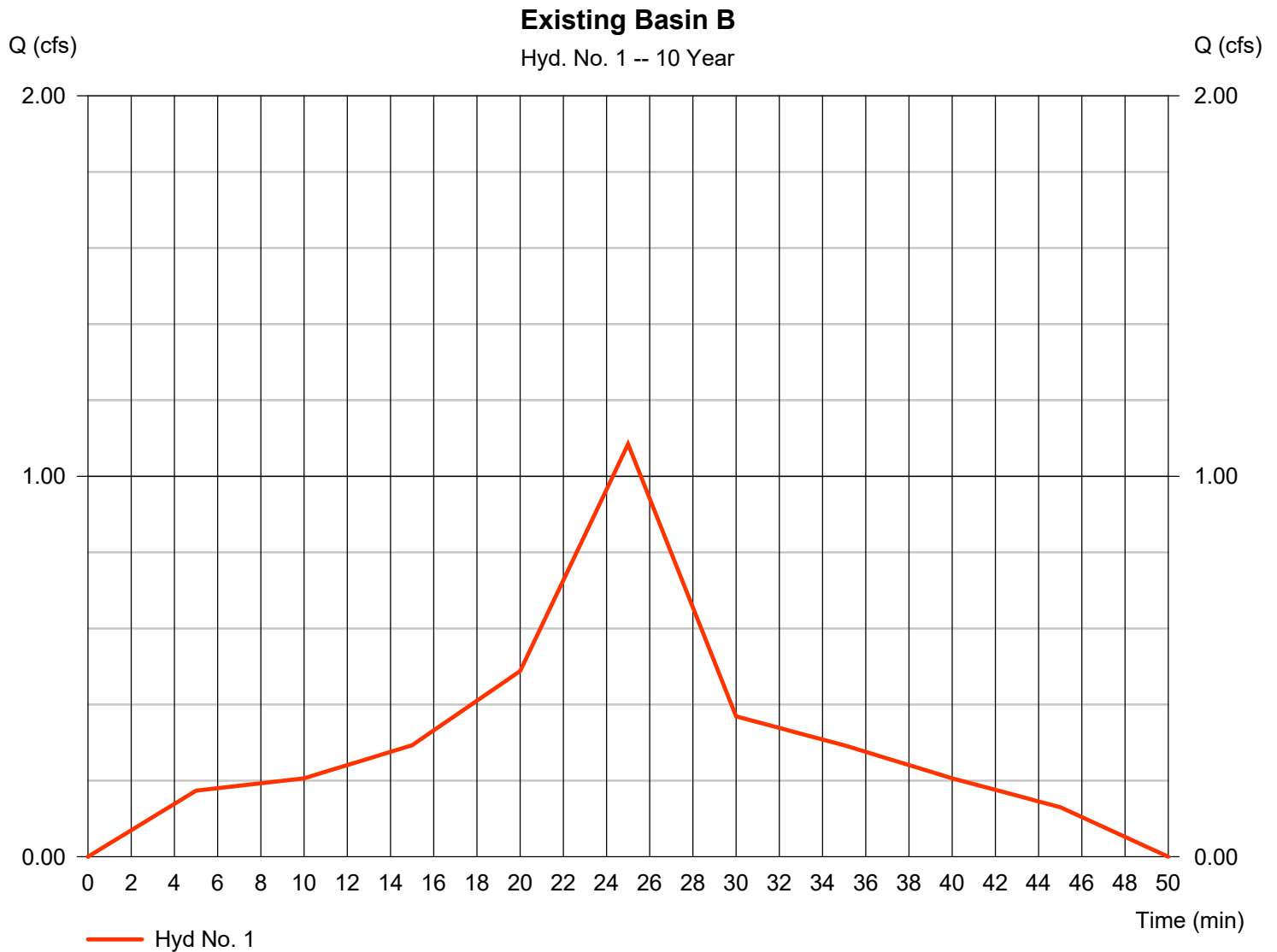
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 1

Existing Basin B

Hydrograph type	= Dekalb	Peak discharge	= 1.085 cfs
Storm frequency	= 10 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 973 cuft
Drainage area	= 0.280 ac	Runoff coeff.	= 0.49
Intensity	= 7.906 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

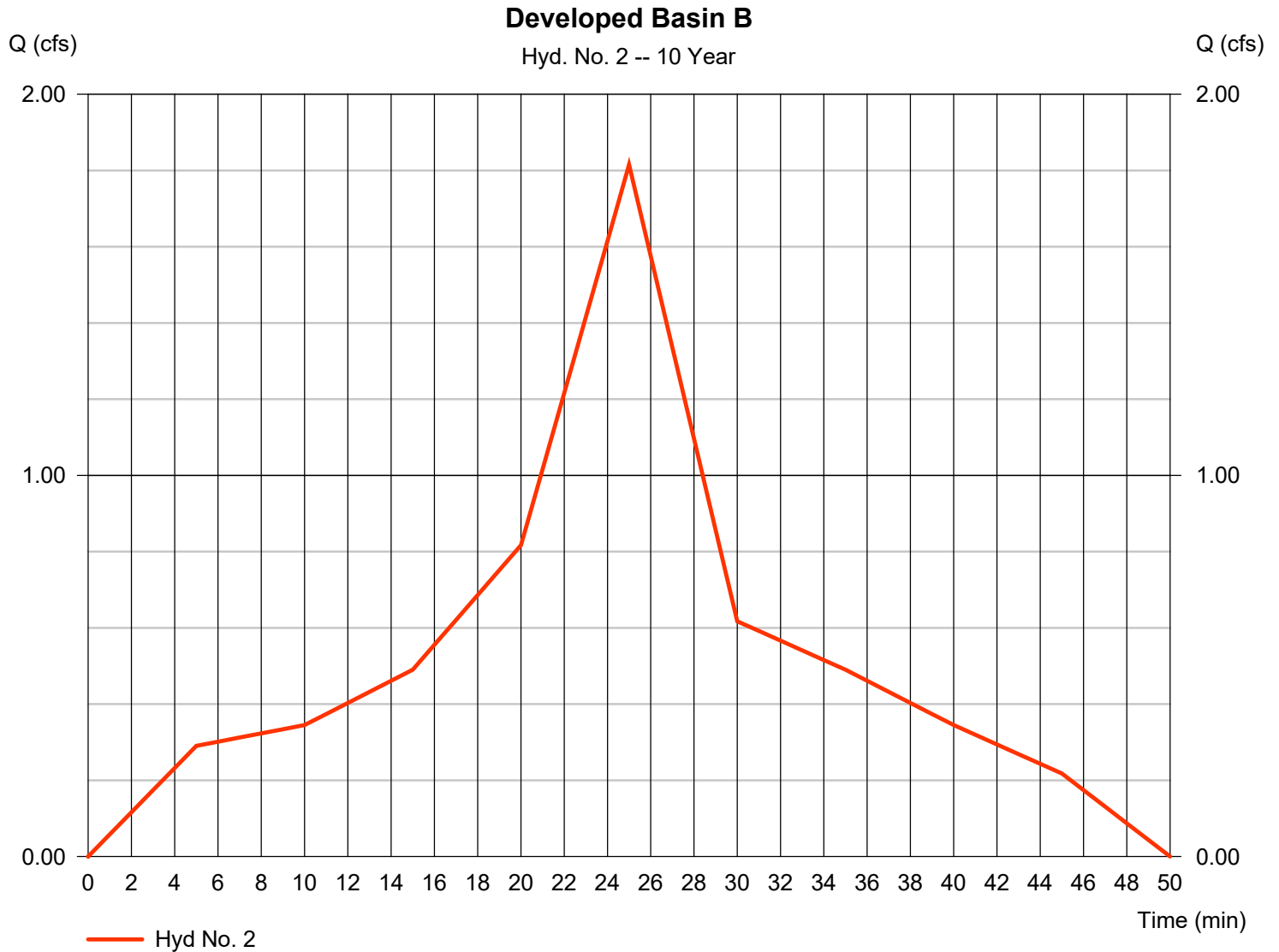
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 2

Developed Basin B

Hydrograph type	= Dekalb	Peak discharge	= 1.815 cfs
Storm frequency	= 10 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 1,628 cuft
Drainage area	= 0.410 ac	Runoff coeff.	= 0.56
Intensity	= 7.906 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

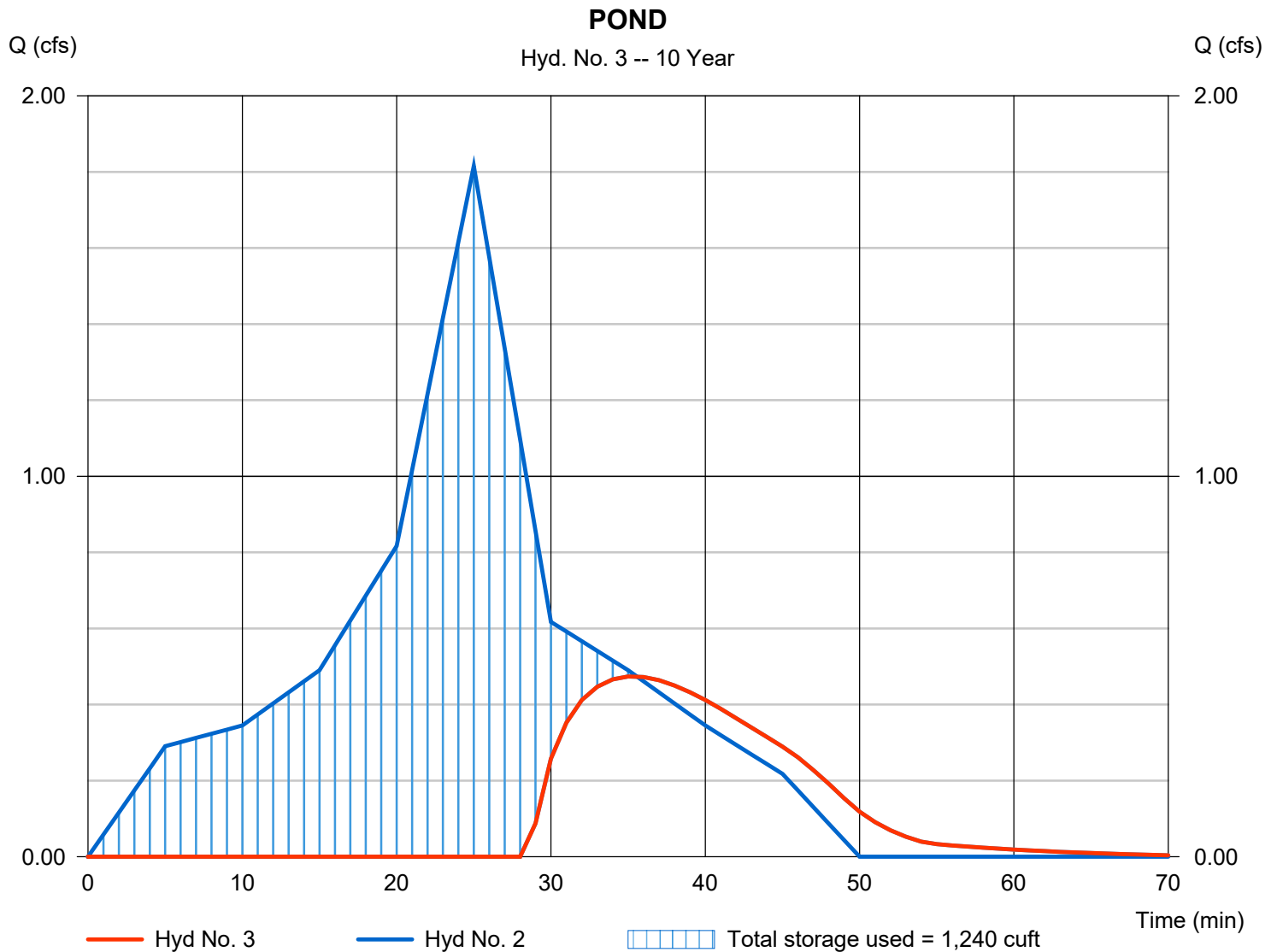
Monday, 03 / 13 / 2023

## Hyd. No. 3

POND

Hydrograph type	= Reservoir	Peak discharge	= 0.474 cfs
Storm frequency	= 10 yrs	Time to peak	= 35 min
Time interval	= 1 min	Hyd. volume	= 473 cuft
Inflow hyd. No.	= 2 - Developed Basin B	Max. Elevation	= 928.16 ft
Reservoir name	= Infiltration	Max. Storage	= 1,240 cuft

Storage Indication method used. Exfiltration extracted from Outflow.





# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Dekalb	1.291	1	25	1,158	-----	-----	-----	Existing Basin B
2	Dekalb	2.161	1	25	1,938	-----	-----	-----	Developed Basin B
3	Reservoir	0.833	1	30	782	2	928.45	1,308	POND
Hydrology.gpw					Return Period: 25 Year			Monday, 03 / 13 / 2023 Packet page:...	

# Hydrograph Report

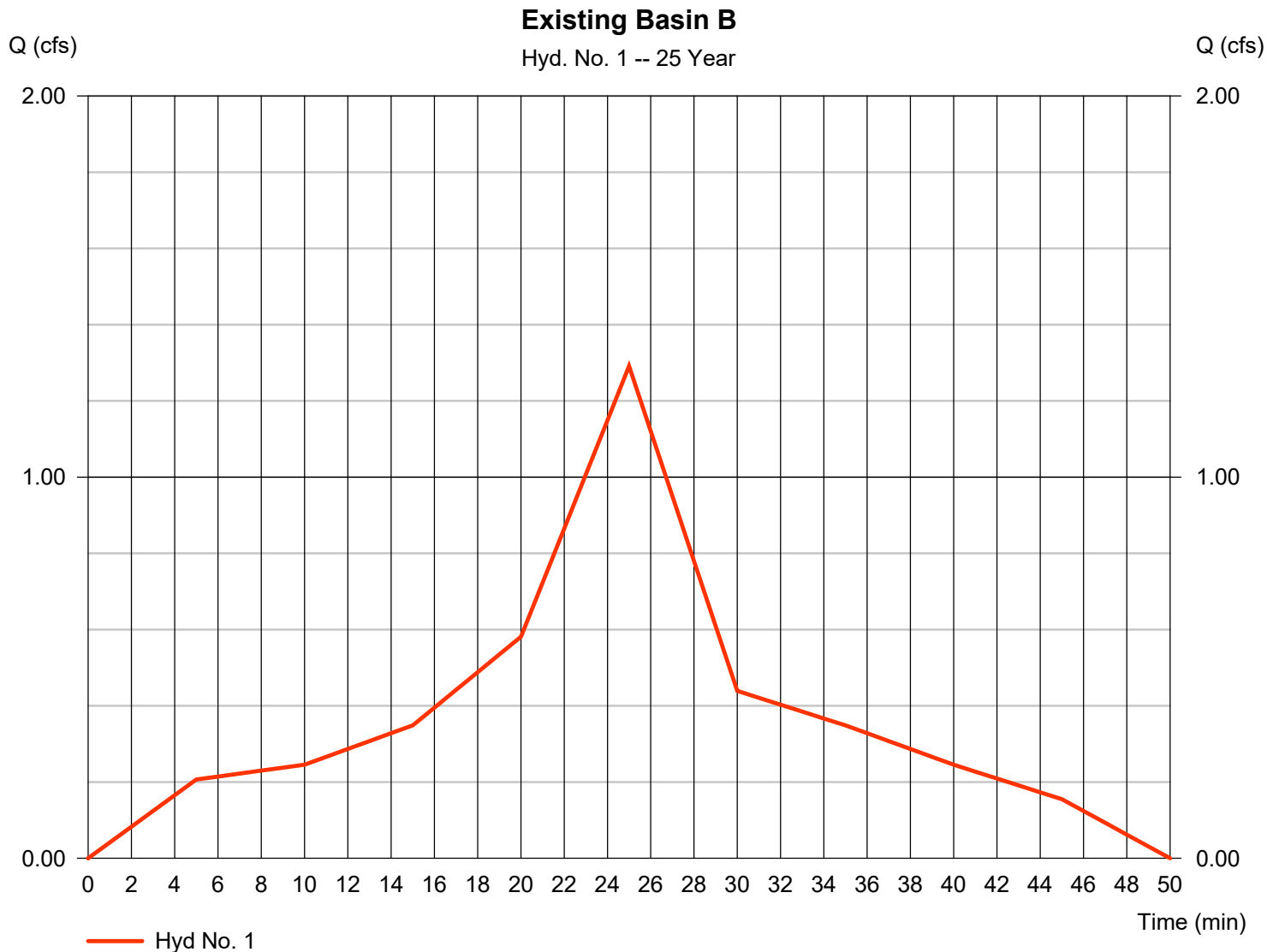
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 1

Existing Basin B

Hydrograph type	= Dekalb	Peak discharge	= 1.291 cfs
Storm frequency	= 25 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 1,158 cuft
Drainage area	= 0.280 ac	Runoff coeff.	= 0.49
Intensity	= 9.412 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

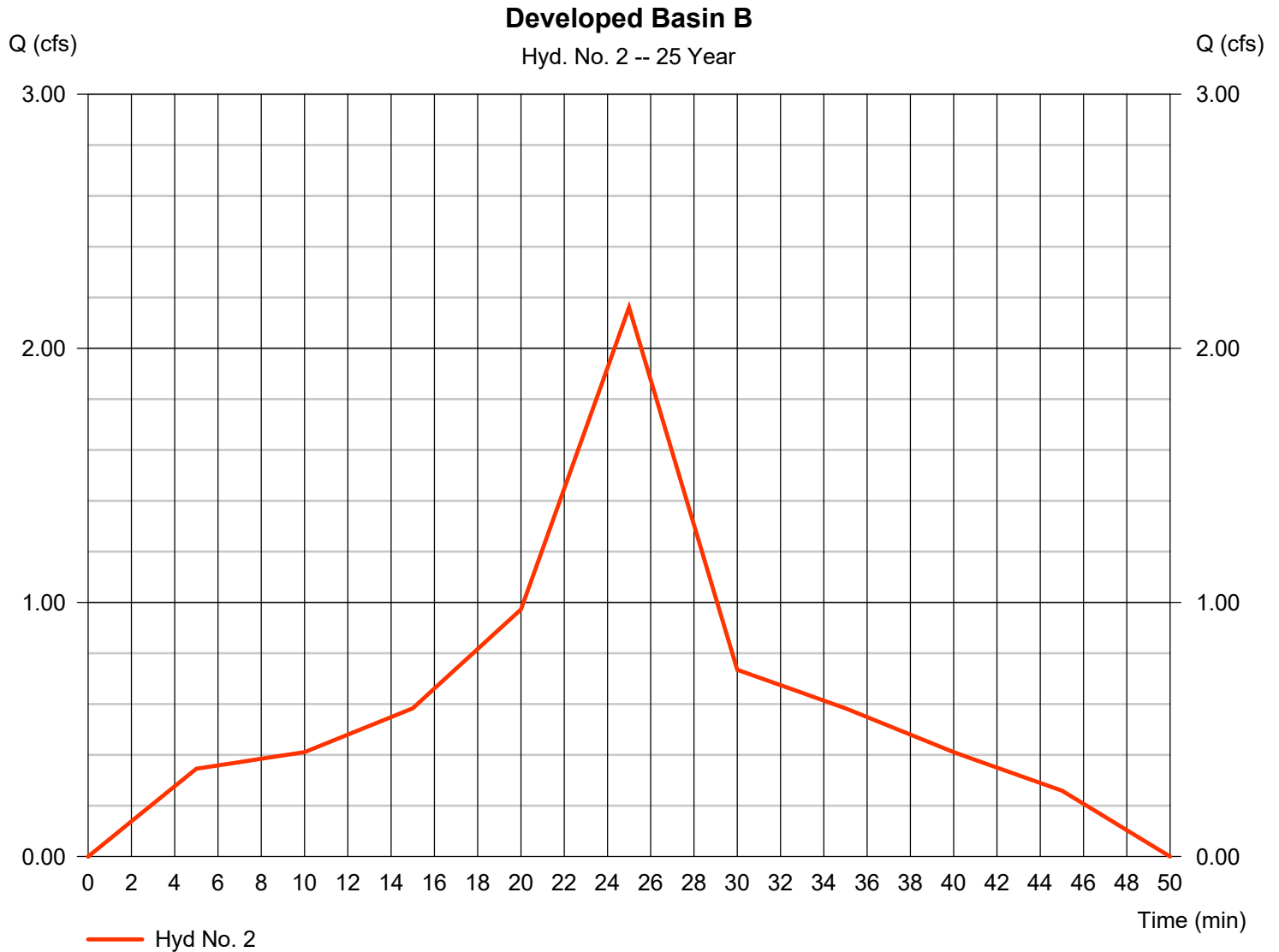
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 2

Developed Basin B

Hydrograph type	= Dekalb	Peak discharge	= 2.161 cfs
Storm frequency	= 25 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 1,938 cuft
Drainage area	= 0.410 ac	Runoff coeff.	= 0.56
Intensity	= 9.412 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

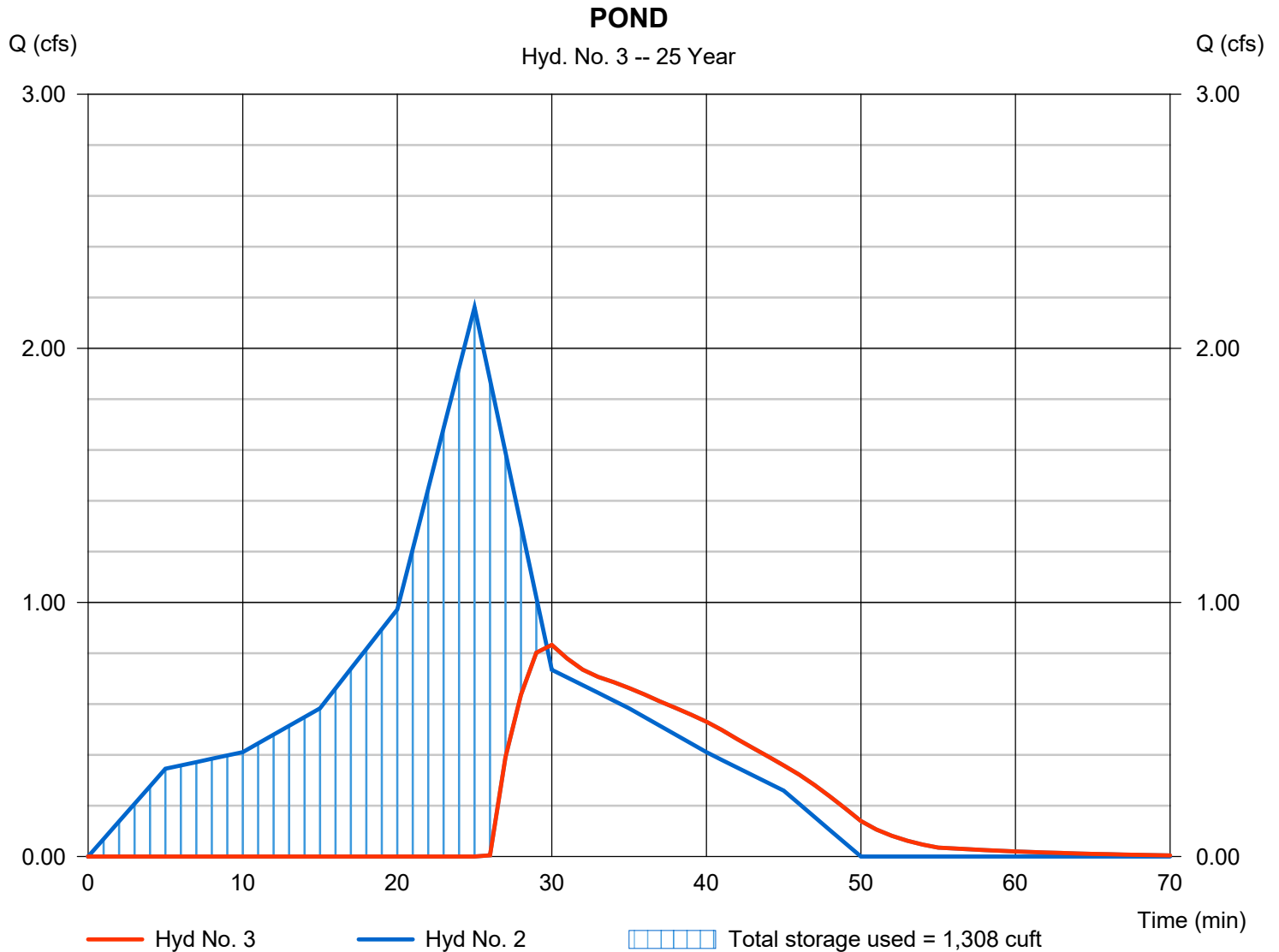
Monday, 03 / 13 / 2023

## Hyd. No. 3

POND

Hydrograph type	= Reservoir	Peak discharge	= 0.833 cfs
Storm frequency	= 25 yrs	Time to peak	= 30 min
Time interval	= 1 min	Hyd. volume	= 782 cuft
Inflow hyd. No.	= 2 - Developed Basin B	Max. Elevation	= 928.45 ft
Reservoir name	= Infiltration	Max. Storage	= 1,308 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Dekalb	1.453	1	25	1,304	-----	-----	-----	Existing Basin B	
2	Dekalb	2.432	1	25	2,182	-----	-----	-----	Developed Basin B	
3	Reservoir	1.250	1	29	1,025	2	928.67	1,361	POND	
Hydrology.gpw					Return Period: 50 Year			Monday, 03 / 13 / 2023 Packet page:...		

# Hydrograph Report

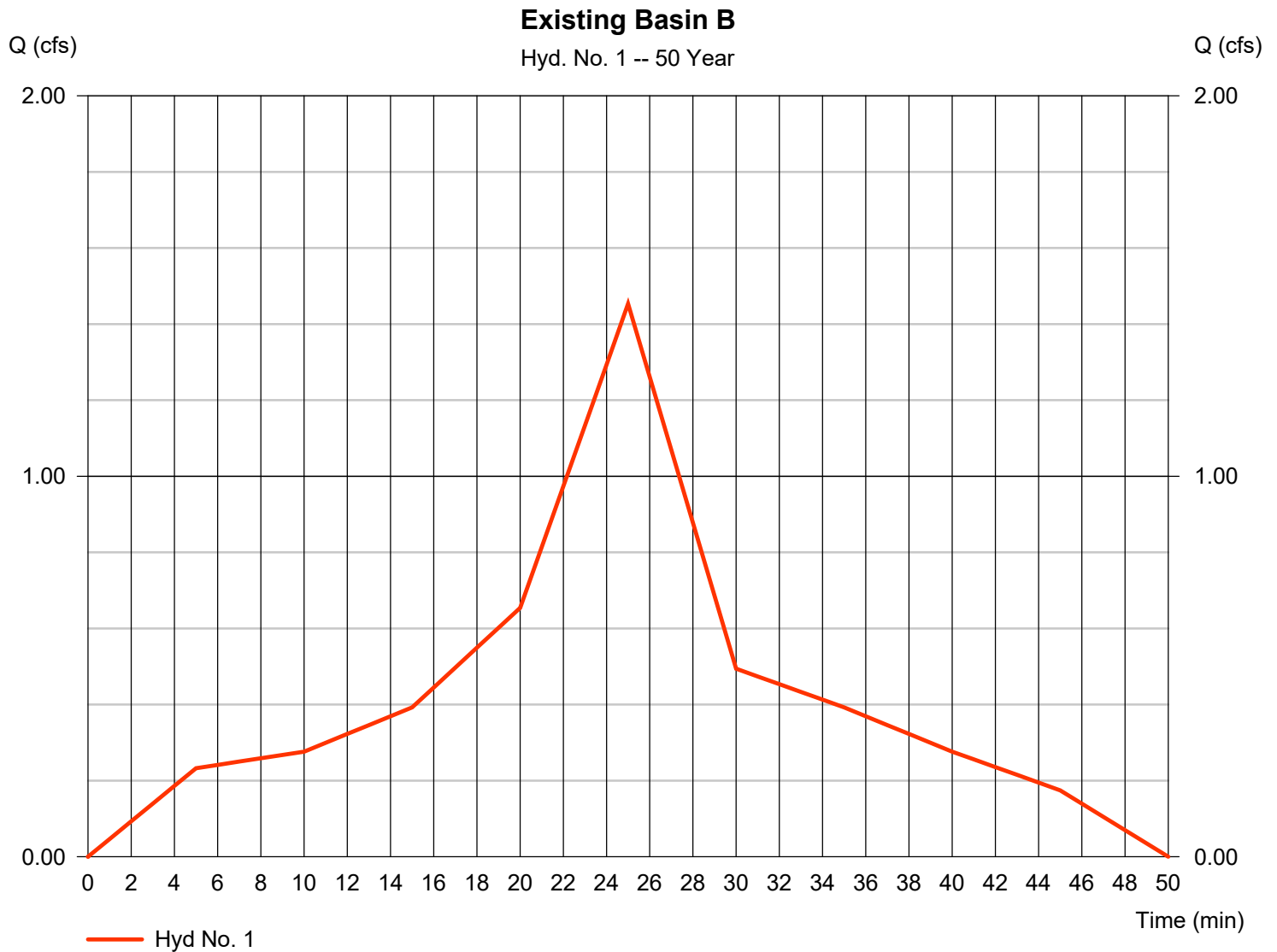
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 1

Existing Basin B

Hydrograph type	= Dekalb	Peak discharge	= 1.453 cfs
Storm frequency	= 50 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 1,304 cuft
Drainage area	= 0.280 ac	Runoff coeff.	= 0.49
Intensity	= 10.594 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

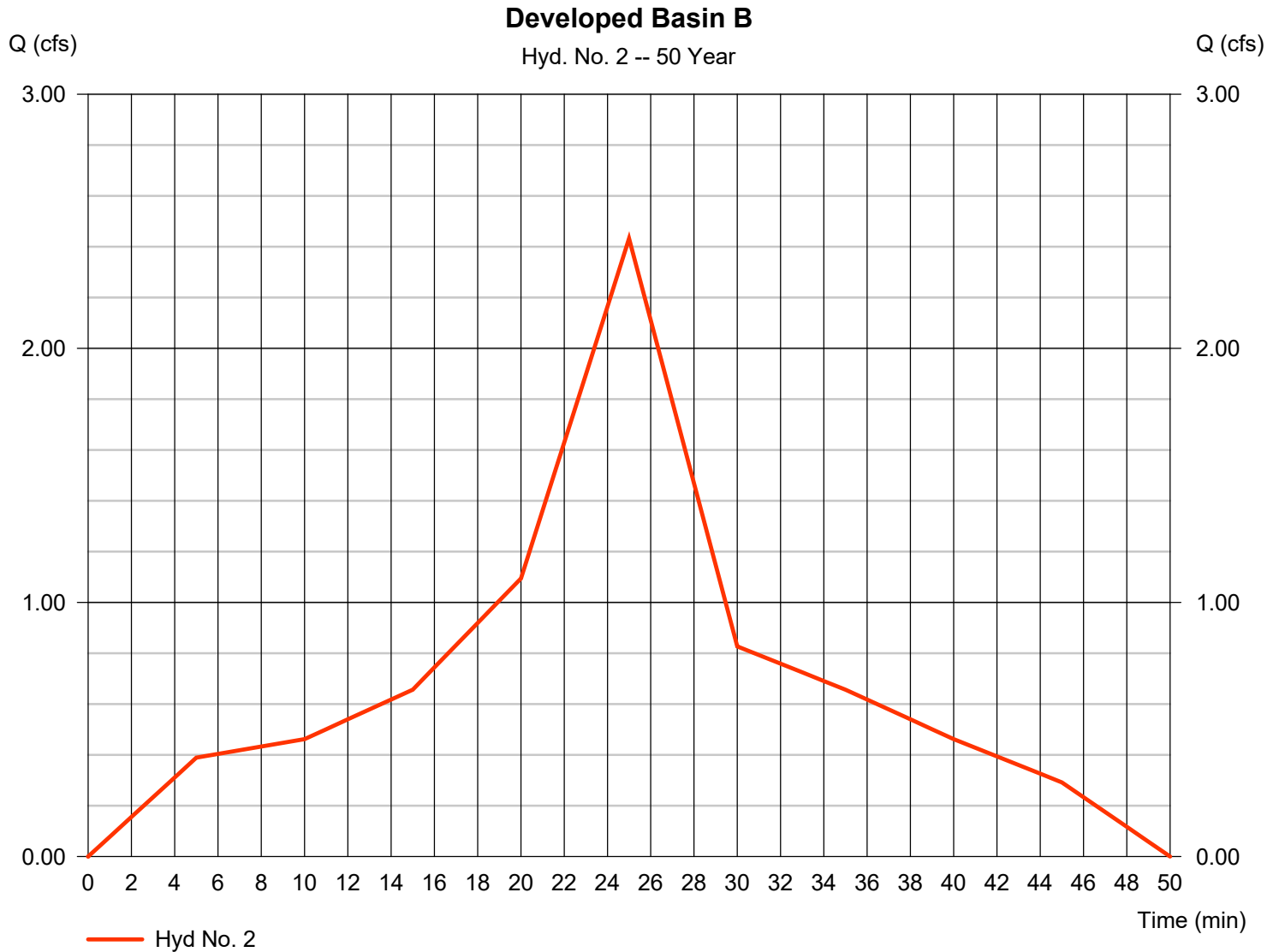
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 2

Developed Basin B

Hydrograph type	= Dekalb	Peak discharge	= 2.432 cfs
Storm frequency	= 50 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 2,182 cuft
Drainage area	= 0.410 ac	Runoff coeff.	= 0.56
Intensity	= 10.594 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

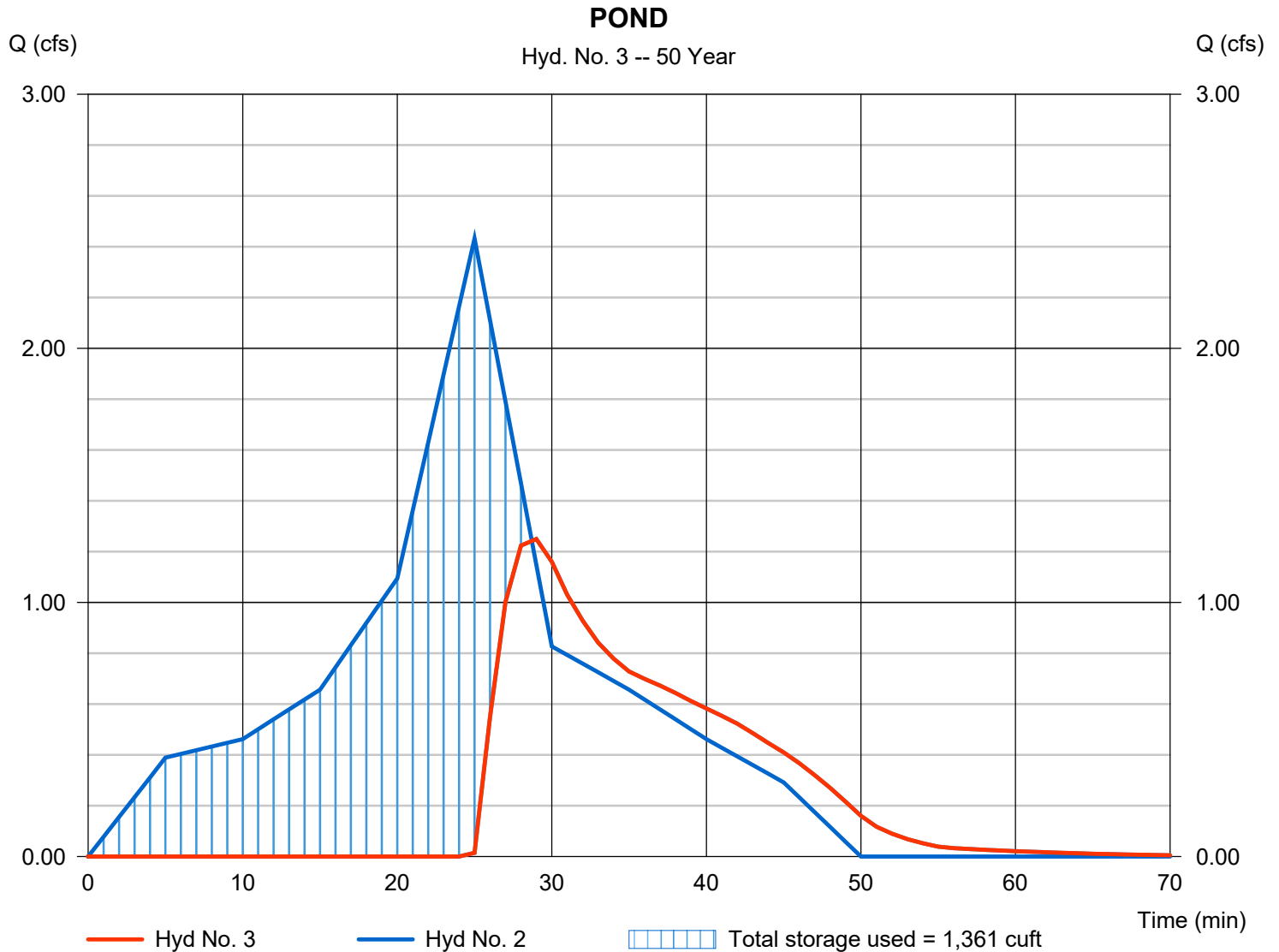
Monday, 03 / 13 / 2023

## Hyd. No. 3

POND

Hydrograph type	= Reservoir	Peak discharge	= 1.250 cfs
Storm frequency	= 50 yrs	Time to peak	= 29 min
Time interval	= 1 min	Hyd. volume	= 1,025 cuft
Inflow hyd. No.	= 2 - Developed Basin B	Max. Elevation	= 928.67 ft
Reservoir name	= Infiltration	Max. Storage	= 1,361 cuft

Storage Indication method used. Exfiltration extracted from Outflow.





# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Dekalb	1.632	1	25	1,464	-----	-----	-----	Existing Basin B	
2	Dekalb	2.732	1	25	2,451	-----	-----	-----	Developed Basin B	
3	Reservoir	1.595	1	28	1,294	2	928.93	1,424	POND	
Hydrology.gpw					Return Period: 100 Year			Monday, 03 / 13 / 2023 Packet page:...		

# Hydrograph Report

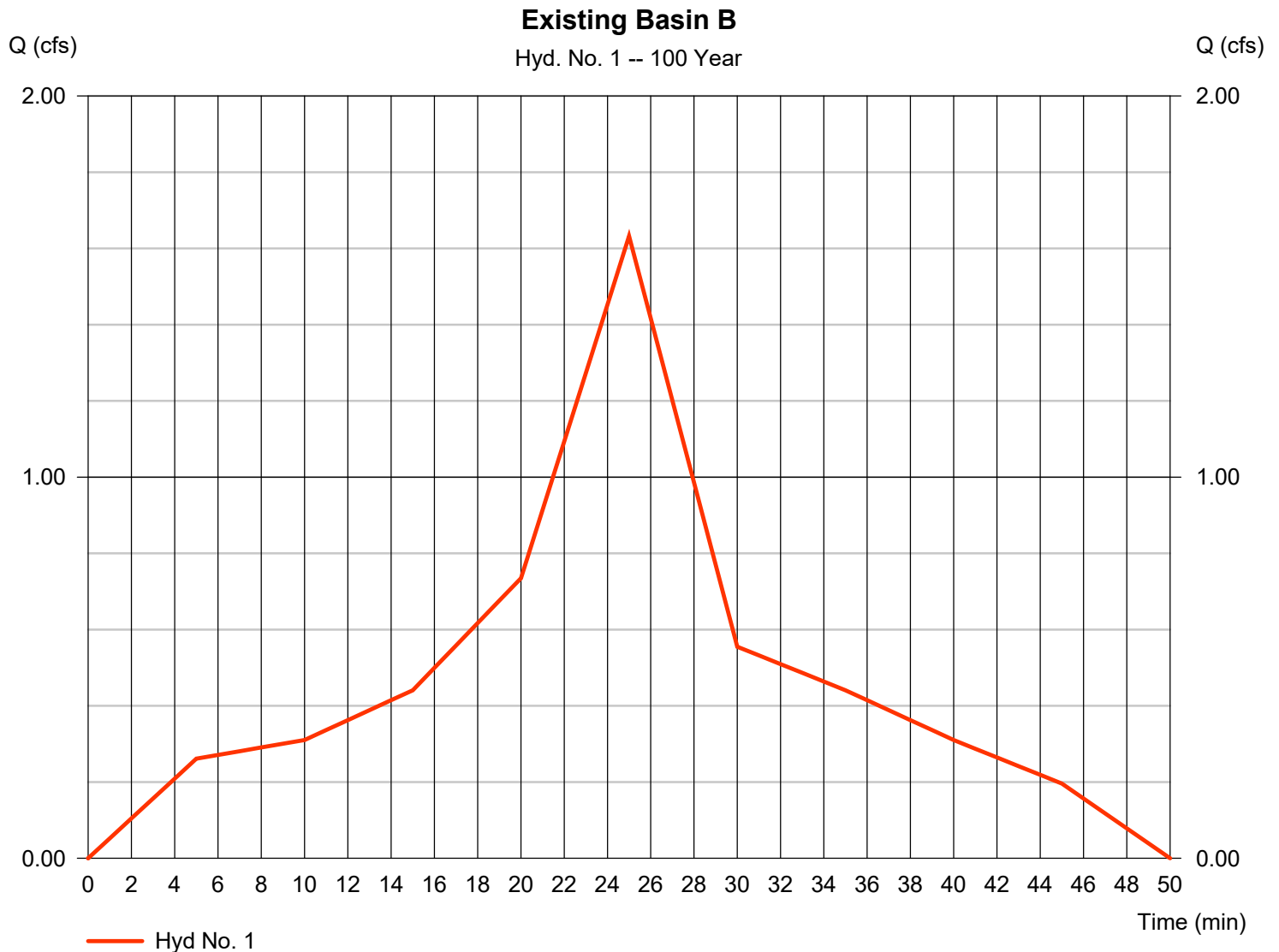
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 1

Existing Basin B

Hydrograph type	= Dekalb	Peak discharge	= 1.632 cfs
Storm frequency	= 100 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 1,464 cuft
Drainage area	= 0.280 ac	Runoff coeff.	= 0.49
Intensity	= 11.899 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

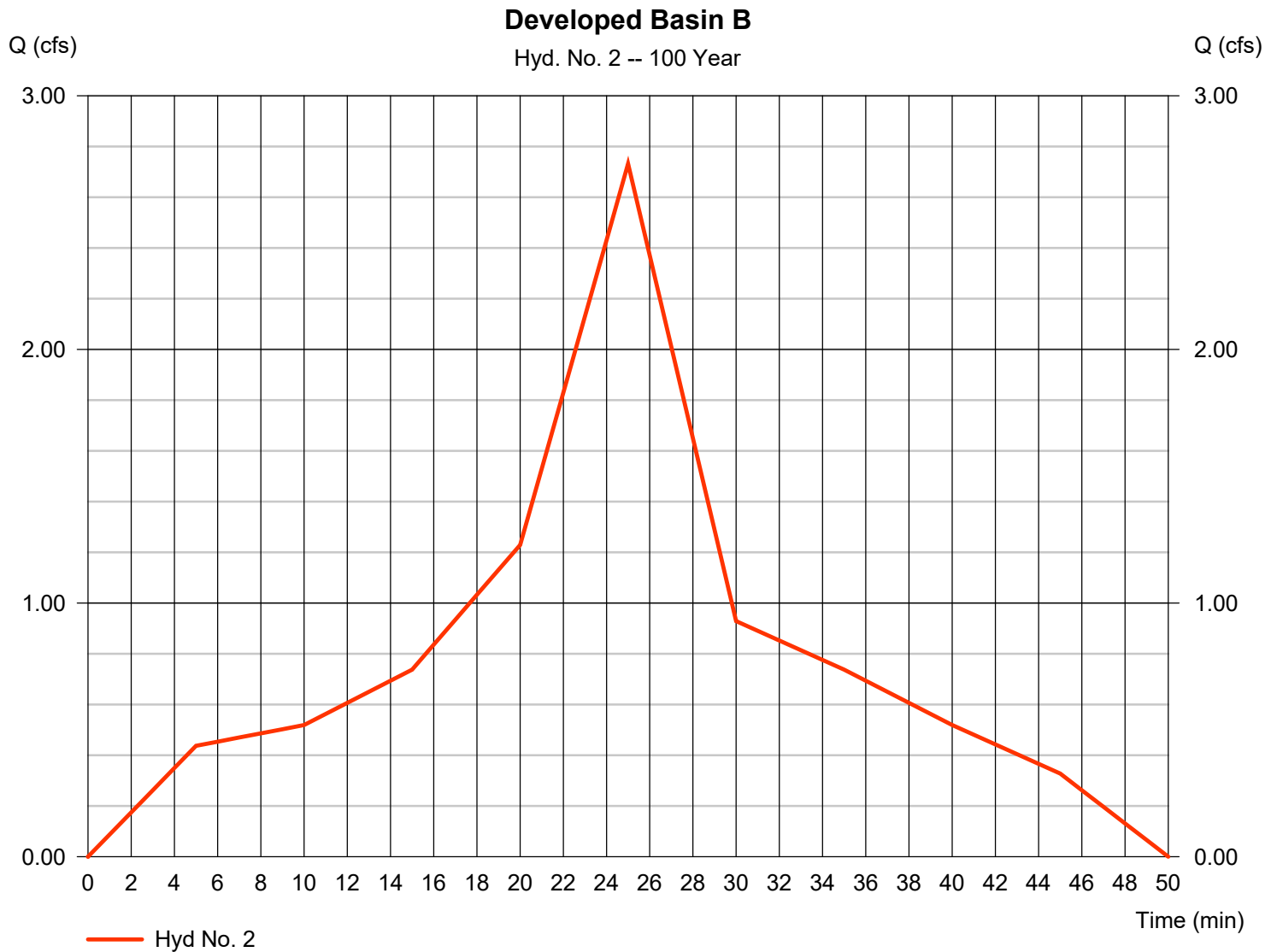
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Monday, 03 / 13 / 2023

## Hyd. No. 2

Developed Basin B

Hydrograph type	= Dekalb	Peak discharge	= 2.732 cfs
Storm frequency	= 100 yrs	Time to peak	= 25 min
Time interval	= 1 min	Hyd. volume	= 2,451 cuft
Drainage area	= 0.410 ac	Runoff coeff.	= 0.56
Intensity	= 11.899 in/hr	Tc by User	= 5.00 min
IDF Curve	= Dunwoody IDF.IDF	Asc/Rec limb fact	= n/a



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

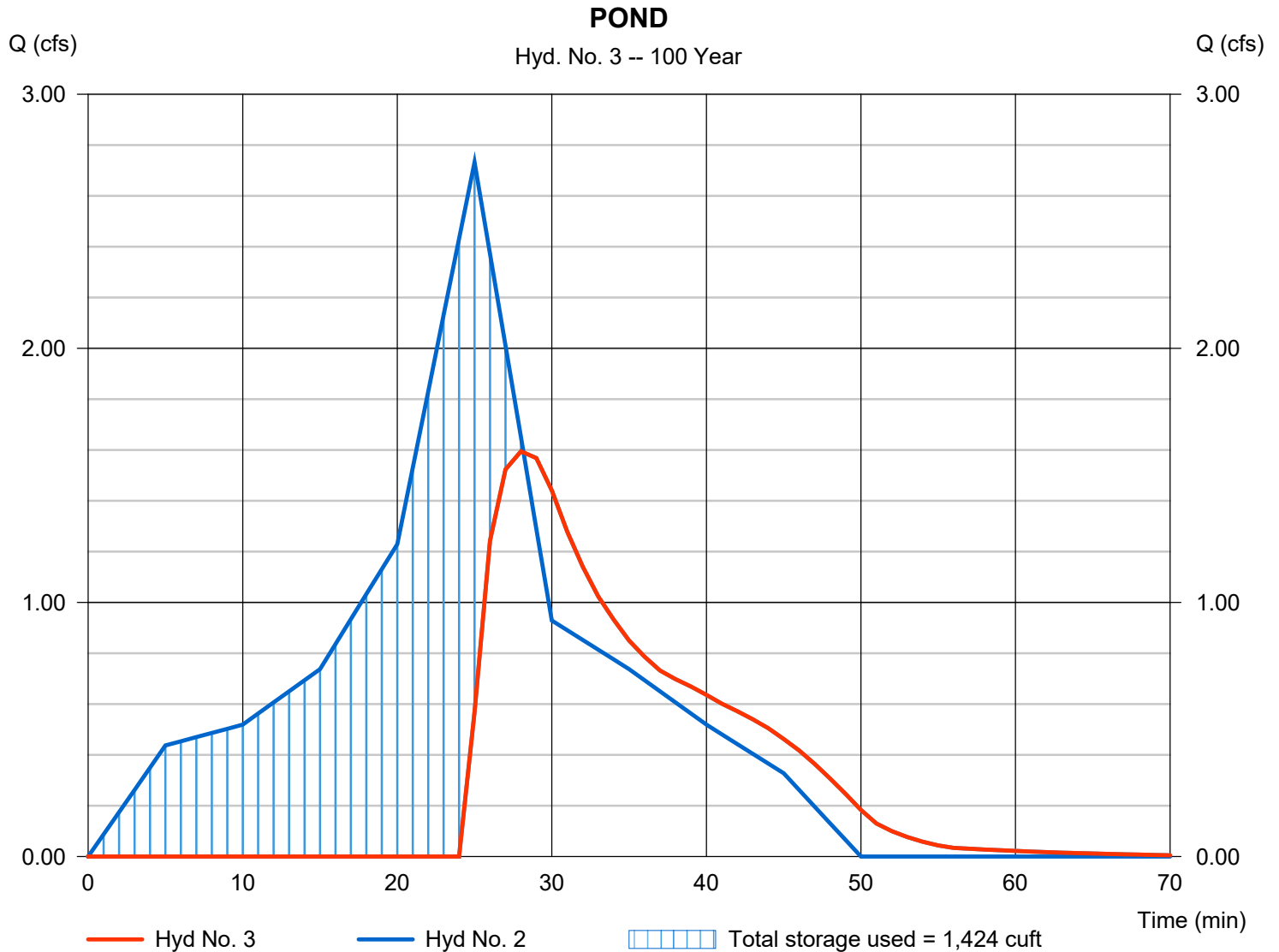
Monday, 03 / 13 / 2023

## Hyd. No. 3

POND

Hydrograph type	= Reservoir	Peak discharge	= 1.595 cfs
Storm frequency	= 100 yrs	Time to peak	= 28 min
Time interval	= 1 min	Hyd. volume	= 1,294 cuft
Inflow hyd. No.	= 2 - Developed Basin B	Max. Elevation	= 928.93 ft
Reservoir name	= Infiltration	Max. Storage	= 1,424 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



Appendix C  
Misc. Information

Soil Map—DeKalb County, Georgia  
(1822 Mount Vernon Road Site)



Map Scale: 1:588 if printed on A portrait (8.5" x 11") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 16N WGS84




Soil Map—DeKalb County, Georgia  
(1822 Mount Vernon Road Site)


**MAP LEGEND**


**Area of Interest (AOI)**

 Area of Interest (AOI)




















**Soils**







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

**Special Point Features**






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

**MAP INFORMATION**

The soil surveys that comprise your AOI were mapped at 1:15,800.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: DeKalb County, Georgia  
Survey Area Data: Version 14, Sep 12, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Nov 17, 2021—Nov 20, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CuC	Cecil-Urban land complex, 2 to 10 percent slopes	1.1	100.0%
<b>Totals for Area of Interest</b>		<b>1.1</b>	<b>100.0%</b>



## DeKalb County, Georgia

### CuC—Cecil-Urban land complex, 2 to 10 percent slopes

#### Map Unit Setting

*National map unit symbol:* 2vnp6  
*Elevation:* 200 to 1,400 feet  
*Mean annual precipitation:* 44 to 60 inches  
*Mean annual air temperature:* 59 to 64 degrees F  
*Frost-free period:* 190 to 230 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Cecil and similar soils:* 65 percent  
*Urban land:* 35 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Cecil

##### Setting

*Landform:* Hills  
*Landform position (two-dimensional):* Summit  
*Landform position (three-dimensional):* Interfluve  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Parent material:* Residuum weathered from granite and gneiss  
 and/or residuum weathered from schist

##### Typical profile

*Ap - 0 to 8 inches:* sandy loam  
*Bt - 8 to 42 inches:* sandy clay  
*C - 42 to 60 inches:* loam

##### Properties and qualities

*Slope:* 2 to 10 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Well drained  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately high to high (0.57 to 1.98 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Moderate (about 7.3 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 3e  
*Hydrologic Soil Group:* B  
*Ecological site:* F136XY820GA - Acidic upland forest, moist  
*Hydric soil rating:* No

## Description of Urban Land

### Properties and qualities

*Slope:* 2 to 10 percent

*Depth to restrictive feature:* 0 inches to manufactured layer

### Interpretive groups

*Land capability classification (irrigated):* None specified

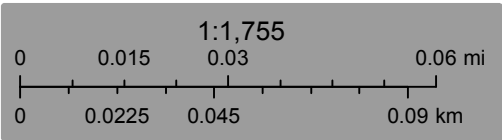
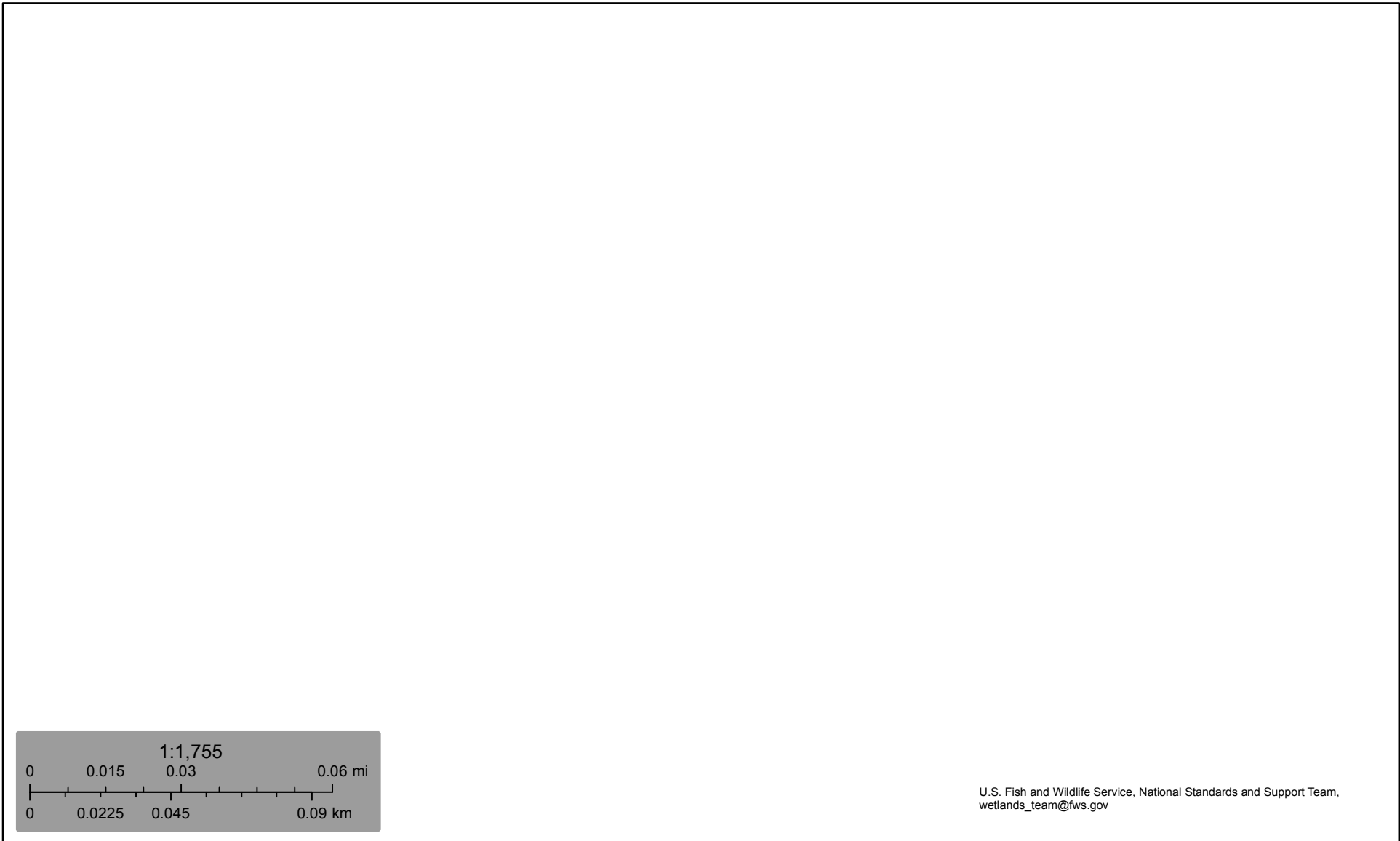
*Land capability classification (nonirrigated):* 8s

*Hydric soil rating:* No

## Data Source Information

Soil Survey Area: DeKalb County, Georgia

Survey Area Data: Version 14, Sep 12, 2022



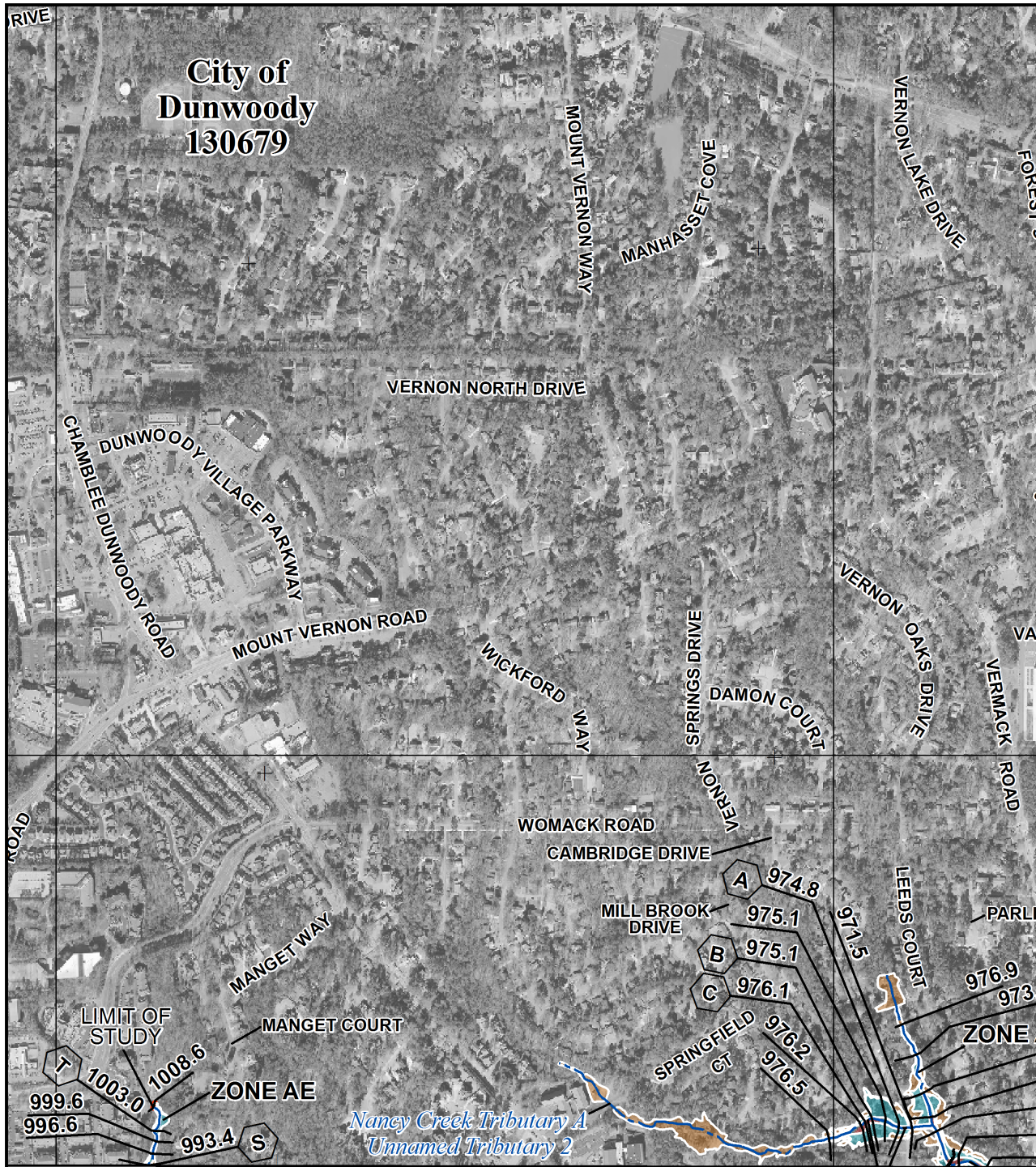
U.S. Fish and Wildlife Service, National Standards and Support Team,  
 wetlands\_team@fws.gov

March 14, 2023

**Wetlands**

- |   |                                |   |                                   |   |          |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland       |  | Lake     |
|  | Estuarine and Marine Wetland   |  | Freshwater Forested/Shrub Wetland |  | Other    |
|   |                                |  | Freshwater Pond                   |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



City of  
Dunwoody  
130679

North American Datum 1983, western hemisphere

**N**

1 inch = 1,000 feet


0 1,000 2,000

0 250 500

**National Flood Insurance Program**

DEKALB COUNTY, GEORGIA  
and Incorporated Areas

PANEL 5 OF 201



FEMA

Panel Contains:

COMMUNITY	NUMBER	PANEL	SUFFIX
DUNWOODY, CITY OF	130679	0005	K

VERSION NUMBER  
2.3.3.2

MAP NUMBER  
13089C0005K

MAP REVISED  
AUGUST 15, 2019

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.



**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps\\_&\\_aerials](#)

**PF tabular**

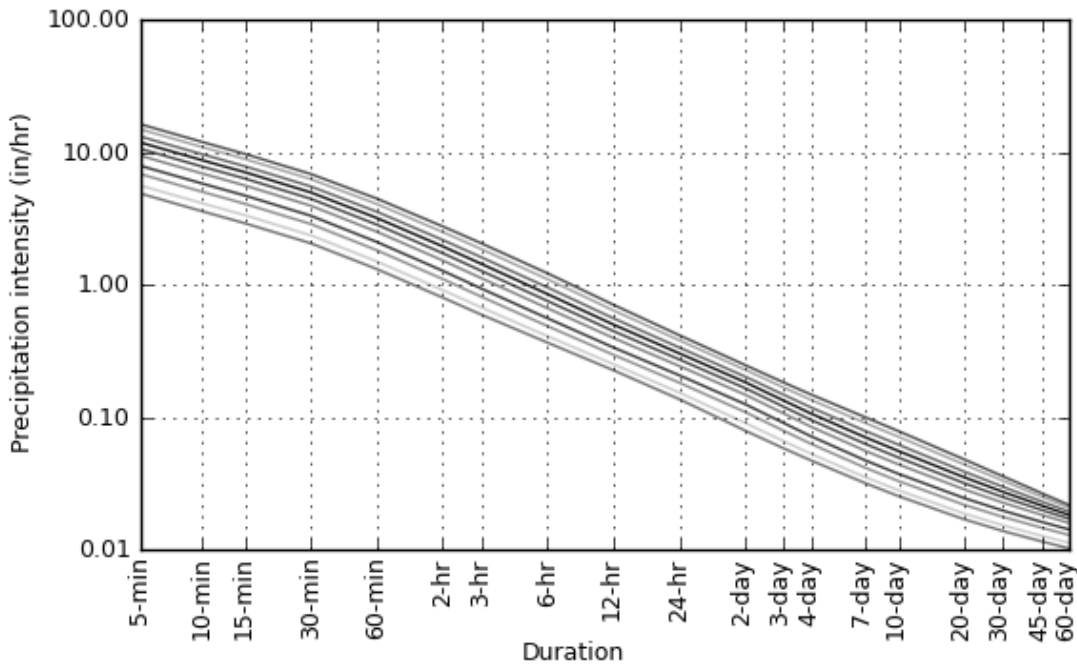
<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)<sup>1</sup></b>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	4.88 (3.98-6.05)	5.62 (4.57-6.95)	6.85 (5.57-8.50)	7.91 (6.40-9.83)	9.42 (7.40-12.0)	10.6 (8.17-13.6)	11.9 (8.86-15.4)	13.1 (9.47-17.4)	14.9 (10.4-20.0)	16.3 (11.1-22.0)
10-min	3.58 (2.92-4.42)	4.11 (3.35-5.09)	5.02 (4.07-6.22)	5.79 (4.68-7.19)	6.89 (5.42-8.77)	7.77 (5.99-9.95)	8.68 (6.48-11.3)	9.62 (6.93-12.7)	10.9 (7.59-14.7)	11.9 (8.09-16.1)
15-min	2.91 (2.37-3.60)	3.34 (2.72-4.14)	4.08 (3.31-5.06)	4.71 (3.80-5.85)	5.60 (4.41-7.13)	6.32 (4.86-8.09)	7.06 (5.27-9.17)	7.82 (5.63-10.3)	8.87 (6.17-11.9)	9.69 (6.58-13.1)
30-min	2.05 (1.67-2.54)	2.36 (1.92-2.92)	2.87 (2.33-3.56)	3.31 (2.68-4.12)	3.94 (3.10-5.02)	4.45 (3.42-5.70)	4.97 (3.71-6.46)	5.51 (3.97-7.28)	6.26 (4.35-8.40)	6.84 (4.64-9.25)
60-min	1.31 (1.07-1.62)	1.50 (1.22-1.86)	1.82 (1.48-2.26)	2.10 (1.70-2.61)	2.51 (1.98-3.20)	2.84 (2.19-3.65)	3.19 (2.38-4.15)	3.55 (2.56-4.70)	4.06 (2.83-5.46)	4.46 (3.03-6.04)
2-hr	0.800 (0.658-0.978)	0.910 (0.749-1.11)	1.10 (0.904-1.35)	1.27 (1.04-1.57)	1.52 (1.22-1.93)	1.73 (1.35-2.20)	1.95 (1.47-2.51)	2.17 (1.59-2.85)	2.50 (1.76-3.33)	2.75 (1.89-3.68)
3-hr	0.595 (0.492-0.723)	0.673 (0.557-0.819)	0.812 (0.669-0.989)	0.935 (0.768-1.14)	1.12 (0.900-1.41)	1.27 (1.00-1.61)	1.44 (1.10-1.84)	1.61 (1.19-2.10)	1.86 (1.32-2.46)	2.05 (1.42-2.73)
6-hr	0.366 (0.306-0.440)	0.410 (0.342-0.493)	0.488 (0.406-0.588)	0.559 (0.463-0.675)	0.666 (0.542-0.829)	0.755 (0.601-0.946)	0.851 (0.658-1.08)	0.955 (0.712-1.23)	1.10 (0.795-1.45)	1.22 (0.858-1.61)
12-hr	0.227 (0.191-0.269)	0.252 (0.212-0.299)	0.296 (0.249-0.353)	0.337 (0.282-0.402)	0.397 (0.326-0.488)	0.447 (0.360-0.553)	0.501 (0.392-0.629)	0.559 (0.422-0.713)	0.641 (0.469-0.831)	0.707 (0.504-0.920)
24-hr	0.137 (0.117-0.161)	0.154 (0.131-0.181)	0.182 (0.155-0.215)	0.207 (0.176-0.245)	0.244 (0.202-0.295)	0.273 (0.222-0.333)	0.304 (0.240-0.376)	0.336 (0.257-0.423)	0.381 (0.282-0.487)	0.416 (0.301-0.536)
2-day	0.079 (0.068-0.092)	0.091 (0.078-0.105)	0.109 (0.094-0.127)	0.125 (0.107-0.146)	0.148 (0.123-0.176)	0.166 (0.136-0.199)	0.184 (0.147-0.224)	0.203 (0.156-0.251)	0.228 (0.171-0.288)	0.247 (0.181-0.315)
3-day	0.058 (0.050-0.067)	0.066 (0.057-0.076)	0.079 (0.068-0.091)	0.090 (0.078-0.105)	0.107 (0.090-0.127)	0.120 (0.099-0.143)	0.133 (0.107-0.162)	0.148 (0.115-0.182)	0.167 (0.127-0.210)	0.183 (0.135-0.231)
4-day	0.047 (0.041-0.054)	0.053 (0.046-0.061)	0.063 (0.055-0.072)	0.072 (0.062-0.083)	0.085 (0.072-0.100)	0.095 (0.079-0.114)	0.107 (0.086-0.129)	0.118 (0.093-0.146)	0.135 (0.103-0.169)	0.148 (0.110-0.187)
7-day	0.032 (0.028-0.036)	0.036 (0.031-0.040)	0.042 (0.037-0.048)	0.048 (0.041-0.054)	0.056 (0.048-0.066)	0.063 (0.053-0.075)	0.071 (0.058-0.085)	0.079 (0.063-0.097)	0.091 (0.070-0.113)	0.101 (0.076-0.126)
10-day	0.025 (0.022-0.029)	0.028 (0.025-0.032)	0.033 (0.029-0.037)	0.037 (0.033-0.043)	0.044 (0.038-0.052)	0.050 (0.042-0.058)	0.056 (0.046-0.067)	0.062 (0.050-0.075)	0.071 (0.055-0.088)	0.079 (0.060-0.098)
20-day	0.017 (0.015-0.019)	0.019 (0.017-0.021)	0.022 (0.019-0.024)	0.025 (0.022-0.028)	0.029 (0.025-0.033)	0.032 (0.027-0.037)	0.035 (0.029-0.041)	0.039 (0.032-0.047)	0.044 (0.035-0.054)	0.048 (0.037-0.059)
30-day	0.014 (0.012-0.015)	0.015 (0.014-0.017)	0.018 (0.016-0.020)	0.020 (0.018-0.022)	0.023 (0.020-0.026)	0.025 (0.021-0.029)	0.027 (0.023-0.032)	0.030 (0.024-0.035)	0.033 (0.026-0.040)	0.036 (0.028-0.044)
45-day	0.012 (0.010-0.013)	0.013 (0.012-0.014)	0.015 (0.013-0.016)	0.016 (0.015-0.018)	0.018 (0.016-0.021)	0.020 (0.017-0.023)	0.022 (0.018-0.025)	0.023 (0.019-0.027)	0.025 (0.020-0.030)	0.027 (0.021-0.032)
60-day	0.010 (0.009-0.011)	0.011 (0.010-0.012)	0.013 (0.012-0.014)	0.014 (0.013-0.016)	0.016 (0.014-0.018)	0.017 (0.015-0.019)	0.018 (0.016-0.021)	0.019 (0.016-0.023)	0.021 (0.017-0.025)	0.022 (0.017-0.026)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

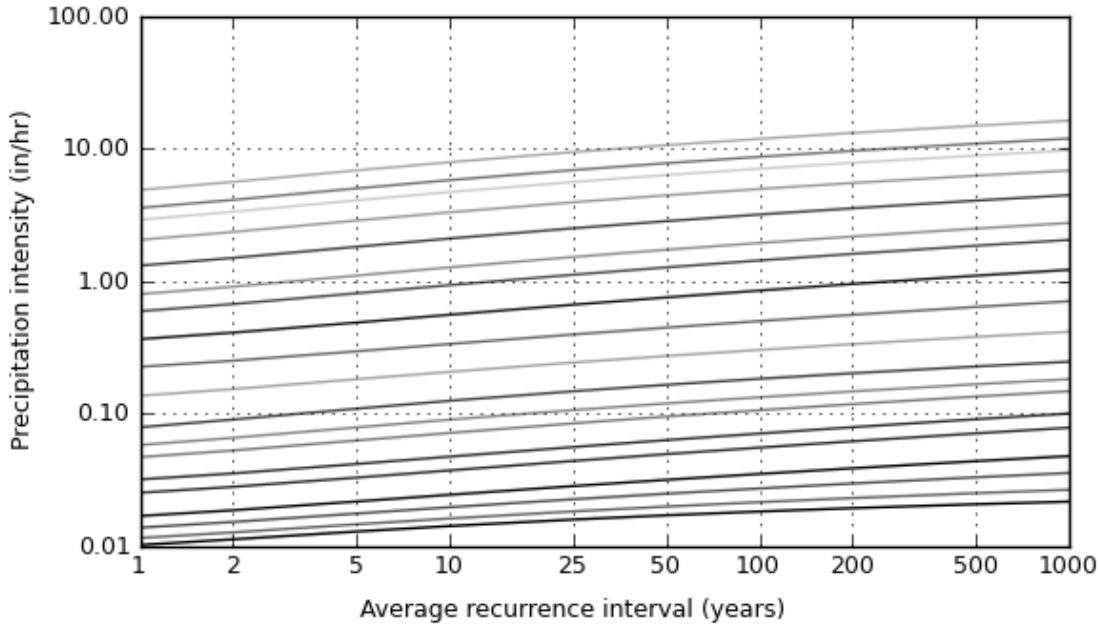
[Back to Top](#)

**PF graphical**

PDS-based intensity-duration-frequency (IDF) curves  
Latitude: 33.9485°, Longitude: -84.3257°



Average recurrence interval (years)
1
2
5
10
25
50
100
200
500
1000

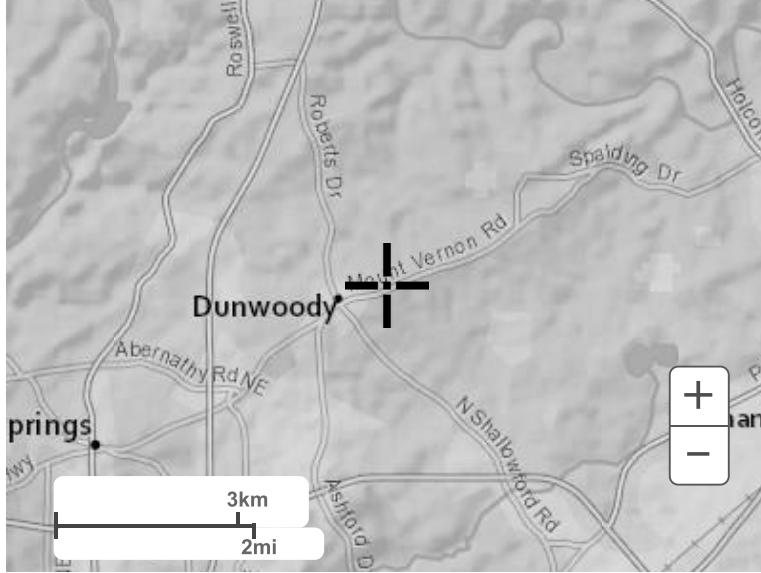


Duration	
5-min	2-day
10-min	3-day
15-min	4-day
30-min	7-day
60-min	10-day
2-hr	20-day
3-hr	30-day
6-hr	45-day
12-hr	60-day
24-hr	

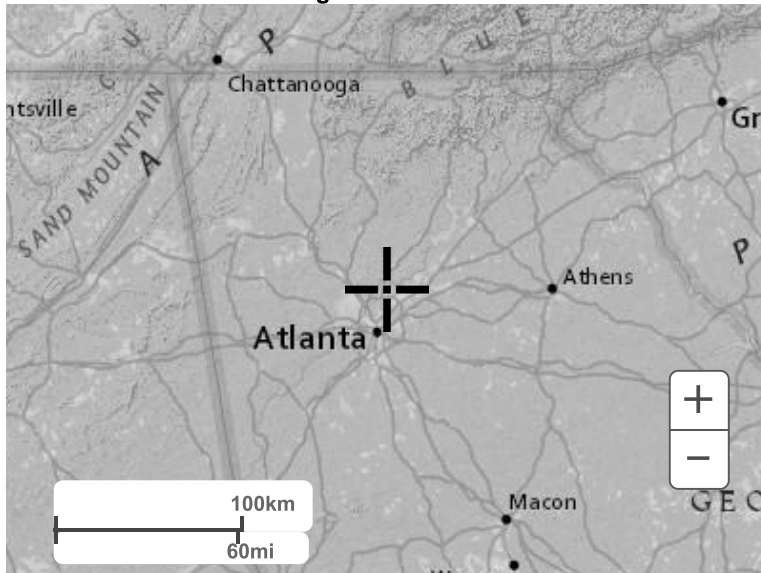
[Back to Top](#)

**Maps & aerials**

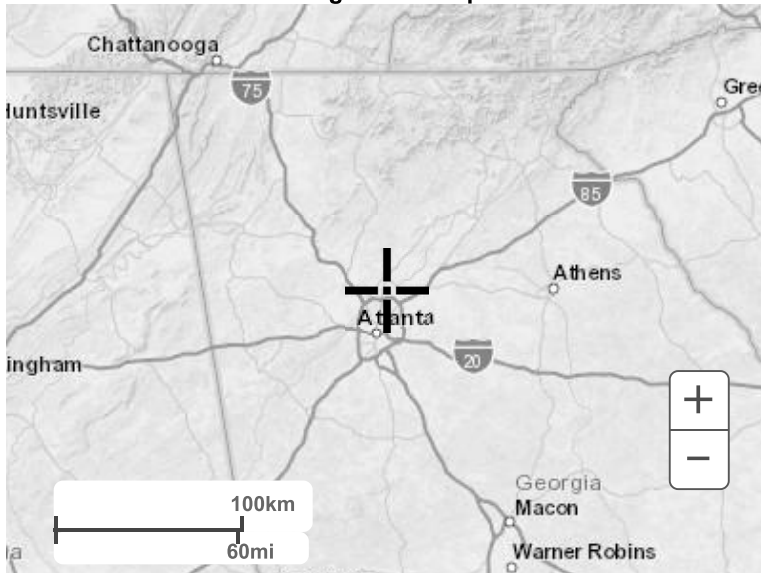
Small scale terrain



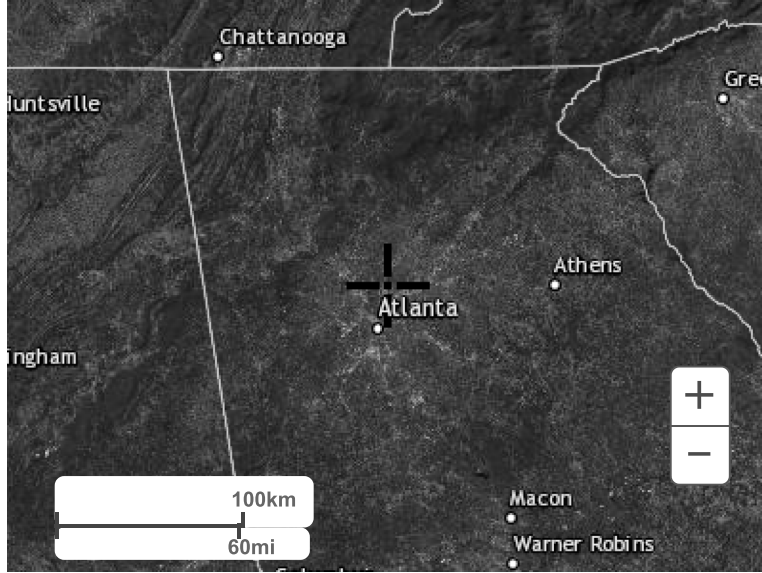
Large scale terrain



Large scale map



Large scale aerial



[Back to Top](#)

---

[US Department of Commerce](#)  
[National Oceanic and Atmospheric Administration](#)  
[National Weather Service](#)  
[National Water Center](#)  
1325 East West Highway  
Silver Spring, MD 20910  
Questions?: [HDSC.Questions@noaa.gov](mailto:HDSC.Questions@noaa.gov)

[Disclaimer](#)



Appendix D  
Operation & Maintenance Plan

### Dry Wells

Dry wells are located below the surface of development sites, and consist of shallow excavations, typically filled with stone, that are designed to intercept and temporarily store post-construction stormwater runoff until it infiltrates into the underlying and surrounding soils. If properly designed, they can provide significant reductions in post-construction stormwater runoff rates, volumes, and pollutant loads on development sites.

There are some common problems to be aware of when maintaining a dry well. They include, but are not limited to, the following:

- Sediment build-up
- Clogging in the gutters, pipes, and downspouts



Routine inspection and maintenance should be performed on the dry wells to ensure that the structure is functioning properly. Dry wells should be inspected after a large rainstorm. Keep gutters, pipes, and downspouts draining to the dry well clean and free of trash and debris. Every dry well should include an observation well to observe the draw down time of the dry well following a storm event. This is important to determine if clogging is occurring within the dry well.

If water is not draining to the dry well properly, check for clogging in the gutters, pipes, and downspouts. If the dry well is not draining properly the filter fabric may be clogged. The filter fabric lines the top and sides of the dry well. In addition, if the soil is not draining properly, the soil may be over-compacted. In a dry well, the media is likely to become clogged at the upper layer of the soil first. If the media is clogged or over-compacted, then the filter fabric and media should be replaced.

The table below shows a schedule for when different maintenance activities should be performed on the dry well.

**Dry Well Typical Routine Maintenance Activities and Schedule**

Activity	Schedule
<ul style="list-style-type: none"> <li>• If applicable, water to promote plant growth and survival within landscaped area over the top of the dry well.</li> <li>• If applicable, inspect vegetative cover on the surface of the dry well following rainfall events. Plant replacement vegetation in any eroded areas.</li> </ul>	As Needed
<ul style="list-style-type: none"> <li>• If applicable, inspect gutters and downspouts. Remove any accumulated leaves or debris.</li> <li>• Inspect dry well following rainfall events. Check observation well to</li> </ul>	Annually (Semi-Annually During First Year)

Activity	Schedule
<p>ensure that complete drawdown has occurred within 24 hours after the end of a rainfall event. Failure to drawdown within this timeframe may indicate dry well failure.</p> <ul style="list-style-type: none"><li>• If applicable, inspect pretreatment devices for sediment accumulation. Remove accumulated trash and debris.</li><li>• Inspect top layer of filter fabric for sediment accumulation. Remove and replace if clogged.</li></ul>	
<ul style="list-style-type: none"><li>• Perform total rehabilitation of the dry well, removing dry well stone and excavating to expose clean soil on the sides and bottom of the well.</li></ul>	Upon Failure

Dry Well					
Maintenance Item	Condition				Comment
	Good	Marginal	Poor	N/A*	
<b>General Inspection</b>					
Access to the site is adequately maintained for inspection and maintenance.					
Area is clean around the practice (trash, debris, grass clippings, etc. removed).					
Gutters, pipes, and downspouts to the dry well are free of trash, debris, leaves, etc.					
No evidence of structural deficiencies or settling around the structure.					
Main treatment area is free of trash, debris, and sediment.					
Sediment has not accumulated and clogged filter fabric.					
Pretreatment is in place if dry well does not receive roof top runoff. Pretreatment is in good condition.					
No evidence of long-term ponding or standing water in the ponding area of the practice (examples include: stains, odors, mosquito larvae, etc).					
The observation well is capped and locked when not in use.					
Structure seems to be working properly. No settling around the structure. Comment on overall condition of structure.					
<b>Results</b>					
Overall condition of Dry Well:					
<b>Additional Comments</b>					
<b>Notes:</b> * If a specific maintenance item was not checked, please explain why in the appropriate comment box.					



Community Development

SPECIAL LAND USE PERMIT APPLICATION

4800 Ashford Dunwoody Road | Dunwoody, GA 30338
Phone: (678) 382-6800 | Fax: (770) 396-4828

Applicant Information:

Company Name: Legacy Manor Personal Care Home c/o Andersen Tate and Carr
Contact Name: Anre Washington, Esq
Address: 1960 Satellite BLVD #4000 Duluth, Georgia 30097
Phone: 770-822-0900 Fax: Email: awashington@atclawfirm.com
Pre-application conference date (required):

Owner Information: [ ] Check here if same as applicant

Owner's Name: Anna and Roman Khokhlan
Owner's Address: 4994 Eagles Next Court, Loganville Ga 30052
Phone: 404-569-1150 Fax: Email: khoklanpch@yahoo.com

Property Information:

Property Address: 1822 Mount Vernon Road, Dunwoody Georgia Parcel ID: 18 367 01 048
Current Zoning Classification: R-100
Requested Zoning Classification: R-100 SUP

Applicant Affidavit:

I hereby certify that to the best of my knowledge, this amendment application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

Applicant's Name: ANRE WASHINGTON
Applicant's Signature: [Signature] Date: December 6, 2022

Notary:

Sworn to and subscribed before me this 6th Day of December, 2022
Notary Public: Mary Jane O'Neal
Signature: [Signature]
My Commission Expires: 9/4/2023





Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

# Property Owner(s) Notarized Certification

I hereby certify that to the best of my knowledge, this amendment form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that the applicant(s) (if different) are authorized to act on my behalf, pursuant to this application and associated actions.

### Property Owner (If Applicable):

Owner Name: Anna Khokhlan

Signature: [Signature] Date: 12-05-2022

Address: 1822 Mount Vernon Rd, Dunwoody GA 30338

Phone: 4-569-1150 Fax: \_\_\_\_\_ Email: khokhlan.pch@yahoo.com

Sworn to and subscribed before me this 05 Day of December, 2022

Notary Public:

### Property Owner (If Applicable):

Owner Name: Roman Khokhlan

Signature: [Signature] Date: 12-05-2022

Address: 1822 Mount Vernon Rd, Dunwoody GA 30338

Phone: 7-510-6669 Fax: \_\_\_\_\_ Email: R.khokhlan@live.com

Sworn to and subscribed before me this 05 Day of December, 2022

Notary Public:

### Property Owner (If Applicable):

Owner Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_

Notary Public: \_\_\_\_\_

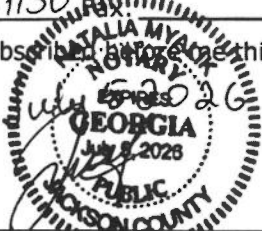
# Additional Applicant Notarized Certification

Community Development

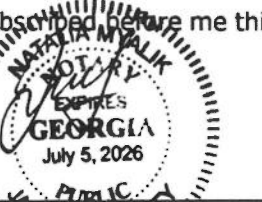
4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

**Applicant:**

Applicant Name:	<u>Anna Khokhlan</u>	
Signature:	<u>[Signature]</u>	Date: <u>12-5-2022</u>
Address:	<u>1822 Mount Vernon Rd, Dunwoody GA 30338</u>	
Phone:	<u>4-569-1150</u>	Email: <u>khokhlanpch@yahoo.com</u>
Sworn to and subscribed before me this	<u>05</u>	Day of <u>December</u> , 20 <u>22</u>
Notary Public:		

**Applicant:**

Applicant Name:	<u>Roman Khokhlan</u>	
Signature:	<u>[Signature]</u>	Date: <u>12-05-2022</u>
Address:	<u>1822 Mount Vernon Rd, Dunwoody GA 30338</u>	
Phone:	<u>7-510-6669</u>	Email: <u>RKhokhlan@live.com</u>
Sworn to and subscribed before me this	<u>05</u>	Day of <u>December</u> , 20 <u>22</u>
Notary Public:		

**Applicant:**

Applicant Name:	_____	
Signature:	_____	Date: _____
Address:	_____	
Phone:	Fax: _____	Email: _____
Sworn to and subscribed before me this	_____	Day of _____, 20_____
Notary Public:	_____	



# Campaign Disclosure Statement

Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission?

YES  NO

Applicant / Owner:

Signature: <i>Anna Khoshdel</i>	Date: <i>12-05-2022</i>
Address: <i>1822 Mount Vernon Rd, Dunwoody GA 30338; LAND LOT 367, 18<sup>TH</sup> DISTRICT</i>	

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount



# ANDERSEN | TATE | CARR

December 6, 2022

## **LETTER OF INTENT AND JUSTIFICATION FOR DEVELOPMENT**

### **Special Land Use Permit City of Dunwoody, Georgia**

#### **Applicant:**

Anna and Roman Khokhlan

#### **Property:**

Tax Parcel IDs 18 367 01 048

±.38 Acres of Land

Located at 1822 Mount Vernon Road,

Dunwoody Dekalb County, Georgia

**For the Development and Elder and Memory Care Facility for Seniors**

#### **Submitted for Applicant by:**

Anre' D. Washington, Esq.

ANDERSEN TATE & CARR, P.C.

One Sugarloaf Centre

1960 Satellite Blvd.

Suite 4000

Duluth, Georgia 30097

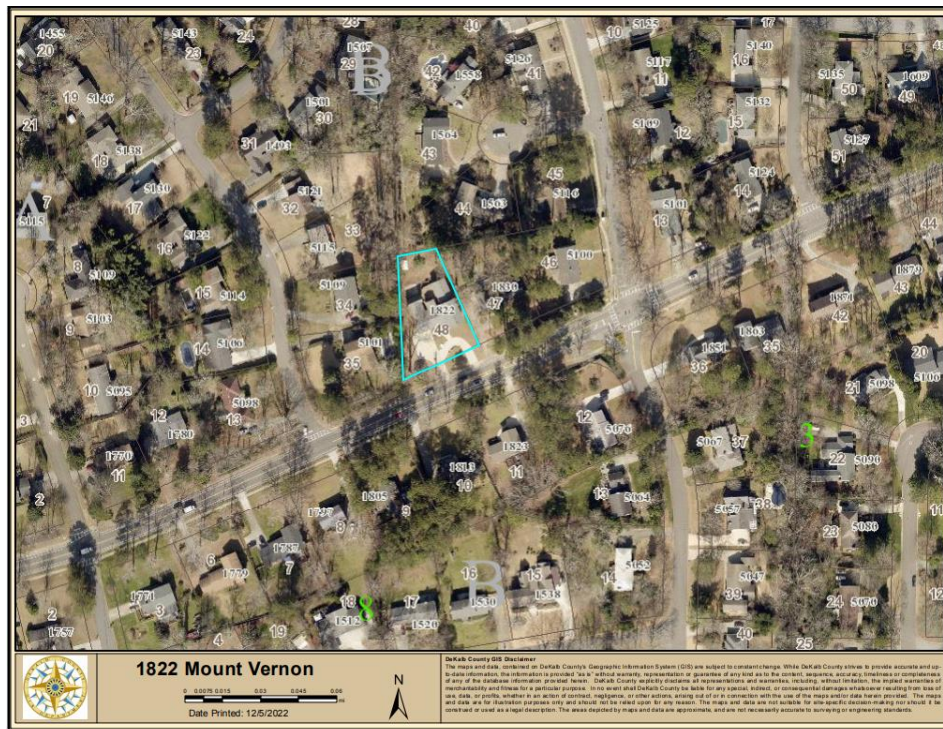
770.822.0900

[awashington@atclawfirm.com](mailto:awashington@atclawfirm.com)

**I. INTRODUCTION**

This Development Application (the "Application") is for a ± .38 parcel of land located at Land Lots 367 of the 18th District, Parcel 048 City of Dunwoody, Dekalb County, Georgia, identified as Parcel ID 18 367 01 048 (hereinafter the "Property") on behalf of the Anna and Roman Khoklan (the "Applicant"). The Property is located at a developed site along Mount Vernon Road.

The Application's subject Property is detailed in an attached survey and site plan dated December 1, 2022, prepared by Landworks Associates, Inc. The Property was formerly a single-family residence with significant structural damage, as seen in the attached photos, and is further identified as shown below from the Cobb County GIS:



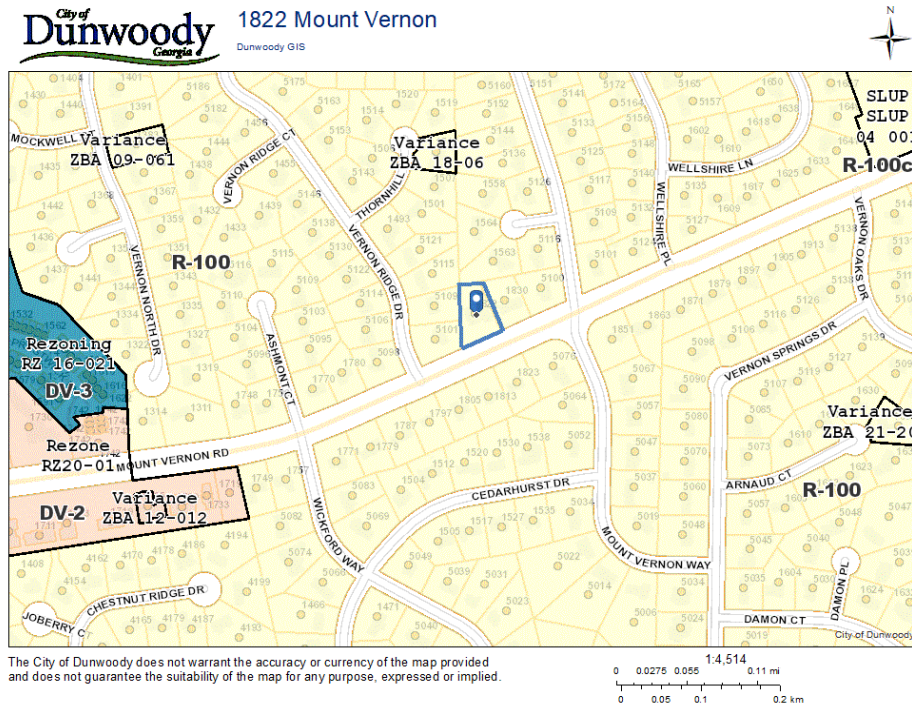
The Property is largely surrounded by single-family homes in the northern portion of Dekalb County within the City of Dunwoody City limits. The completed version of Proposed Development’s (the "Development") architecture and materials will be consistent with the look and feel of the surrounding single-family dwelling.

This Development is an expansion effort of an established and successful senior care business, Legacy Manor Personal Care Home (“Legacy Manor”). Legacy Manor is a residential, personal care facility that provides a fully staffed residential-like community for a small number of seniors to age in place in a safe and controlled environment. The facility will service seven or fewer individuals who can no longer care for themselves but need and, indeed, a place to live equipped with competent medical staff but a “close to normal” home living experience.

## II. DESCRIPTION OF THE PROPERTY AND SURROUNDING AREA

The Property is a less than a half-acre rectangular single tract of land surrounded by single-family homes and comfortably situated on Mount Vernon Road, a major arterial thoroughfare within the City of Dunwoody.

Despite the commercial nature of the Development, there is strategic alignment between the Applicant’s business model and the spirit and intent of the City’s comprehensive plan. As noted on page 14 of the City of Dunwoody’s 2020-2040 Comprehensive Plan, “Residential options for seniors remain paramount . . . Unfortunately, most of the City’s Housing stock is single-family residential.” The plan goes on to state to address this problem, the City must, as an option, “[permit] smaller, lower maintenance senior accessible housing in reasonable proximity to traditional family residential neighborhood.” This Development would fill this need by redeveloping an e decaying existing single-family home into a high-quality “age in place” facility. The SLUP would maintain the R-100 designation but permit uses for the limited purposes associated with the business. Below is an aerial map of the surrounding area and uses:



Pursuant to the City of Dunwoody Code of Ordinances, “R” zoning districts are designed to, among other things, “create, maintain, and promote a variety of housing and to help ensure consistency with the comprehensive plan.” This Development fits within the spirit and intent of the Code because the Senior Residents will live at this location with the benefit of medical and support staff in a facility that is fully integrated in an existing neighborhood. Therefore, the Applicant submits that the proposed Development helps to address the current need for housing variety for disabled seniors, complements existing uses, and fully complies with the City’s Comprehensive Plan and Code of Ordinances.

### III. PROJECT SUMMARY

The Development is a single 6,895 heated square foot facility with an adjoining 660 square foot wooden deck attached to the rear exterior of the Site. As shown on the survey and site plan dated December 1, 2022, prepared by Landworks Associates, Inc, and April 10, 2022, blueprints and filed with this Application (hereinafter the "Site Plan"), the Development includes seven bedrooms, an office, two staff rooms, and a primary suite, along with other spaces for residents. The Site will consist of four parking spaces accessed through a single entrance. The Development will not have a monument sign; standard residential County provided garbage cans located in the rear; enhanced landscape along the western portion of the Property to prevent visible intrusion to the neighbors. A proposed rendering of the Development is pictured below.

Legacy Manor is a small, locally owned family business, and the owner will, in addition to operating the facility, reside there as well. The Applicant chose this location after purchasing the existing single-family home for personal use and, through renovations, discovering significant structural damage. The business caters to veterans and seniors age 65 and older, and residents most often come via referral from the Applicant's existing location.



The Applicant's facility is also required with state and federal guidelines for personal care facilities. The Applicant has successfully provided these services for more than two decades. Although there are 24-hour, seven-days-a-week staff members present for residents, the Applicant limits visitation hours to a few per day, there is no high traffic volume, and the facility does not produce excessive garbage or sewage. The guidelines require adequate staffing per patient, caps the number of patients to eight, mandates electronically monitored building entrances and exits, and clear and accessible entrance and exits for emergency vehicles. The Development will cap the number of residents at seven and only takes residents through appointments.

**IV. CITY OF DUNWOODY SECTION 27-359 CRITERIA**

a. General. Except as otherwise stated in this ordinance, the following review and approval criteria must be used in reviewing and taking action on all special land use permit applications:

(1) Whether the proposed use is consistent with the policies of the comprehensive plan;

Yes. This Development is consistent with the City of Dunwoody Comprehensive plan. This Development would fill this need by redeveloping an e decaying existing single-family home into a high-quality "age-in place" facility. The SLUP would maintain the R-100 designation but permit uses for the limited purposes associated with the business.

(2) Whether the proposed use complies with the requirements of this zoning ordinance;

Yes. This Development fits within the spirit and intent of the Code because the Senior Residents will live at this location with the benefit of medical and support staff in a facility that is fully integrated in an existing neighborhood.

(3) Whether the proposed Site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district;

Yes. The Development fits within the proposed Site, including the necessary coverage for parking and the building's footprint. The Applicant is not requesting any additional variances or waivers.

(4) Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:

a. Whether the proposed use will create adverse impacts upon any adjoining land use because of noise, smoke, odor, dust or vibration generated by the proposed use

b.

No. The Development is a non-smoking facility and, aside from medical or service-related care, functions as a residential facility.

c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;

No. It is a 24-hour senior residential facility. The Development will not be intrusive to adjoining neighbors. The Residents and Staff will be in the facility. The Applicant has strict rules regarding the number of visitors and visitation times.

- d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;

No. The Development is not a high-traffic, noise, or activity center.

- e. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;

No. the facility is limited to 4 parking spots. Access will be via a single entrance and exit. There are a limited number of visitors.

- f. Whether the size, scale, and massing of proposed buildings are appropriate to the size of the subject property and in relation to the size, scale, and massing of adjacent and nearby lots and buildings; and

The facility fits well within the size of the lot, sufficient for all statutorily required parking, access for emergency vehicles, and distance from neighbors.

- g. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.

No. There are no historic buildings, sites, districts, or archaeological resources at the Site.

- (5) Whether public services, public facilities and utilities—including motorized and non-motorized transportation facilities—are adequate to serve the proposed use;

Yes.

- (6) Whether adequate means of ingress and egress are proposed, with particular reference to nonmotorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access;

Yes. The Site provides sufficient ingress and egress.

- (7) Whether adequate provision has been made for refuse and service areas; and

Yes. The Site provides for refuse and service areas.

- (8) Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.

No. the Site will not create a negative shadow impact on any adjoining lot or building.

**V. DRAFT PROPOSED CONDITIONS**

In an effort to demonstrate responsiveness to community concerns and issues presented at the staff meeting, the Applicant proposes the following conditions of Approval of the Application:

1. Special uses on the Property shall be limited to a State-licensed Family Personal Care Home providing residence and care for a maximum of eight residents in the existing single-family home.
2. Exterior signage advertising the Family Personal Care Home shall be prohibited.
3. Any new building(s) or building renovations shall be of a traditional residential style, compatible with the homes in the surrounding area. Architectural elevations, building materials, and colors shall be subject to the review and approval of the Planning and Development Department prior to the issuance of a building permit.
4. Off-street parking related to the operation of the personal care home shall be limited to four vehicles

**VI. CONCLUSION**

For the foregoing reasons, the Applicant respectfully requests approval for this Application to develop the Property. The Applicant welcomes the opportunity to meet with the City of Dunwoody Planning Commission, Council, and Mayor to answer any questions or to address any concerns relating to this Letter of Intent or supporting materials.

Respectfully submitted this 6<sup>th</sup> day of December, 2022.

**ANDERSEN, TATE & CARR, P.C.**

**Anre' D. Washington**

Anre' D. Washington, Esq.

Enclosures









**LEGEND :**

- POB POINT OF BEGINNING
- LLL LAND LOT LINE
- R/W RIGHT OF WAY
- N/F NOW OR FORMERLY
- CTF CRIMP TOP FOUND
- RBF REBAR FOUND
- OTF OPEN TOP FOUND
- RBS REBAR SET
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- DIP DUCTILE IRON PIPE
- PVC POLYVINYLCHLORIDE PIPE
- SWCB SINGLE WING CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- CI CURB INLET
- DI DROP INLET
- OCS OUTLET CONTROL SYSTEM
- JB JUNCTION BOX
- FES FLARED END SECTION
- HW HEAD WALL
- WI WIER INLET
- SSMH SANITARY SEWER MANHOLE
- CO CLEAN OUT
- INV INVERT
- OP OVERHEAD POWER LINE
- EO ELECTRIC OUTLET
- UP UTILITY POLE
- UP UNDERGROUND POWER LINE
- GUY GUY WIRE
- PP POWER POLE
- L/P LIGHT POLE
- FH FIRE HYDRANT
- W- WATER LINE
- WM WATER METER
- WV WATER VALVE
- VM VALVE MARKER
- SI SIGN POST
- BL BUILDING LINE
- CL CENTERLINE
- EP EDGE OF PAVEMENT
- Sp SAMPLING POINT
- Mp MONITORING POINT
- EM ELECTRIC METER
- GM GAS METER

**SURVEY NOTATION:**  
 THIS SURVEY WAS RUN USING A GEOMAX ZOOM 90 ROBOTIC TOTAL STATION EDM UNIT. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 23,315 FEET AND AN ANGULAR ERROR OF 03" PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR PRECISION AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 681,879 FEET.

**REFERENCE MATERIAL:**  
 FINAL PLAT OF MOUNT VERNON NORTH, UNIT TWO, PREPARED BY PLANNERS AND ENGINEERS COLLABORATIVE DATED NOV. 1968 AND RECORDED IN PLAT BOOK 51, PAGE 72.  
 FINAL PLAT OF MOUNT VERNON NORTH, PREPARED BY ANSEL POE & ASSOCIATES DATED SEPT. 30, 1966 AND RECORDED IN PLAT BOOK 57, PAGE 90.

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-07.

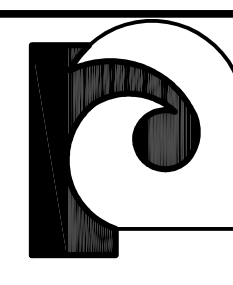
KEVIN V. RINGO - REG. NO. 2278 01/27/22  
 DATE



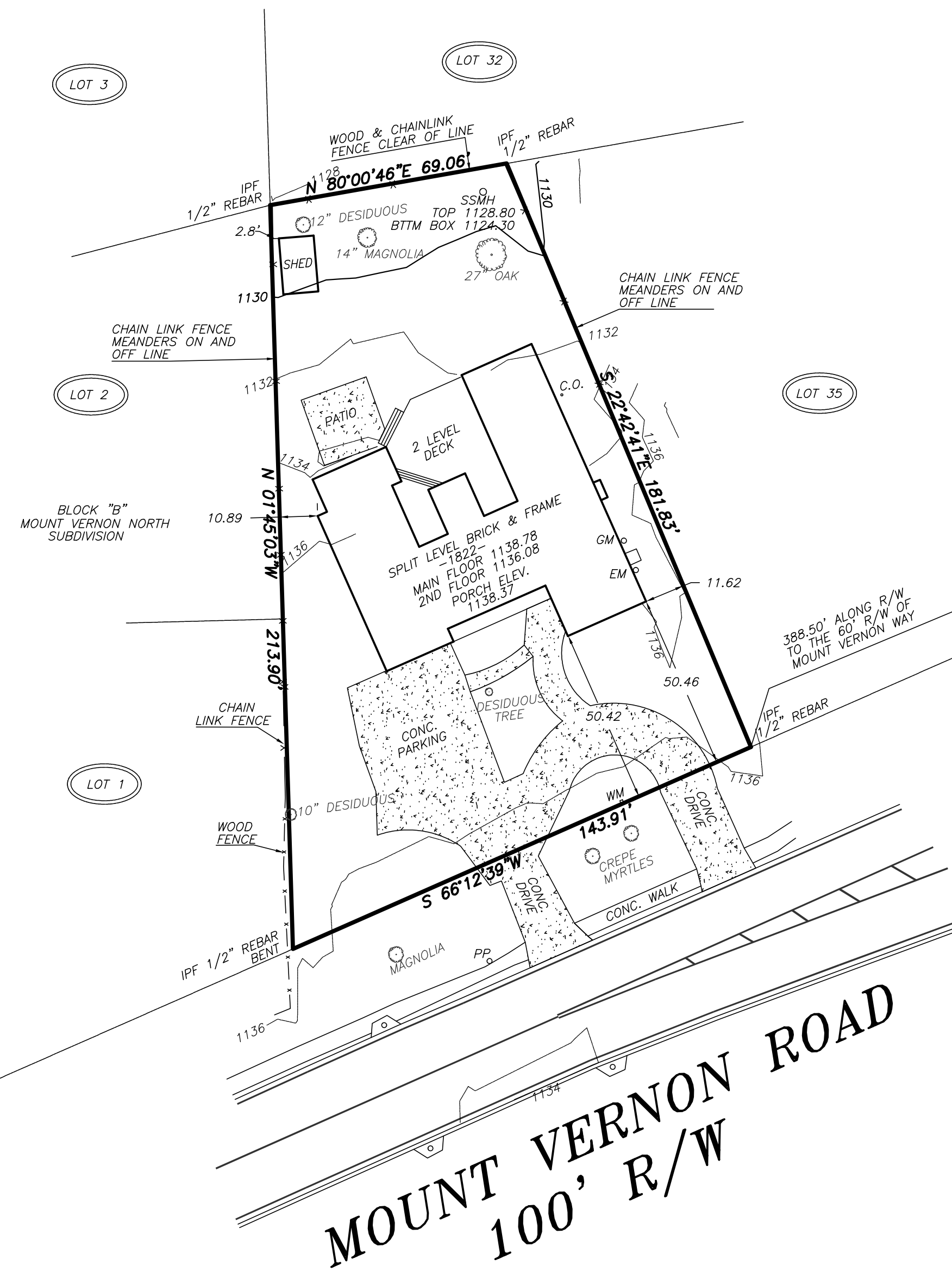
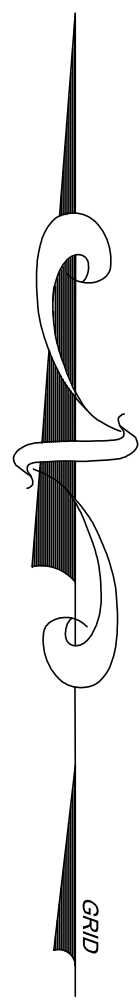
NO.	DATE	REVISION
1	11-29-22	REMOVED PINE TREES & 36" OAK TREE IN FRONT YARD AT CLIENTS REQUEST

COUNTY:	DEKALB
LAND LOT:	367
DISTRICT/PARCEL:	18TH/048
DATE:	01/27/22
SCALE:	1"=30'
JOB NO.:	22009

SURVEY & TOPOGRAPHIC FOR:  
**ANA KHOKHLAN**  
 1822 MOUNT VERNON ROAD



**RINGO ABERNATHY & ASSOCIATES**  
 CONSULTANTS SURVEYORS ENGINEERS PLANNERS  
 174 DACULA ROAD - DACULA, GA. 30019  
 Phone (770) 962-8456



25% OF THE DATA SHOWN ON THIS PLAT WAS OBTAINED UTILIZING GPS. IT INCLUDES ALL HORIZONTAL AND VERTICAL CONTROL POINT INFORMATION. THE EQUIPMENT USED TO OBTAIN THIS DATA WAS A CARLSON SURVEYOR+ GLOBAL NAVIGATION SATELLITE SYSTEM WITH A CARLSON SURVEYOR+ DATA COLLECTOR. THE TECHNIQUE USED WAS RTK CORRECTED MEASUREMENTS FROM THE eGPS SOLUTIONS VRS NETWORK. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED IN THIS SURVEY WERE 0.03 FEET HORIZONTALLY AND 00.03 FEET VERTICALLY AT THE 95% CONFIDENCE LEVEL.

BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH REFERENCED TO THE GEORGIA STATE PLANE COORDINATE SYSTEM WEST ZONE. ALL HORIZONTAL LOCATIONS ARE REFERENCED TO THE NORTH AMERICAN DATUM 1983 (NAD83).

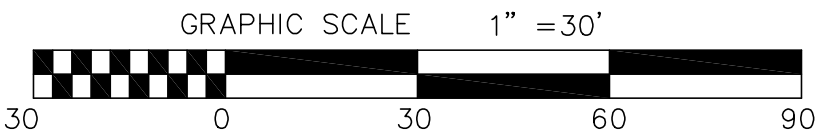
EQUIPMENT USED: CARLSON SURVEYOR+ GLOBAL NAVIGATION SATELLITE SYSTEM AND A CARLSON SURVEYOR+ DATA COLLECTOR.

NOTE: BEARINGS PUBLISHED ON THIS SURVEY ARE +00°47'12" FROM RECORDED PLAT. BEARINGS ARE FROM GPS READINGS

THE EXISTING UTILITIES SHOWN ON THIS PLAN WERE OBTAINED FROM VARIOUS UTILITY COMPANIES, VARIOUS GOVERNMENTAL AGENCIES, AND ABOVE GROUND OBSERVATION. THE SURVEYOR AND/OR ENGINEER MAKE NO CLAIM TO THE COMPLETENESS OF THIS INFORMATION. THE SIZE, LOCATION, OR ADDITIONAL UTILITIES MAY BE UNCOVERED UPON EXCAVATION. PRIOR TO BEGINNING ANY EARTH DISTURBING ACTIVITIES, THE UTILITY PROTECTION SERVICE FOR THIS AREA MUST BE NOTIFIED.



IF YOU DIG GEORGIA ...  
 CALL US FIRST  
 UTILITIES PROTECTION CENTER  
 STATE WIDE  
 1 800 282-7411  
 IT'S THE LAW





**LEGEND :**

- POB POINT OF BEGINNING
- LLL LAND LOT LINE
- R/W RIGHT OF WAY
- N/F NOW OR FORMERLY
- CTF CRIMP TOP FOUND
- RBF REBAR FOUND
- OTF OPEN TOP FOUND
- RBS REBAR SET
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- DIP DUCTILE IRON PIPE
- PVC POLYVINYLCHLORIDE PIPE
- SWCB SINGLE WING CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- CI CURB INLET
- DI DROP INLET
- OCS OUTLET CONTROL SYSTEM
- JB JUNCTION BOX
- FES FLARED END SECTION
- HW HEAD WALL
- WI WIER INLET
- SSMH SANITARY SEWER MANHOLE
- CO CLEAN OUT
- INV INVERT
- OP OVERHEAD POWER LINE
- EO ELECTRIC OUTLET
- UP UTILITY POLE
- UP UNDERGROUND POWER LINE
- GUY WIRE
- PP POWER POLE
- L/P LIGHT POLE
- FH FIRE HYDRANT
- W- WATER LINE
- WM WATER METER
- WV WATER VALVE
- VM VALVE MARKER
- SI SIGN POST
- BL BUILDING LINE
- CL CENTERLINE
- EP EDGE OF PAVEMENT
- Sp SAMPLING POINT
- Mp MONITORING POINT
- EM ELECTRIC METER
- GM GAS METER

**SURVEY NOTATION:**  
 THIS SURVEY WAS RUN USING A GEOMAX ZOOM 90 ROBOTIC TOTAL STATION EDM UNIT. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 23,315 FEET AND AN ANGULAR ERROR OF 03" PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR PRECISION AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 681,879 FEET.

**REFERENCE MATERIAL:**  
 FINAL PLAT OF MOUNT VERNON NORTH, UNIT TWO, PREPARED BY PLANNERS AND ENGINEERS COLLABORATIVE DATED NOV. 1968 AND RECORDED IN PLAT BOOK 51, PAGE 72.  
 FINAL PLAT OF MOUNT VERNON NORTH, PREPARED BY ANSEL POE & ASSOCIATES DATED SEPT. 30, 1966 AND RECORDED IN PLAT BOOK 57, PAGE 90.

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

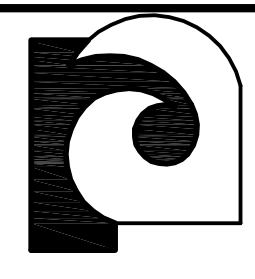
KEVIN V. RINGO - RLS NO. 2278 \_\_\_\_\_ DATE \_\_\_\_\_



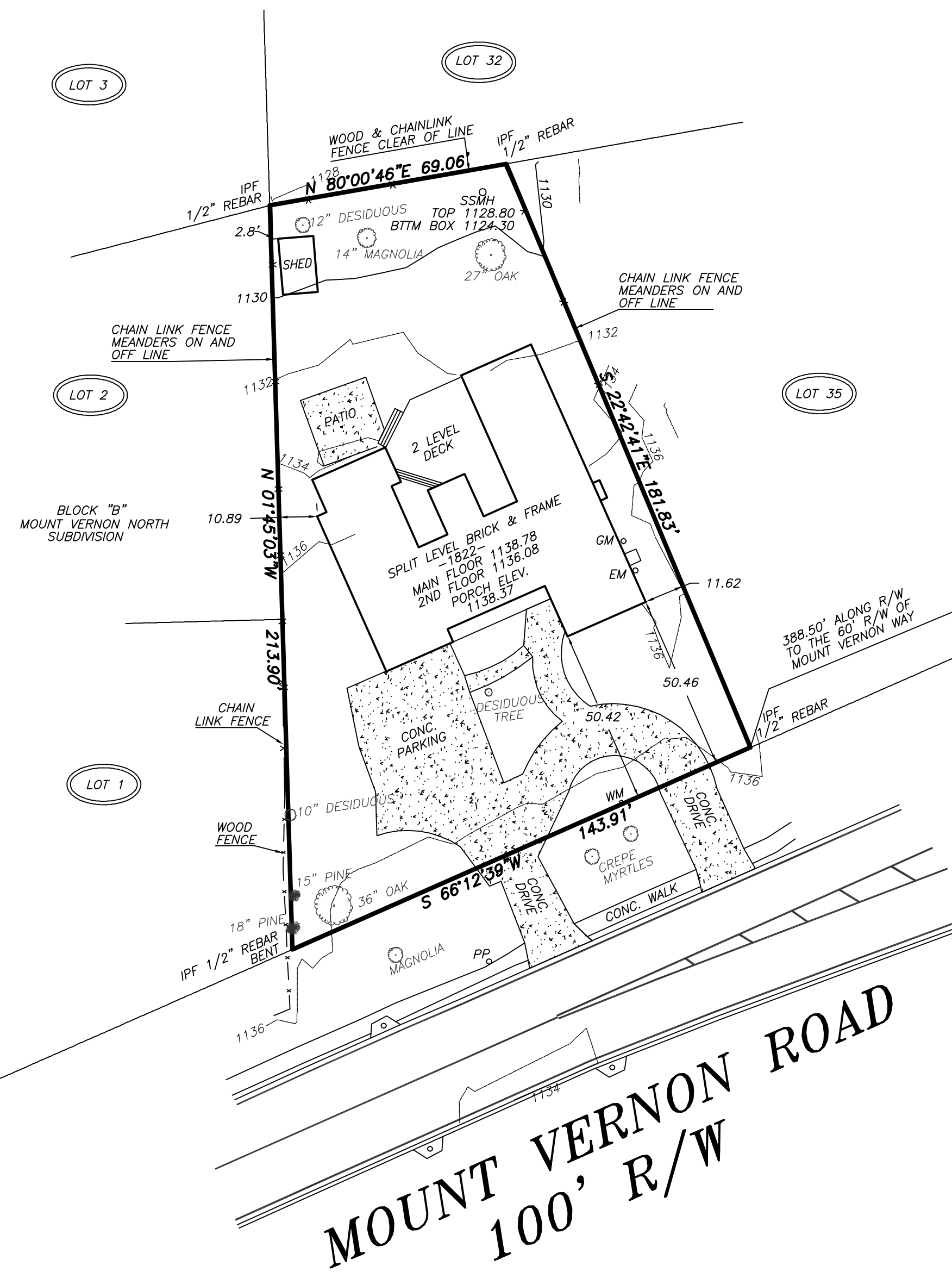
NO.	DATE	REVISION

COUNTY:	DEKALB
LAND LOT:	367
DISTRICT/PARCEL:	18TH/048
DATE:	01/27/22
SCALE:	1"=30'
JOB NO.:	22009

SURVEY & TOPOGRAPHIC FOR:  
**ANA KHOKHLAN**  
 1822 MOUNT VERNON ROAD



**RINGO  
 ABERNATHY  
 & ASSOCIATES**  
 CONSULTANTS  
 SURVEYORS  
 ENGINEERS  
 PLANNERS  
 174 DACULA ROAD - DACULA, GA. 30019  
 Phone (770) 962-8456



25% OF THE DATA SHOWN ON THIS PLAT WAS OBTAINED UTILIZING GPS. IT INCLUDES ALL HORIZONTAL AND VERTICAL CONTROL POINT INFORMATION. THE EQUIPMENT USED TO OBTAIN THIS DATA WAS A CARLSON SURVEYOR+ GLOBAL NAVIGATION SATELLITE SYSTEM WITH A CARLSON SURVEYOR+ DATA COLLECTOR. THE TECHNIQUE USED WAS RTK CORRECTED MEASUREMENTS FROM THE eGPS SOLUTIONS VRS NETWORK. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED IN THIS SURVEY WERE 0.03 FEET HORIZONTALLY AND 00.03 FEET VERTICALLY AT THE 95% CONFIDENCE LEVEL.

BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH REFERENCED TO THE GEORGIA STATE PLANE COORDINATE SYSTEM WEST ZONE. ALL HORIZONTAL LOCATIONS ARE REFERENCED TO THE NORTH AMERICAN DATUM 1983 (NAD83).

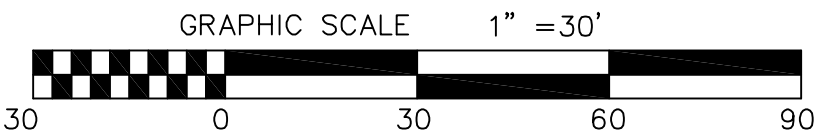
EQUIPMENT USED: CARLSON SURVEYOR+ GLOBAL NAVIGATION SATELLITE SYSTEM AND A CARLSON SURVEYOR+ DATA COLLECTOR.

NOTE: BEARINGS PUBLISHED ON THIS SURVEY ARE +00°47'12" FROM RECORDED PLAT. BEARINGS ARE FROM GPS READINGS

THE EXISTING UTILITIES SHOWN ON THIS PLAN WERE OBTAINED FROM VARIOUS UTILITY COMPANIES, VARIOUS GOVERNMENTAL AGENCIES, AND ABOVE GROUND OBSERVATION. THE SURVEYOR AND/OR ENGINEER MAKE NO CLAIM TO THE COMPLETENESS OF THIS INFORMATION. THE SIZE, LOCATION, OR ADDITIONAL UTILITIES MAY BE UNCOVERED UPON EXCAVATION. PRIOR TO BEGINNING ANY EARTH DISTURBING ACTIVITIES, THE UTILITY PROTECTION SERVICE FOR THIS AREA MUST BE NOTIFIED.



IF YOU DIG GEORGIA ...  
 CALL US FIRST  
 UTILITIES PROTECTION CENTER  
 STATE WIDE  
 1 800 282-7411  
 IT'S THE LAW

















P:\created\with\deskP\CP\Writer\http\www.docuDesk.com

GENERAL DEMOLITION NOTES:

1. THE EXTENT OF THE DEMOLITION WORK INDICATED IN DRAWINGS, NOTES AND SPECIFICATIONS DESCRIBE THE GENERAL SCOPE OF WORK ONLY AND ARE NOT INTENDED TO BE INCLUSIVE OF ALL THE DEMOLITION WORK WHICH MAY BE REQUIRED TO COMPLETE THE FULL SCOPE OF WORK. VERIFY ALL CONDITIONS IN THE FIELD.
2. ALL WORK INVOLVING ASBESTOS AND LEAD PAINT REMOVAL IS OUTSIDE THE SCOPE OF THIS PROJECT AND WILL BE PERFORMED BY THE OWNER'S CONSULTANT.
3. SCHEDULE DEMOLITION WORK IN SEQUENCE THAT ACCOMMODATES THE OWNER'S REQUIREMENTS FOR ACCESS AND USE OF THE SITE DURING DEMOLITION.
4. EXISTING ELEMENTS AND FIXTURES NOT INDICATED FOR REMOVAL ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION AS REQUIRED. THE CONDITION OF ALL BUILDING FINISHES NOT TO BE ALTERED OR REMOVED ARE TO BE RECORDED PRIOR TO THE START OF DEMOLITION AND CONSTRUCTION.
5. SCHEDULE AND OBTAIN APPROVAL OF THE OWNER, UTILITIES AND LOCAL AGENCIES HAVING AUTHORITY PRIOR TO BEGINNING DEMOLITION WORK.
6. ALL DEMOLITION RELATED TEMPORARY OPENINGS IN EXTERIOR WALLS AND ROOF ARE TO BE SECURED AND KEPT WEATHER TIGHT.
7. ALL DEMOLITION DEBRIS ARE TO BE PLACED IN DUMPSTER(S), COVERED, WETTED AND SECURED AS REQUIRED BY MUNICIPAL ORDINANCES PRIOR TO DISPOSAL. COORDINATE AND OBTAIN OWNERS APPROVAL FOR THE LOCATION OF DUMPSTERS.
8. ALL PARTITIONS INDICATED TO BE REMOVED ARE TO BE COMPLETELY REMOVED FROM FLOOR DECK TO UNDERSIDE OF STRUCTURE.
9. THE EXISTING BUILDING STRUCTURE INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, FLOORS ARE NOT TO BE ALTERED OR DAMAGED DURING DEMOLITION OR CONSTRUCTION, EXCEPT WHERE INDICATED IN THE DRAWINGS. ANY STRUCTURAL ELEMENTS DAMAGED DURING DEMOLITION OR CONSTRUCTION ARE TO BE REPAIRED TO FULL STRUCTURAL INTEGRITY AND REQUIRED FIRE-RESISTIVE RATING BY THE CONTRACTOR AT HIS/HER EXPENSE.
10. AT THE CONCLUSION OF THE DEMOLITION WORK, REMOVE ALL DEBRIS AND SURPLUS MATERIALS AND LEAVE WORK AREA READY TO RECEIVE NEW WORK FINISHES.

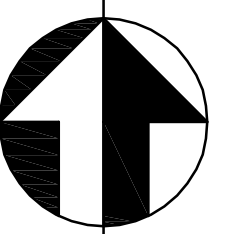
1ST FLOOR DEMOLITION PLAN KEY NOTES:

-  1 DEMO EXISTING ROOF ABOVE THIS AREA. ALL EXTERIOR WALLS TO REMAIN AS IS. DEMO INTERIOR WALLS, FLOOR SYSTEM TO REMAIN AS IS. PROTECT, EXPOSED TO ELEMENTS, FLOOR SYSTEM WITH MIN. 6 MIL PLASTIC AND HEAVY DUTY CONSTRUCTION PAPER.
-  2 DEMO EXISTING PLUMBING. CAP PIPES AS REQUIRED. REF. PARTITION PLAN FOR NEW PLUMBING LAYOUT
-  3 DEMO EXISTING DECK AND STAIRS
-  4 DEMO EXISTING ROOF ABOVE THIS AREA. DEMO ALL INTERIOR AND EXTERIOR WALLS AS SHOWN. FLOOR SYSTEM TO REMAIN AS IS. PROTECT, EXPOSED TO ELEMENTS, FLOOR SYSTEM WITH MIN. 6 MIL PLASTIC AND HEAVY DUTY CONSTRUCTION PAPER.
-  5 DEMO EXISTING ROOF AND WALLS ALL THE WAY TO SLAB
-  6 DEMO EXISTING STRUCTURE IN WHOLE IN THIS AREA- ROOF, CEILING, WALLS AND FLOORING. DEMO FOOTING ALL THE WAY TO TWO-STORY AREA
-  7 FRONT 18" DEEP PORTION OF THE EXISTING FRONT PATIO SLAB TO BE CUT TO ALLOW FOR NEW FOOTING
-  8 DEMO EXISTING WINDOW. NEW WINDOW PLACEMENT TBD.
-  9 DEMO EXISTING WINDOW DEMO PORTION OF THE WALL FOR NEW WINDOW LOCATION. REF. PARTITION PLAN FOR MORE INFORMATION
-  10 DEMO EXISTING PATIO DOOR/ FRAME/ HARDWARE. SALVAGE FOR REUSE
-  11 DEMO ALL EXTERIOR FINISHES IN THIS AREA
-  12 DEMO WINDOW AND PORTION OF THE WALL BELOW FOR NEW HIGHER WINDOW AT THIS LOCATION. REF. PARTITION PLAN FOR NEW WINDOW SIZE
-  13 DEMO FLOOR SHEATHING AND JOISTS IN THIS AREA
-  14 DEMO EXISTING ROOF AND INTERIOR WALLS. ALL EXTERIOR WALLS TO REMAIN AS IS. SLAB TO REMAIN. LEVEL AS NEEDED



DESIGN TODAY

2700 SUGAR PINE RD  
WOODBRIDGE, GA  
30189  
PH: 404-954-1000  
D: 404-954-1001  
WWW.DESIGN-TODAY.COM



ISSUED  
FOR  
CONSTRUCTION

LEGACY MANOR  
PERSONAL CARE  
HOME

1822 MOUNT VERNON RD,  
DUNWOODY, GA 30338

1. 03.09.22 ISSUE FOR DEMOLITION PERMIT  
No: :Date: :Remarks:

REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
DESIGN TODAY 2005

DRAWING TITLE:  
DEMOLITION  
PLAN

ISSUE DATE:

DRAWN BY:  
DT

SHEET NUMBER:

A0.01

Packet page:...

CONCRETE FOUNDATION CRITERIA:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING (BOTH TEMPORARY AND PERMANENT) NECESSARY TO ASSURE THE STRUCTURAL STABILITY OF THE STRUCTURE AND SAFETY OF THE WORKERS DURING CONSTRUCTION.
2. FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THIS VALUE SHALL BE VERIFIED DURING CONSTRUCTION, PRIOR TO PLACING CONCRETE. IF ACTUAL VALUES VARY BY MORE THAN 10 %, FOOTINGS SHOULD BE REDESIGNED.
3. ALL DESIGN, FABRICATION AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITIONS OF THE FOLLOWING STANDARDS: A. AMERICAN CONCRETE INSTITUTE (ACI)-318-05; B. THE INTERNATIONAL BUILDING CODE (2006); C. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
4. STRUCTURAL CONCRETE SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED, 28 DAY MINIMUM COMPRESSIVE STRENGTH: A) FOOTINGS & FOUNDATIONS: 3000 PSI
5. UNLESS NOTED OTHERWISE, DETAILS OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI 315, MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES AND CRSI MSP-1, MANUAL OF STANDARD PRACTICE, LATEST EDITION.
6. ALL STEEL BAR REINFORCEMENT SHALL BE ASTM A-615 GRADE 60.
7. UNLESS NOTED OTHERWISE, MINIMUM CLEAR COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:  
A. CONCRETE CAST AGAINST EARTH - 3"

STRUCTURAL STEEL (WHERE APPLICABLE):

1. MATERIALS TO BE AS FOLLOWS: STRUCTURAL STEEL (BEAMS & COLUMNS): ASTM A572 GRADE 50; STEEL PIPE, STRUCTURAL TUBING: ASTM A501 OR ASTM A53
2. STRUCTURAL BOLTS: ASTM A5000, GRADE B (F<sub>y</sub>=46ksi)
3. EXPANSION BOLTS: HILTI KWIK BOLTS OR APPROVED EQUAL ANCHOR BOLTS: ASTM A307
4. WELDING TO BE BY QUALIFIED WELDERS USING E70XX ELECTRODES AND IN ACCORDANCE WITH AWS D1.1- 10. WELDER CERTIFICATION SHALL BE AVAILABLE AT THE JOB SITE DURING TIME OF INSPECTION.
5. ALL STEEL COLUMNS TO HAVE 2" GAP PLATE UNLESS NOTE OTHERWISE.
6. DON'T USE GAS CUTTING TORCHES FOR CORRECTING FABRICATION ERROR IN STRUCTURAL FRAMING.
7. ALL STRUCTURAL STEEL TO HAVE ONE (1) COAT OF STANDARD SHOP PRIMER, EXCEPT FOR SURFACES TO RECEIVE WELD OR TO BE ENCASED IN CONCRETE OR TO BE GALVANIZED. TOUCH UP ALL STRUCTURAL STEEL AFTER ERECTION WITH SAME PRIMER.

WOOD CRITERIA :

1. ALL FRAMING TO HAVE MINIMUM STRUCTURAL PROPERTIES:
- | SIZE                    | GRADE/SPECIES | F <sub>b</sub> | F <sub>v</sub> | F <sub>c</sub> per | F <sub>c</sub> par | Mod E   | USE     |
|-------------------------|---------------|----------------|----------------|--------------------|--------------------|---------|---------|
| 2X4                     | #2 SPF        | 775            | 70             | 335                | 1000               | 1100000 | FRAMING |
| 2X6                     | #2 SPF        | 775            | 70             | 335                | 1000               | 1100000 | FRAMING |
| 2X8                     | #2 SPF        | 1200           | 90             | 565                | 1550               | 1600000 | FRAMING |
| 2X10                    | #2 SPF        | 1200           | 90             | 565                | 1550               | 1600000 | FRAMING |
| 2X12                    | #2 SPF        | 1200           | 90             | 565                | 1550               | 1600000 | FRAMING |
| 4X4                     | #2 SPF        | 1200           | 90             | 565                | 1550               | 1600000 | FRAMING |
| 6X6                     | #2 SPF        | 1200           | 90             | 565                | 1550               | 1600000 | FRAMING |
| LVL BM's 2.0E (G-P LAM) |               | 2950           | 285            | 750                | 2750               | 2000000 | FRAMING |
| LVL BM's 1.9E MICROLAM* |               | 2600           | 285            | 750                | 2510               | 1900000 | FRAMING |
2. ALL WOOD WHICH IS EITHER EMBEDDED IN EARTH OR CONCRETE, OR PLACED ON CONCRETE IN DIRECT CONTACT WITH THE EARTH, OR DIRECTLY EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE-TREATED INCLUDING BUT NOT LIMITED TO POST, BEAMS, COLUMNS, JOIST, SILLS AND SOLE PLATES.

COLUMN SCHEDULE:

C-1 WOOD P.T. 6"x6" COLUMN

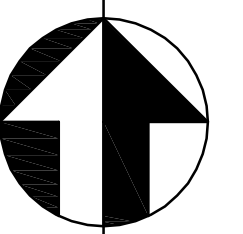
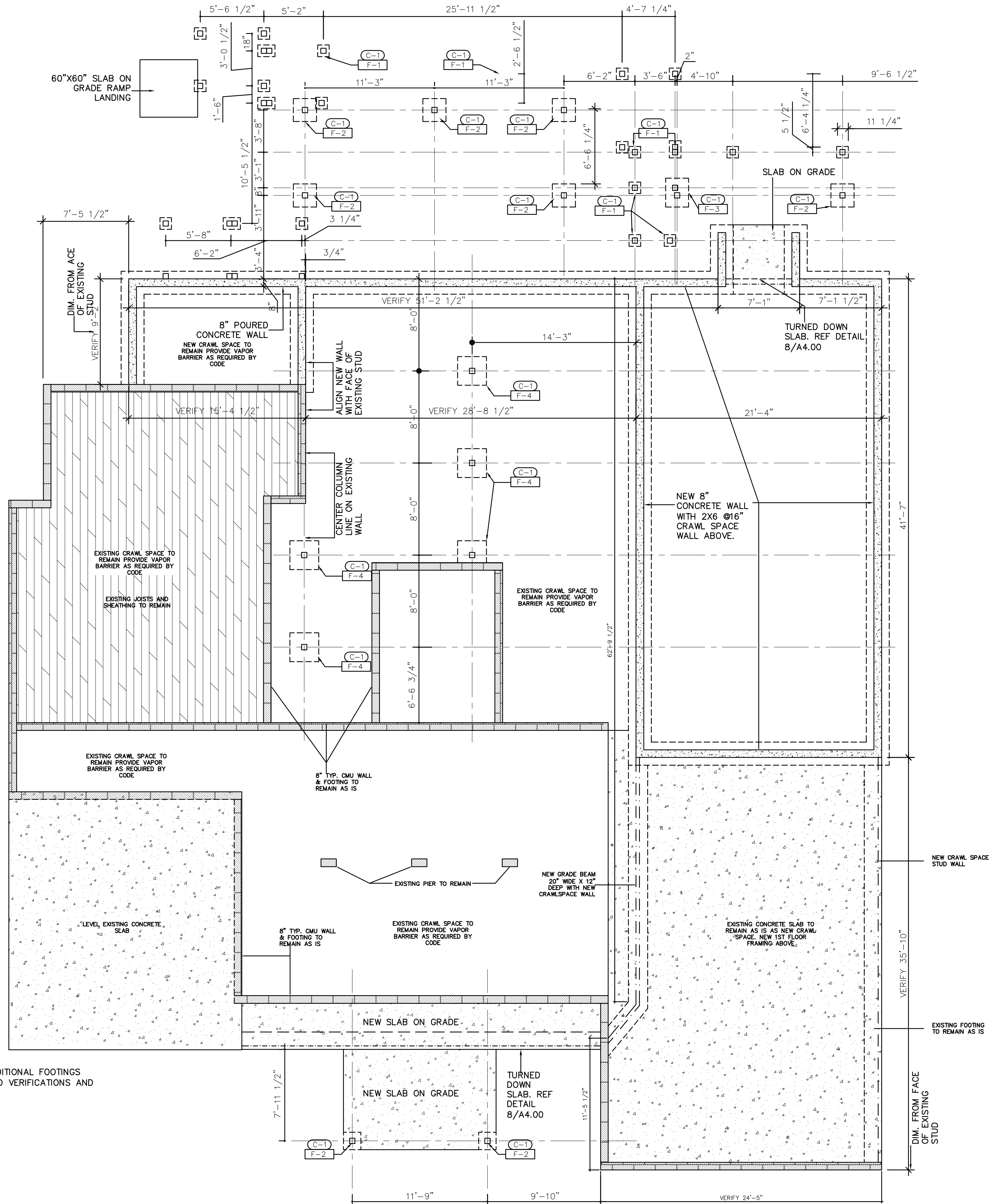
NEW FOOTING SCHEDULE:

- F-1 12"x12"x12" W/ 2 #4 EA WAY, REF. DETAILS 2& 3/A4.00
- F-2 24"x24"x12" W/ 2 #4 EA WAY, REF. DETAILS 2& 3/A4.00
- F-3 24"x30"x12" W/ 2 #4 SHORT WAY, AND 3 #4 LONG WAY, REF. DETAILS 2& 3/A4.00
- F-4 30"x30"x12" W/ 3 #4 EA WAY, REF. DETAILS 2& 3/A4.00

FOOTING PLAN GENERAL NOTES:

1. ALL COLUMN FOOTING TO FIX FOR BEARING AT GRADE LEVEL ON 12" THICK FOOTING MIN.
2. FOR LOW CAPACITY SOIL USE HELICAL ANCHORS
3. VERIFY ADDITIONAL SUPPORT POST LOCATIONS IN CRAWL SPACE FOR NEW INTERIOR WALL. POSTS TO BE MIN. 6X6 P.T. WITH 30"x30"x12" MIN. FOOTING EA.

EXISTING CONDITIONS MAY REQUIRE ADDITIONAL FOOTINGS /REPAIR. GC IS RESPONSIBLE FOR FIELD VERIFICATIONS AND CHANGES/ ADDITIONS AS NECESSARILY.



ISSUED FOR CONSTRUCTION

LEGACY MANOR  
PERSONAL CARE  
HOME

1822 MOUNT VERNON RD,  
DUNWOODY, GA 30338

No.	Date	Remarks
1.	04.10.22	ISSUE FOR CONSTRUCTION



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
DESIGN TODAY 2005

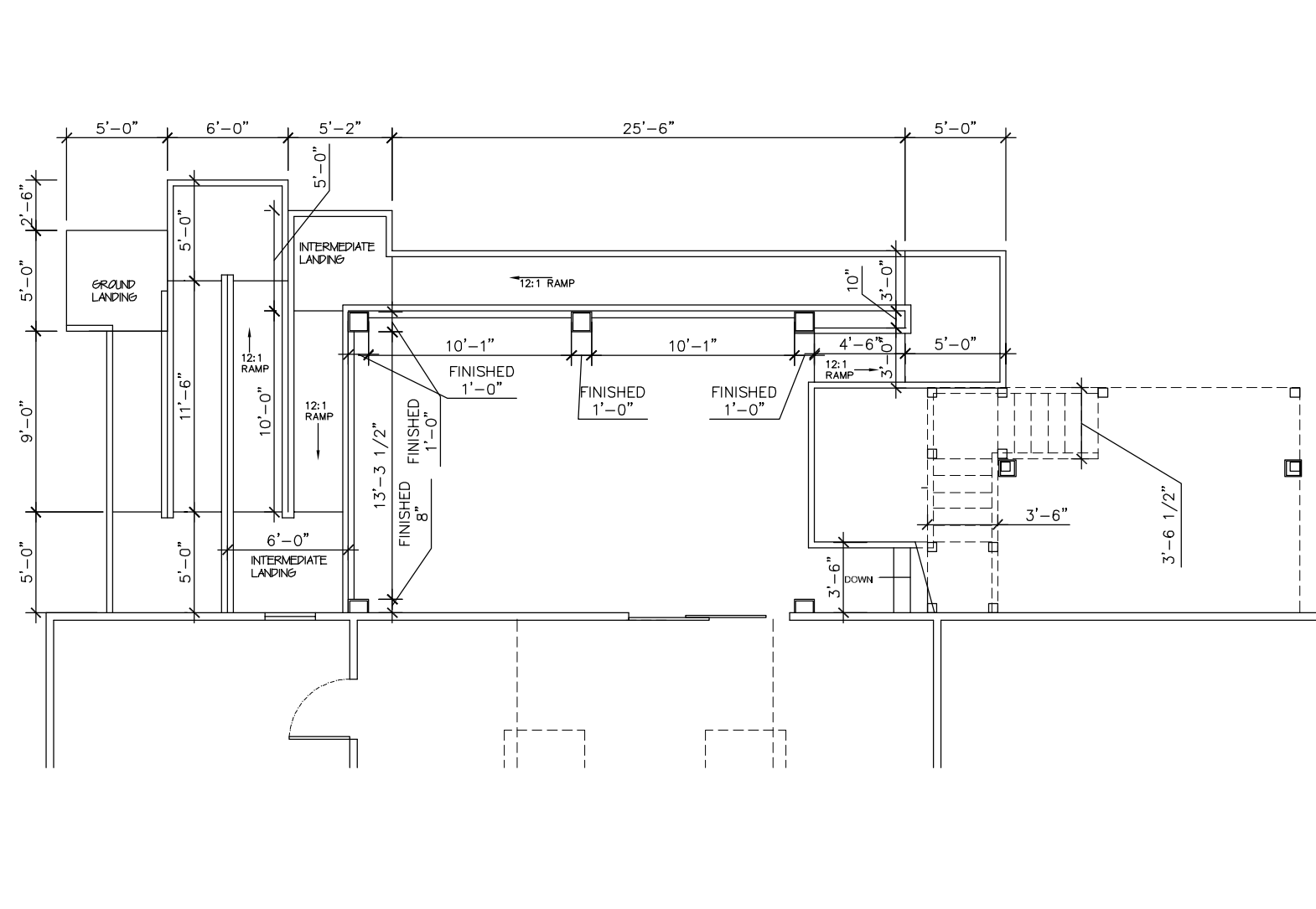
DRAWING TITLE:	FOUNDATION PLANS
ISSUE DATE:	
DRAWN BY:	DT
SHEET NUMBER:	

- FRAMING GENERAL NOTES:
- HIP, VALLEY RAFTERS AND RIDGE BOARDS TO ALWAYS BE TWO 2X ONE SIZE LARGER THAN RAFTERS
  - ALL FRAMING TO BE 16" O.C. UNLESS OTHERWISE NOTED
  - ROOF DECKING TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOISTS (48"O.C.)
  - ROOF DECKING TO BE 1/2" CDX PLYWOOD
  - ALL RAFTERS TO BE 2x10 AT 16" O.C. UNLESS OTHERWISE NOTED.
  - ALL HEADERS AT FIRST FLOOR & BASEMENT TO BE MIN. 2x12
  - DOUBLE FLOOR JOISTS UNDER PARTITION PARALLEL TO JOIST SPAN
  - PROVIDE "X" BRIDGES AT 8'-0" O.C. MAX FOR JOISTS
  - PROVIDE SOLID BLOCKING AT MID HEIGHT AT ALL BEARING WALLS
  - ALL JOISTS SHALL BE STACKED ALIGNED OVER STUDS BELOW
  - ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED
  - ANCHOR BOLTS SHALL BE 1/2"x8" AT 4'-0" O.C. AND WITHIN 12" FROM THE END OF SILLS AND CORNERS. PROVIDE MIN. OF 2 BOLTS PER SILL EMBEDDED 5-1/2" IN FOOTINGS
  - PROVIDE RODENT AND INSECT PROOFING WHERE ALL PLUMBING, WIRING AND VENTS PASS THROUGH PLATED AS PER CODE
  - EXTERIOR OPENINGS, VALLEYS AND OTHER AREAS SPECIFIED ON PLANS TO HAVE AN APPROVED FLASHING. USE 26 GAUGE G.I. FLASHING FOR VALLEYS 24" WIDE WITH ROOFS LESS THAN 4/12 PITCH AND FOR ALL SHAKE ROOFS REGARDLESS OF PITCH. USE 18" WIDE FLASHING FOR ROOFS MORE THAN 4/12 PITCH. VALLEY FLASHING SHALL HAVE A SPLASH RIB, 1" IN HEIGHT FOR SHAKE ROOFS AND 3/4" HIGH FOR OTHER TYPE OF ROOFING
  - EXTERIOR CORNERS OF STRUCTURE TO BE BRACED WITH 1/2" CDX PLYWOOD.
  - USE STEEL COLUMNS UNDER EACH END OF STEEL BEAMS UNLESS THEY BEAR ON CONCRETE WALL.
  - ALL WOOD COLUMNS SHOWN SHALL EXTEND DOWN THROUGH THE LEVELS BELOW AND TERMINATE AT THE CRAWL SPACE. WHERE THESE MULTIPLE 2x WOOD COLUMNS DO NOT REST ATOP A CONCRETE WALL, THE SLAB SHOULD BE THICKENED 2'-0"x 2'-0"x 1'-0" DEEP AND REINFORCED WITH 3-#4 EACH WAY IN THE BOTTOM. THIS WILL BE TRUE FOR ALL 2x COLUMNS EXCEPT THOSE WHICH FALL ON BEAMS BELOW DESIGNED TO CARRY THEIR LOAD. IN THIS CASE THE COLUMNS WILL TERMINATE AT THE BEAM
  - 2x4 AT 16" O.C. WILL BE USED TO FRAME 1ST & 2ND FLOOR, UNLESS OTHERWISE NOTED.
  - ALL WINDOW & DOOR DIMENSIONS ARE SHOWN AS NOMINAL. VERIFY WITH WINDOW/ DOOR SUPPLIER EXACT OPENING DIMENSIONS FOR ALL RUFF OPENINGS.
  - DECK ATTACHMENT: INSTALL 1/2" DIA BOLTS @ 24" O.C. TO HOUSE FRAMING

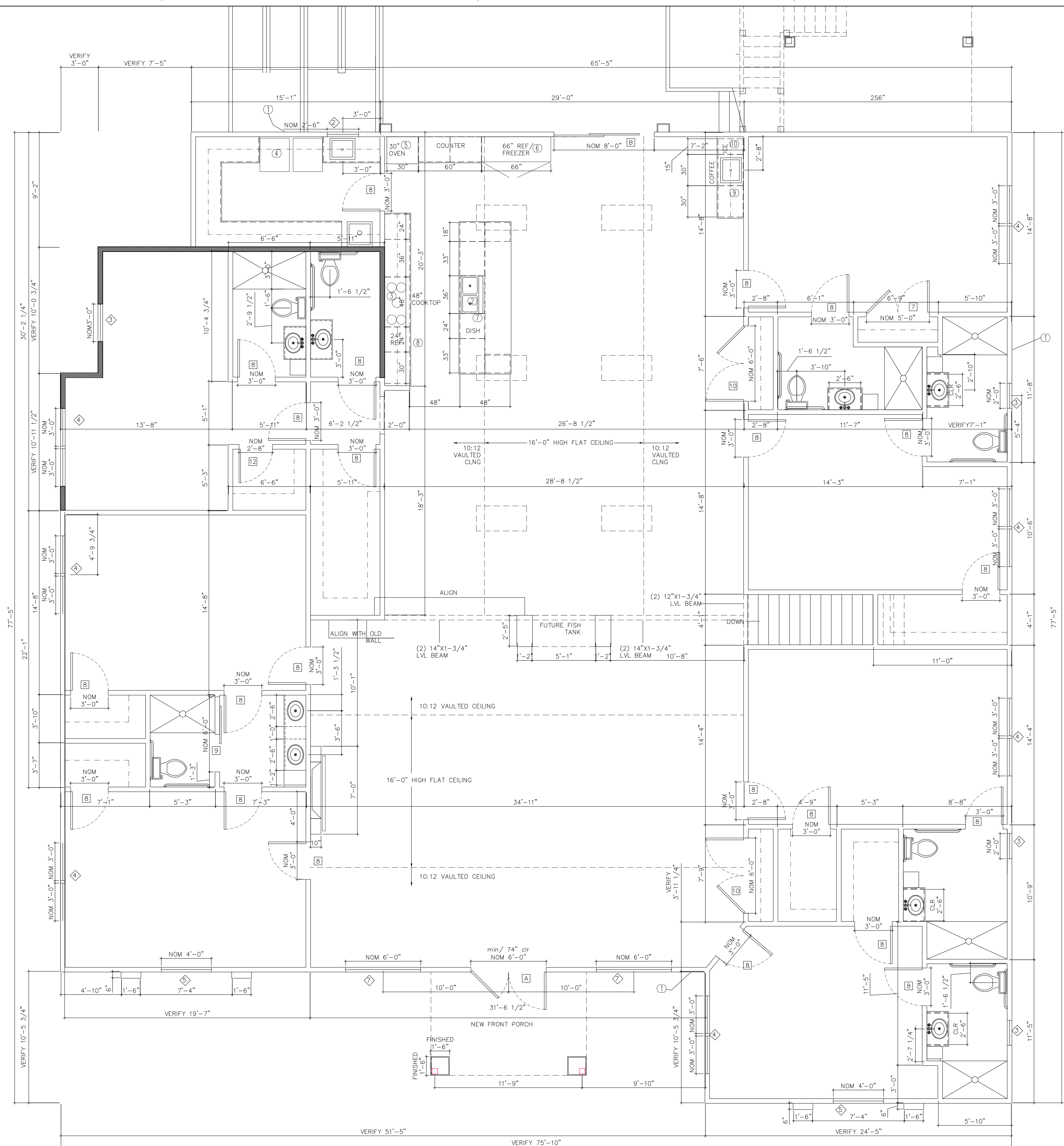
- 1ST FLOOR PARTITION PLAN KEY NOTES:
- PROVIDE NEW WATER HOSE CONNECTION AT THIS LOCATION
  - KITCHEN SINK LOCATION. PROVIDE DISPOSAL AND DISHWASHER POWER AS REQUIRED
  - NEW RANGE OR COOKTOP. VERIFY POWER / GAS REQUIREMENTS WITH OWNER
  - LAUNDRY WATER/ POWER/ VENT/ SEWER CONNECTIONS AS REQUIRED
  - DOUBLE OVEN LOCATION. GC TO PROVIDE 220V POWER AS REQUIRED
  - TWO SEPARATE UNIT- REFRIGERATOR AND FREEZER. GC TO PROVIDE POWER AND ICE MAKER LINE AS REQUIRED
  - NEW DISHWASHER LOCATION. GC TO PROVIDE POWER AS REQUIRED
  - NEW UNDERCOUNTER WINE COOLER LOCATION. GC TO PROVIDE POWER AS REQUIRED
  - COFFEE STATION. GC TO VERIFY POWER REQUIREMENTS WITH OWNER
  - ICE MAKER. GC TO PROVIDE POWER, WATER AND DRAIN IF REQUIRED

- WINDOW SCHEDULE: (WxH) REF. ELEVATIONS FOR MUNTIN STYLE
- SINGLE UNIT 2'-0"x4'-0" DOUBLE (OR SINGLE) HUNG
  - SINGLE UNIT 2'-6"x3'-6" DOUBLE (OR SINGLE) HUNG
  - SINGLE UNIT 3'-0"x5'-0" DOUBLE (OR SINGLE) HUNG
  - TWIN UNIT 3'-0"x5'-0" DOUBLE (OR SINGLE) HUNG
  - SINGLE UNIT 4'-0"x4'-0" FIXED GLASS TRUE ROUND TOP WINDOW
  - SINGLE UNIT 4'-0"x3'-6" FIXED GLASS WINDOW
  - SINGLE UNIT 6'-0"x6'-0" FIXED GLASS WINDOW WITH TRUE RADIUS TRANSOM
  - TRIPLE UNIT. REF. ELEVATION FOR MORE INFORMATION
  - SINGLE UNIT 2'-4"x5'-0" DOUBLE (OR SINGLE) HUNG
- EXTERIOR DOOR SCHEDULE: (WxH). REF. ELEVATIONS FOR GRILL STYLE. ALL GLASS TO BE TEMPERED
- (2) 3'-0" X 6'-0" DOUBLE MAIN ENTRY DOOR WITH TRUE RADIUS TRANSOM. REF. ELEVATIONS FOR STYLE
  - (2) 4'-0" X 6'-8" DOUBLE SLIDING FULL GLASS PATIO DOOR
  - (2) 3'-0 X 6'-8" DOUBLE, FULL GLASS SLIDING DOOR
  - (1) 3'-0 X 6'-8" SINGLE SOLID FIBERGLASS OR METAL DOOR
- INTERIOR DOOR SCHEDULE: (WxH). ALL GLASS TO BE TEMPERED.
- (2) 1'-6"x6'-8" DOUBLE WOOD DOOR
  - (1) 2'-0"x6'-8" SINGLE WOOD DOOR
  - (2) 2'-0"x6'-8" DOUBLE BI-FOLD WOOD DOOR
  - (1) 2'-4"x6'-8" SINGLE WOOD DOOR
  - NOT USED
  - (1) 2'-6"x6'-8" SINGLE WOOD DOOR
  - (1) 2'-6"x6'-8" SINGLE WOOD BI-FOLD DOOR
  - (1) 3'-0"x6'-8" SINGLE WOOD DOOR
  - (2) 3'-0"x6'-8" DOUBLE SLIDING WOOD DOOR
  - (1) 3'-0"x6'-8" DOUBLE BARN WOOD DOOR
  - (1) 3'-0"x6'-8" SINGLE 20 MIN. FIRE RATED WOOD DOOR

1 PARTITION PLAN LEGEND



2 DECKS PLAN SCALE: 1/8"=1'-0"



3 1ST FLOOR PARTITION PLAN SCALE: 1/4"=1'-0"

DESIGN TODAY  
2700 SUGAR PLCK RD  
WOODBRIDGE, GA  
30189  
PH: 404-994-2000  
D: 770-538-4400  
WWW.DESIGN-TODAY.COM



ISSUED FOR CONSTRUCTION

LEGACY MANOR PERSONAL CARE HOME

1822 MOUNT VERNON RD, DUNWOODY, GA 30338

1.	04.10.22	ISSUE FOR CONSTRUCTION
NO:	DATE:	REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Copies as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
DESIGN TODAY 2005

DRAWING TITLE:  
1ST FLOOR PARTITION PLAN  
ISSUE DATE:  
DRAWN BY:  
DT  
SHEET NUMBER:

A1.01

FRAMING GENERAL NOTES:

- HIP, VALLEY RAFTERS AND RIDGE BOARDS TO ALWAYS BE TWO 2X ONE SIZE LARGER THAN RAFTERS
- ALL FRAMING TO BE 16" O.C. UNLESS OTHERWISE NOTED
- ROOF DECKING TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOISTS (48"O.C.)
- ROOF DECKING TO BE 1/2" CDX PLYWOOD
- ALL RAFTERS TO BE 2x10 AT 16" O.C. UNLESS OTHERWISE NOTED.
- ALL HEADERS AT FIRST FLOOR & BASEMENT TO BE MIN. 2x12
- DOUBLE FLOOR JOISTS UNDER PARTITION PARALLEL TO JOIST SPAN
- PROVIDE "X" BRIDGE AT 8'-0" O.C. MAX FOR JOISTS
- PROVIDE SOLID BLOCKING AT MID HEIGHT AT ALL BEARING WALLS
- ALL JOISTS SHALL BE STACKED ALIGNED OVER STUDS BELOW
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED
- ANCHOR BOLTS SHALL BE 1/2"x8" AT 4'-0" O.C. AND WITHIN 12" FROM THE END OF SILLS AND CORNERS. PROVIDE MIN. OF 2 BOLTS PER SILL EMBEDDED 5-1/2" IN FOOTINGS
- PROVIDE RODENT AND INSECT PROOFING WHERE ALL PLUMBING, WIRING AND VENTS PASS THROUGH PLATED AS PER CODE
- EXTERIOR OPENINGS, VALLEYS AND OTHER AREAS SPECIFIED ON PLANS TO HAVE AN APPROVED FLASHING. USE 26 GAUGE G.I. FLASHING FOR VALLEYS 24" WIDE WITH ROOFS LESS THAN 4/12 PITCH. VALLEY FLASHING SHALL HAVE A SPLASH RIB, 1" IN HEIGHT FOR SHAKE ROOFS AND 3/4" HIGH FOR OTHER TYPE OF ROOFING
- EXTERIOR CORNERS OF STRUCTURE TO BE BRACED WITH 1/2" CDX PLYWOOD.
- USE STEEL COLUMNS UNDER EACH END OF STEEL BEAMS UNLESS THEY BEAR ON CONCRETE WALL.
- ALL WOOD COLUMNS SHOWN SHALL EXTEND DOWN THROUGH THE LEVELS BELOW AND TERMINATE AT THE CRAWL SPACE. WHERE THESE MULTIPLE 2x WOOD COLUMNS DO NOT REST ATOP A CONCRETE WALL, THE SLAB SHOULD BE THICKENED 2'-0"x 2'-0"x 1'-0" DEEP AND REINFORCED WITH 3-#4 EACH WAY IN THE BOTTOM. THIS WILL BE TRUE FOR ALL 2x COLUMNS EXCEPT THOSE WHICH FALL ON BEAMS BELOW DESIGNED TO CARRY THEIR LOAD. IN THIS CASE THE COLUMNS WILL TERMINATE AT THE BEAM
- 2x4 AT 16" O.C. WILL BE USED TO FRAME 1ST & 2ND FLOOR, UNLESS OTHERWISE NOTED.
- ALL WINDOW & DOOR DIMENSIONS ARE SHOWN AS NOMINAL. VERIFY WITH WINDOW/ DOOR SUPPLIER EXACT OPENING DIMENSIONS FOR ALL RUFF OPENINGS.
- DECK ATTACHMENT: INSTALL 1/2" DIA BOLTS @ 24" O.C. TO HOUSE FRAMING

2ND FLOOR PARTITION PLAN KEY NOTES:

- WASHER AND DRIER LOCATION. GC TO PROVIDE POWER/ WATER, DRAIN AND VENT AS REQUIRED
- NEW MOP SINK. GC TO PROVIDE WATER/ SEWER AS REQUIRED

WINDOW SCHEDULE: (WxH) REF. ELEVATIONS FOR MUNTIN STYLE

- |   |   |
|---|---|
| 1 | SINGLE UNIT 2'-0"x4'-0" DOUBLE (OR SINGLE) HUNG                     |
| 2 | SINGLE UNIT 2'-6"x3'-6" DOUBLE (OR SINGLE) HUNG                     |
| 3 | SINGLE UNIT 3'-0"x5'-0" DOUBLE (OR SINGLE) HUNG                     |
| 4 | TWIN UNIT 3'-0"x5'-0" DOUBLE (OR SINGLE) HUNG                       |
| 5 | SINGLE UNIT 4'-0"x4'-0" FIXED GLASS TRUE ROUND TOP WINDOW           |
| 6 | SINGLE UNIT 4'-0"x3'-6" FIXED GLASS WINDOW                          |
| 7 | SINGLE UNIT 6'-0"x6'-0" FIXED GLASS WINDOW WITH TRUE RADIUS TRANSOM |
| 8 | TRIPLE UNIT. REF. ELEVATION FOR MORE INFORMATION                    |
| 9 | SINGLE UNIT 2'-4"x5'-0" DOUBLE (OR SINGLE) HUNG                     |

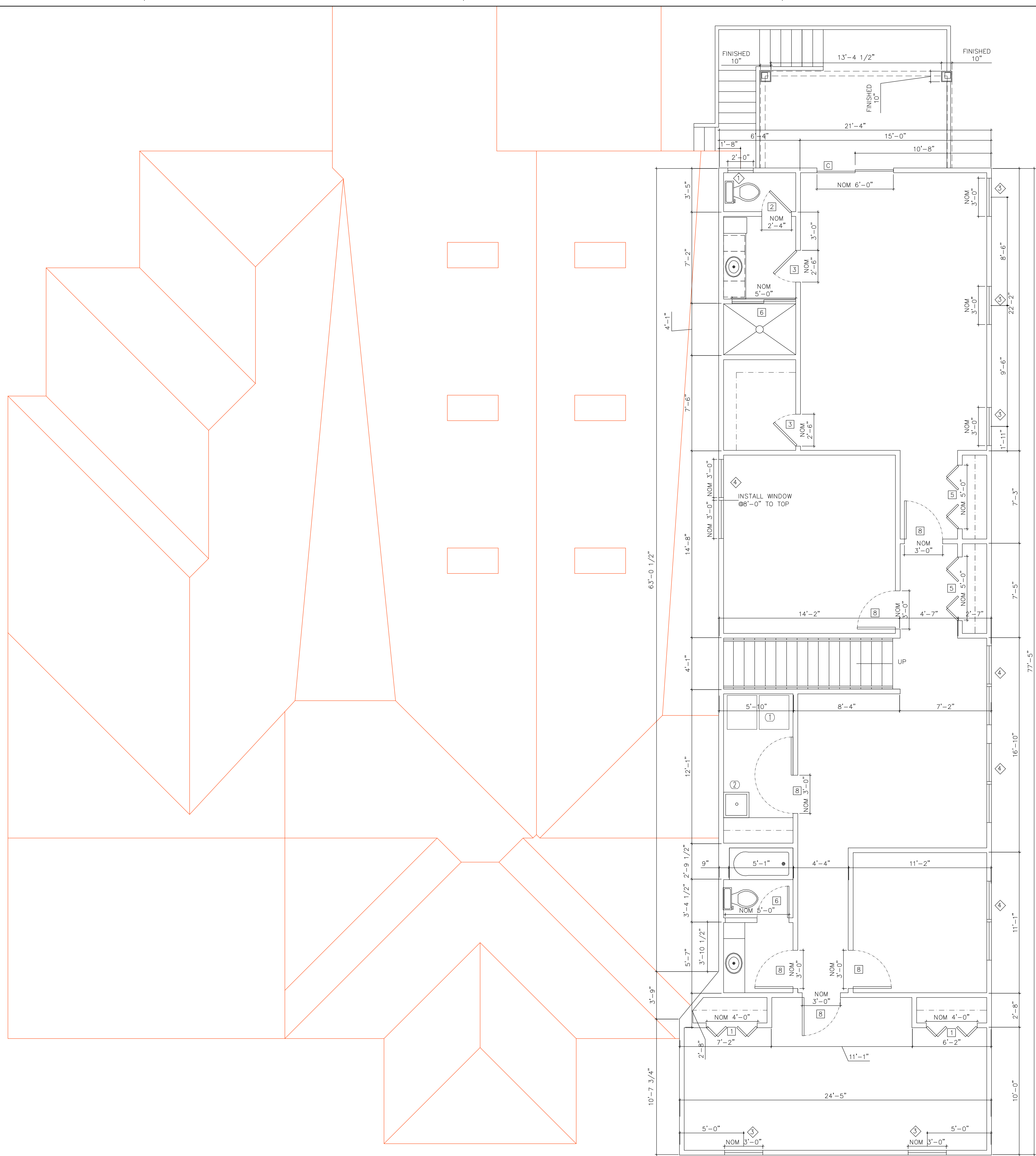
EXTERIOR DOOR SCHEDULE: (WxH). REF. ELEVATIONS FOR GRILL STYLE. ALL GLASS TO BE TEMPERED

- |   |  |
|---|--|
| A | (2) 3'-0" X 8'-0" DOUBLE MAIN ENTRY DOOR WITH TRUE RADIUS TRANSOM. REF. ELEVATIONS FOR STYLE |
| B | (2) 4'-0" X 6'-8" DOUBLE SLIDING FULL GLASS PATIO DOOR                                       |
| C | (2) 3'-0 X 6'-8" DOUBLE, FULL GLASS SLIDING DOOR   |
| D | (1) 3'-0 X 6'-8" SINGLE SOLID FIBERGLASS OR METAL DOOR                                       |

INTERIOR DOOR SCHEDULE: (WxH). ALL GLASS TO BE TEMPERED.

- |    |   |
|----|---|
| 1  | (2) 1'-6"x6'-8" DOUBLE WOOD DOOR                    |
| 2  | (1) 2'-0"x6'-8" SINGLE WOOD DOOR                    |
| 3  | (2) 2'-0"x6'-8" DOUBLE BL-FOLD WOOD DOOR            |
| 4  | (1) 2'-4"x6'-8" SINGLE WOOD DOOR                    |
| 5  | NOT USED  |
| 6  | (1) 2'-6"x6'-8" SINGLE WOOD DOOR                    |
| 7  | (1) 2'-6"x6'-8" SINGLE WOOD BL-FOLD DOOR            |
| 8  | (1) 3'-0"x6'-8" SINGLE WOOD DOOR                    |
| 9  | (2) 3'-0"x6'-8" DOUBLE SLIDING WOOD DOOR            |
| 10 | (1) 3'-0"x6'-8" DOUBLE BARN WOOD DOOR               |
| 11 | (1) 3'-0"x6'-8" SINGLE 20 MIN. FIRE RATED WOOD DOOR |

2 2ND FLOOR PARTITION PLAN

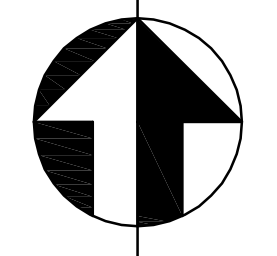


SCALE: 1/4"=1'-0"

1 PARTITION PLAN LEGEND

DESIGN TODAY

2700 SUGAR PINE RD  
 WOODBRIDGE, GA  
 30189  
 PH: 404-954-1000  
 D: 770-538-4800  
 WWW.DESIGN-TODAY.COM



ISSUED  
 FOR  
 CONSTRUCTION

LEGACY MANOR  
 PERSONAL CARE  
 HOME

1822 MOUNT VERNON RD,  
 DUNWOODY, GA 30338

1.	04.10.22	ISSUE FOR CONSTRUCTION
:No:	:	:Date:
:	:	:REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
 DESIGN TODAY 2005

:DRAWING TITLE:	2ND FLOOR PARTITION PLAN
:ISSUE DATE:	
:DRAWN BY:	DT
:SHEET NUMBER:	A1.02



PLAN NOTES:

- GENERAL NOTES:  
 1. ALL LIGHT FIXTURES ARE BY OWNER, GC TO INSTALL, UNO  
 2. INTERIOR DOWNLIGHT FIXTURE #1 & EXTERIOR DOWNLIGHT FIXTURE #3 & BATHROOM FANS ARE PROVIDED AND INSTALLED BY GC.  
 3. ALL CEILING LIGHT FIXTURES TO BE MOUNTED IN THE MIDDLE OF THE ROOM, UNO

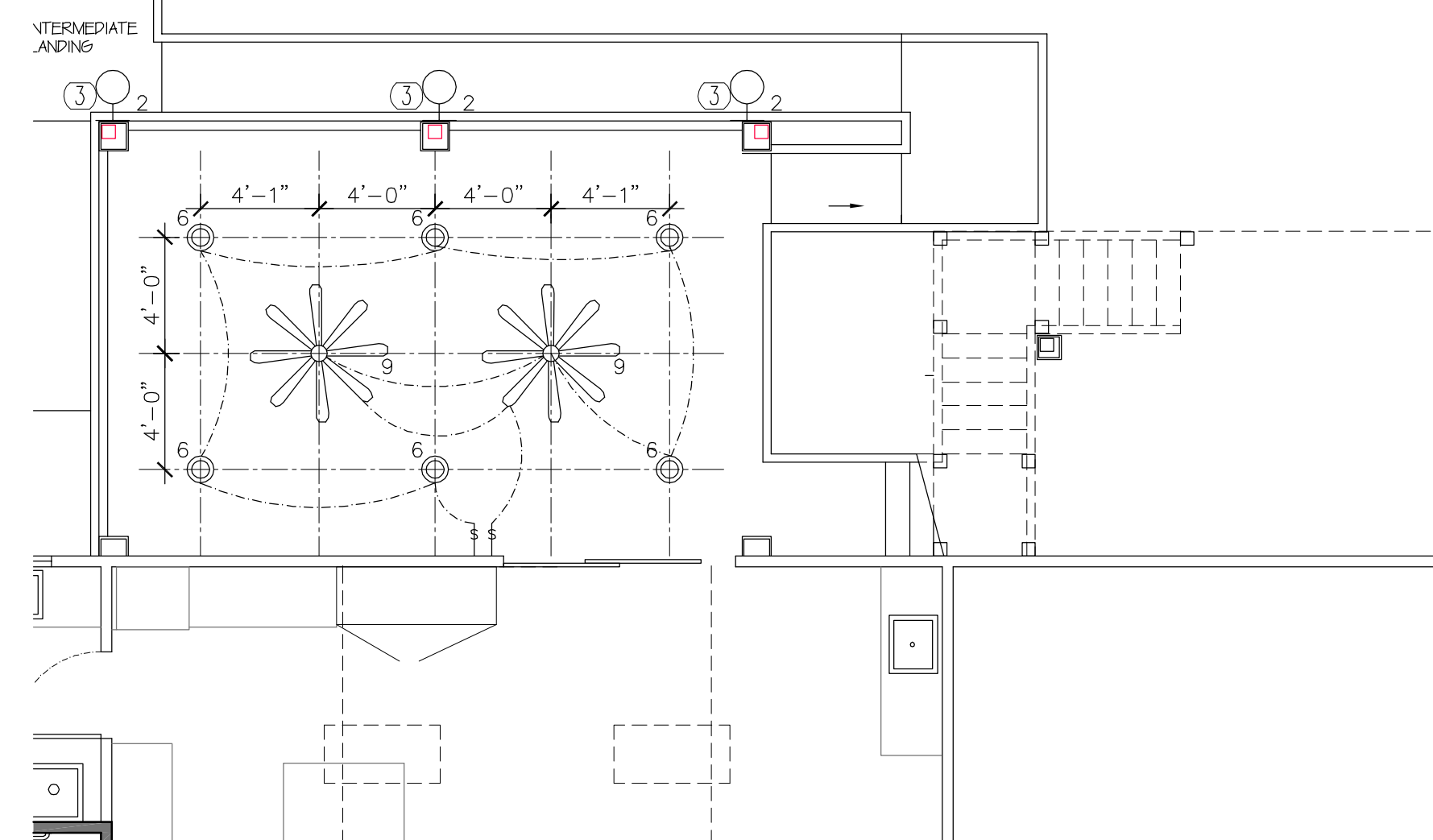
LIGHTING PLAN SYMBOLS

TYPE	DESCRIPTION	TYPE	DESCRIPTION
SD	SMOKE/CO DETECTOR COMPLIANT WITH R314	6	6" DIA DOWNLIGHT, UL LISTED FOR DUMP LOCATIONS
1	INTERIOR 6" DIA DOWNLIGHT	7	INTERIOR CEILING FAN WITH LIGHT
2	EXTERIOR WALLSCENCE, UL LISTED FOR WET LOCATIONS, TO BE CONNECTED TO PROGRAMMABLE SWITCH, VERIFY SWITCH LOCATION WITH OWNER	8	PENDANT LIGHT FIXTURE
3	INTERIOR WALLSCENCE	9	EXTERIOR CEILING FAN WITH LIGHT
4	CEILING MOUNTED LIGHT FIXTURE		
5	BATHROOM EXHAUST FAN/LIGHT COMBO COMPLIANT WITH R303.3		

1ST FLOOR REFLECTED CEILING PLAN KEY NOTES:

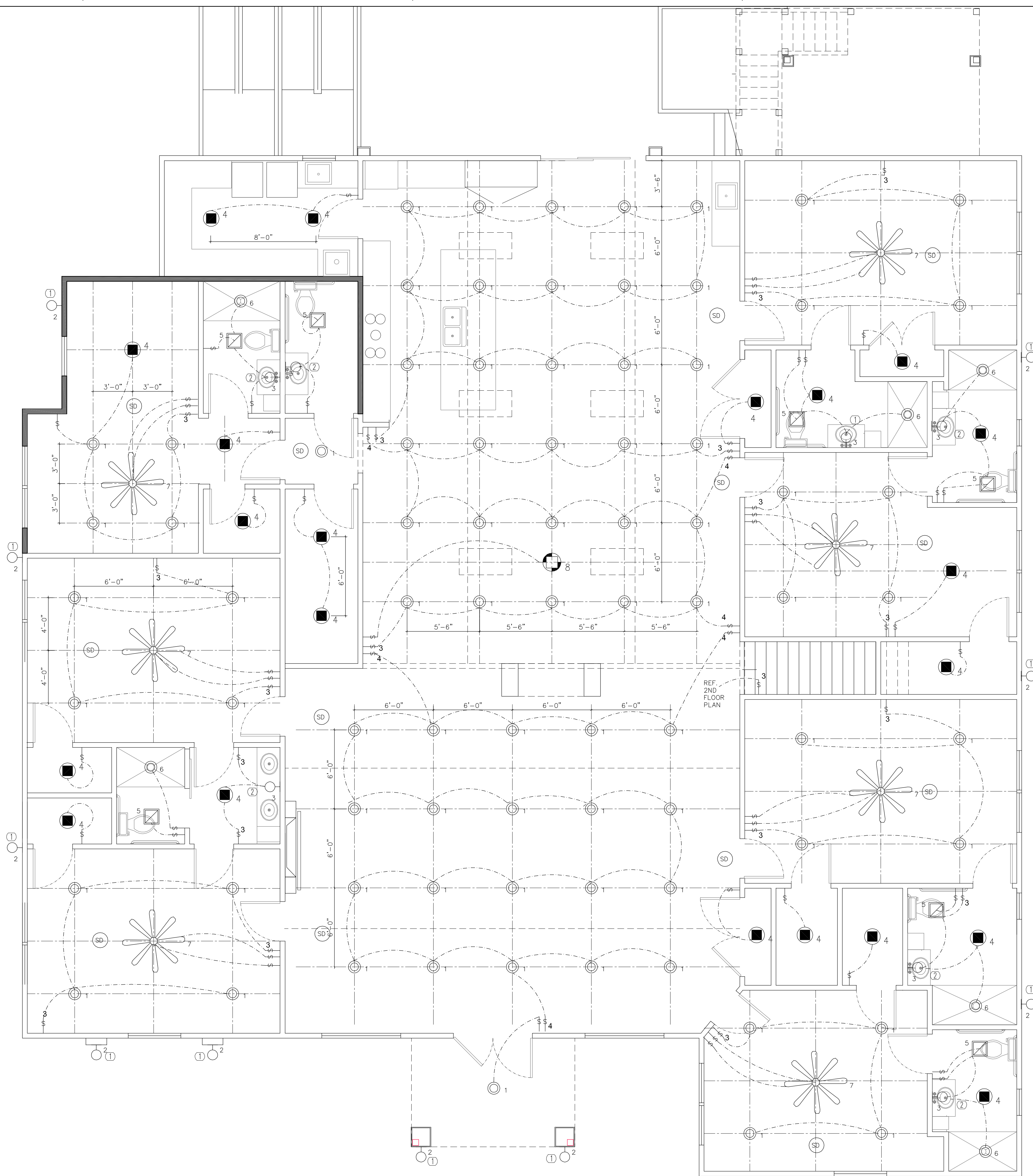
- 1 MOUNT WALL SCENCE 6'-0" ABOVE 1ST FLOOR
- 2 VERIFY WALLSCENCE MOUNTING HEIGHT WITH OWNER
- 3 MOUNT WALL SCENCE 7'-0" ABOVE 1ST FLOOR

1 LIGHTING PLAN LEGEND



2 DECK LIGHTING PLAN

SCALE: 3/161'-0"

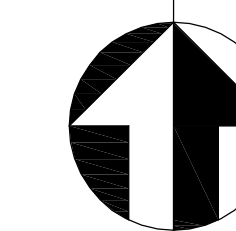


3 1ST FLOOR LIGHTING PLAN

SCALE: 1/4"=1'-0"

DESIGN TODAY

2700 SUGAR PINE RD  
 WOODBRIDGE, GA  
 30189  
 PH: 404-255-1000  
 D: 404-255-1001  
 WWW.DESIGN-TODAY.COM



PLAN NORTH

ISSUED  
 FOR  
 CONSTRUCTION

LEGACY MANOR  
 PERSONAL CARE  
 HOME

1822 MOUNT VERNON RD,  
 DUNWOODY, GA 30338

1. 04.01.22 ISSUE FOR CONSTRUCTION  
 No: Date: Remarks:  
 REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
 DESIGN TODAY 2005

DRAWING TITLE:  
 1ST FLOOR  
 LIGHTING  
 PLAN

ISSUE DATE:

DRAWN BY:  
DT

SHEET NUMBER:

A2.00

PLAN NOTES:

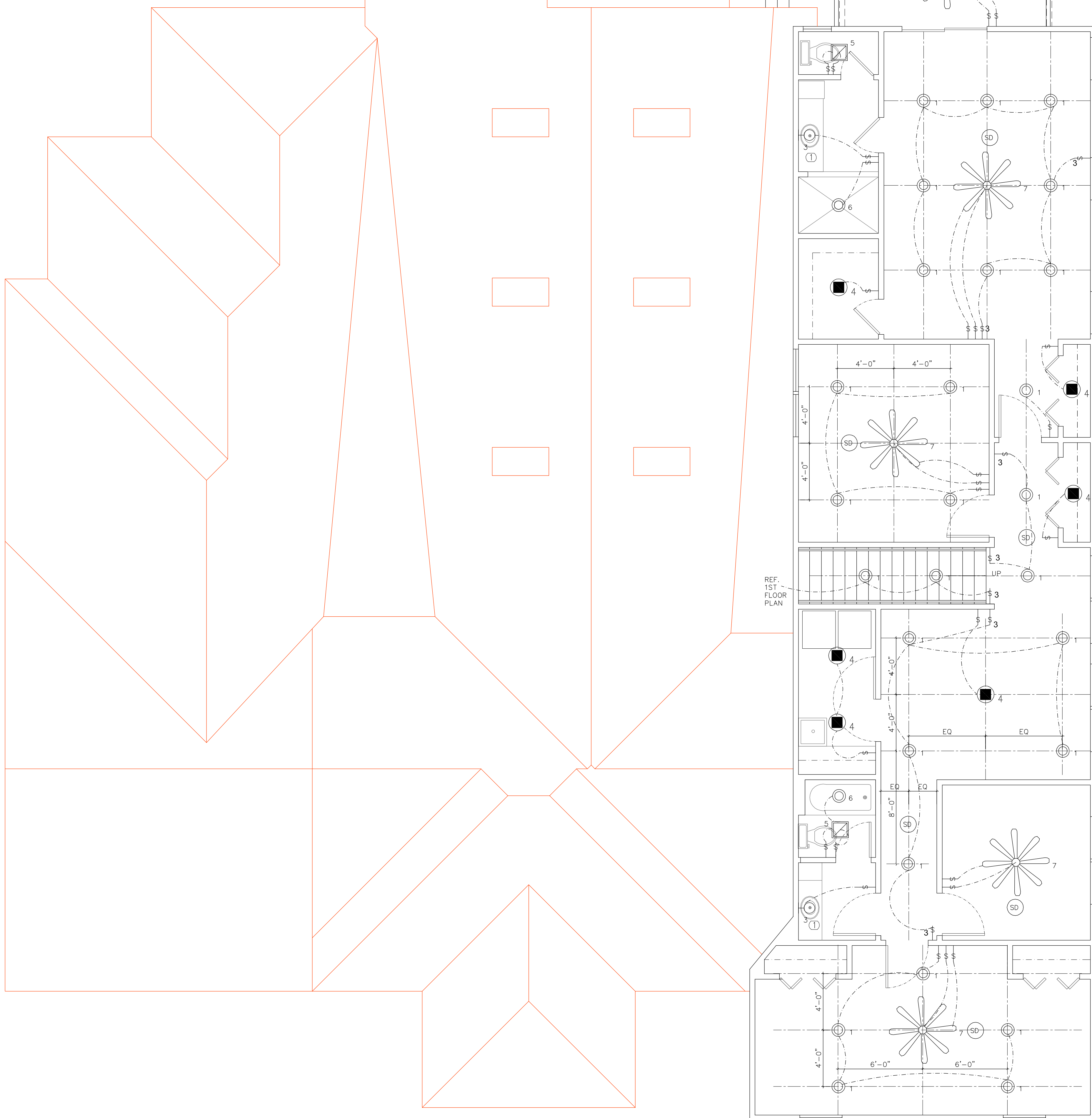
- GENERAL NOTES:  
 1. ALL LIGHT FIXTURES ARE BY OWNER, GC TO INSTALL, UNO  
 2. INTERIOR DOWNLIGHT FIXTURE #1 & EXTERIOR DOWNLIGHT FIXTURE #3 & BATHROOM FANS ARE PROVIDED AND INSTALLED BY GC.  
 3. ALL CEILING LIGHT FIXTURES TO BE MOUNTED IN THE MIDDLE OF THE ROOM, UNO

LIGHTING PLAN SYMBOLS

TYPE	DESCRIPTION	TYPE	DESCRIPTION
SD	SMOKE/CO DETECTOR COMPLIANT WITH R314	6	6" DIA DOWNLIGHT, UL LISTED FOR DUMP LOCATIONS
1	INTERIOR 6" DIA DOWNLIGHT	7	INTERIOR CEILING FAN WITH LIGHT
2	EXTERIOR WALLSCOPE, UL LISTED FOR WET LOCATIONS. TO BE CONNECTED TO PROGRAMMABLE SWITCH. VERIFY SWITCH LOCATION WITH OWNER	8	PENDANT LIGHT FIXTURE
3	INTERIOR WALLSCOPE	9	EXTERIOR CEILING FAN WITH LIGHT
4	CEILING MOUNTED LIGHT FIXTURE		
5	BATHROOM EXHAUST FAN/LIGHT COMBO COMPLIANT WITH R303.3		

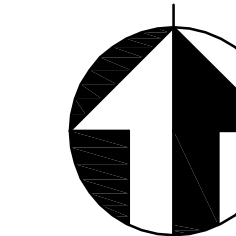
2ND FLOOR REFLECTED CEILING PLAN KEY NOTES:

- 1 VERIFY LIGHT INSTALLATION HEIGHT WITH OWNER  
 2 LIGHT TO BE MOUNTED @6'-8" ABOVE 2ND FLOOR



DESIGN TODAY

2700 SUGAR PINE RD  
 WOODBRIDGE, GA  
 30180  
 PH: 404-954-1000  
 D: 404-954-1001  
 WWW.DESIGN-TODAY.COM



PLAN NORTH

ISSUED  
 FOR  
 CONSTRUCTION

LEGACY MANOR  
 PERSONAL CARE  
 HOME

1822 MOUNT VERNON RD,  
 DUNWOODY, GA 30338

1. 04.010.22 ISSUE FOR CONSTRUCTION

:No: :Date: :Remarks:

:REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
 DESIGN TODAY 2005

:DRAWING TITLE:  
 2ND FLOOR  
 LIGHTING  
 PLAN

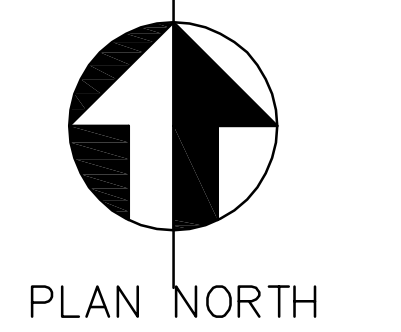
:ISSUE DATE:

:DRAWN BY:  
 DT

:SHEET NUMBER:

A2.01

Packet page...



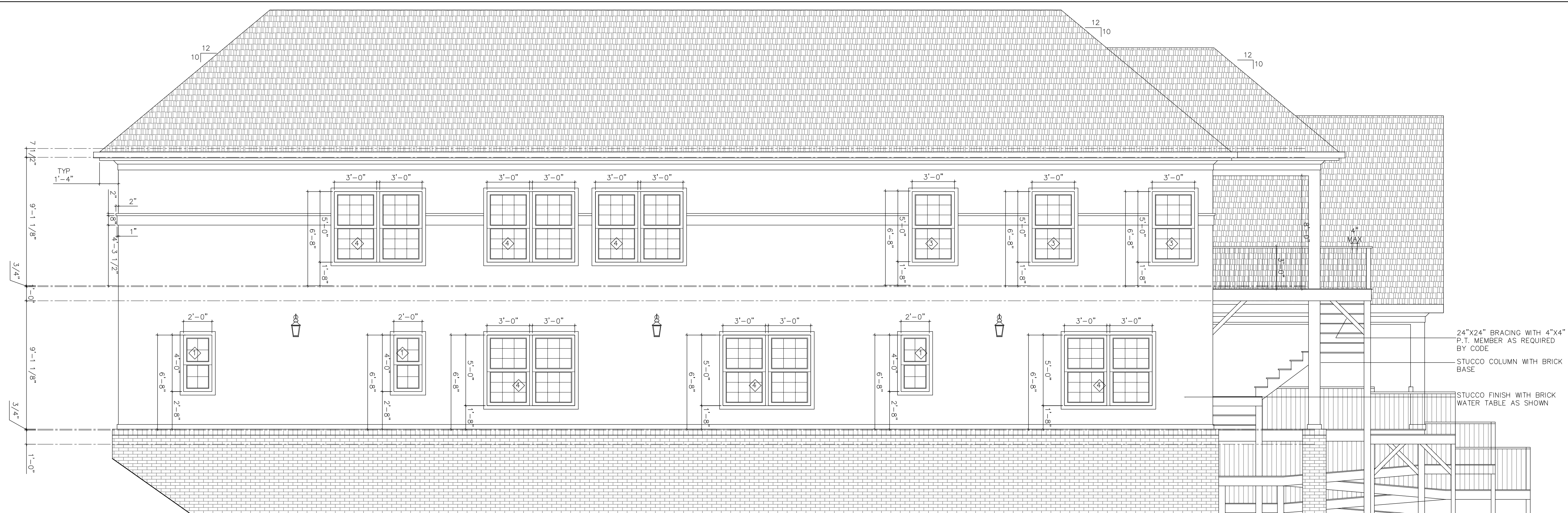
ISSUED  
FOR  
CONSTRUCTION

LEGACY MANOR  
PERSONAL CARE  
HOME



1 FRONT HOUSE ELEVATION

SCALE: 1/4"=1'-0"



2 RIGHT HOUSE ELEVATION

SCALE: 1/4"=1'-0"

1822 MOUNT VERNON RD,  
DUNWOODY, GA 30338

1. 04.10.22 ISSUE FOR CONSTRUCTION

No: Date: Remarks:

REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
DESIGN TODAY 2005

DRAWING TITLE:  
EXTERIOR ELEVATIONS

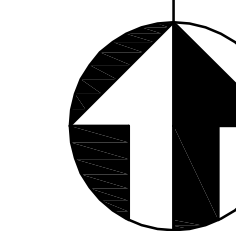
ISSUE DATE:

DRAWN BY:  
DT

SHEET NUMBER:

A3.00

Packet page:...

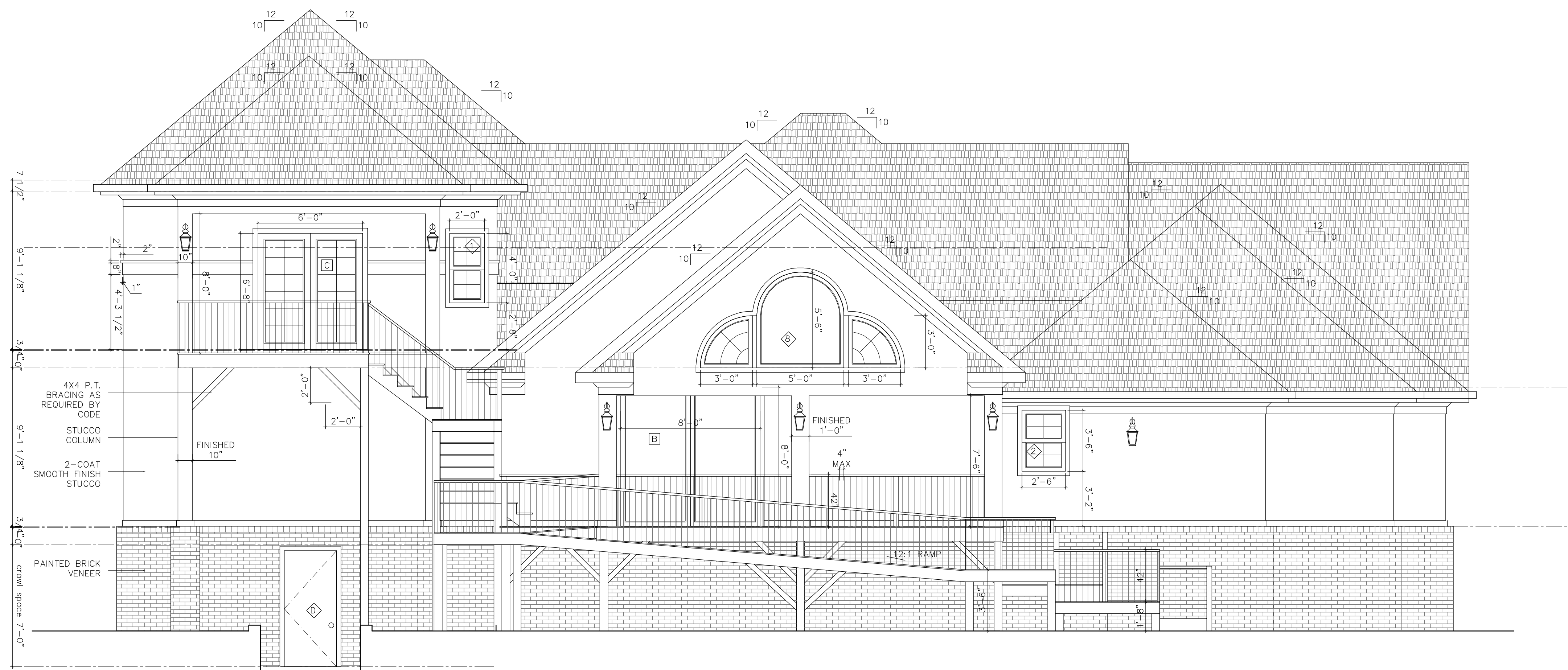


PLAN NORTH

ISSUED  
FOR  
CONSTRUCTION

LEGACY MANOR  
PERSONAL CARE  
HOME

1822 MOUNT VERNON RD,  
DUNWOODY, GA 30338



1 BACK HOUSE ELEVATION

SCALE: 1/4"=1'-0"



2 LEFT HOUSE ELEVATION

SCALE: 1/4"=1'-0"

1. 04.10.22 ISSUE FOR CONSTRUCTION

2. :Date: :Remarks:

REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
DESIGN TODAY 2005

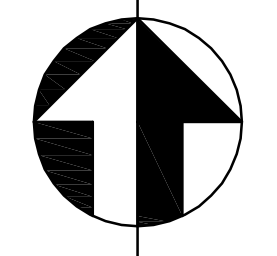
DRAWING TITLE:  
EXTERIOR ELEVATIONS

ISSUE DATE:

DRAWN BY:  
DT

SHEET NUMBER:

A3.01



ISSUED FOR CONSTRUCTION

LEGACY MANOR PERSONAL CARE HOME

1822 MOUNT VERNON RD, DUNWOODY, GA 30338

1. 04.10.22 ISSUE FOR CONSTRUCTION  
No: :Date: :Revisions:

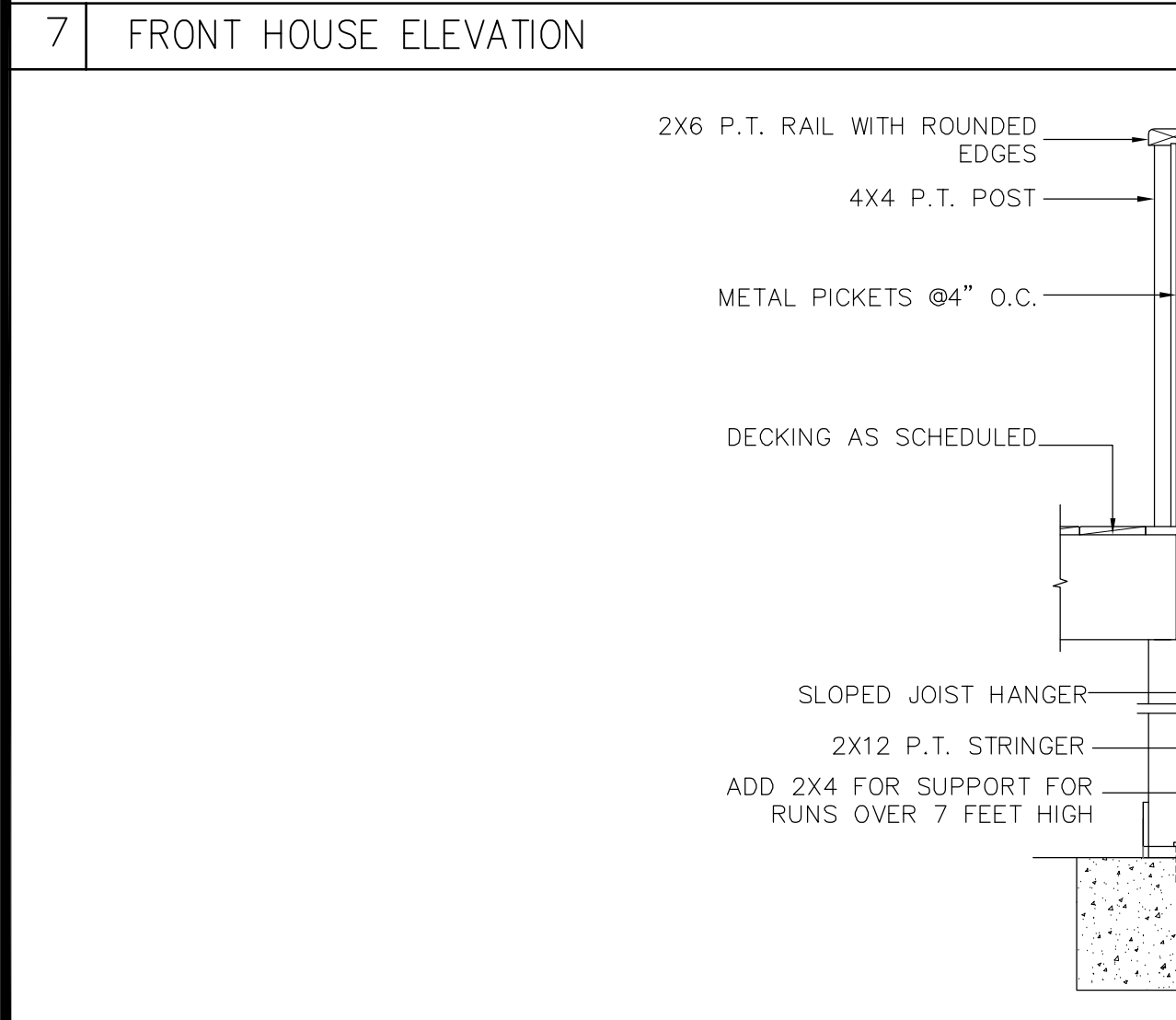
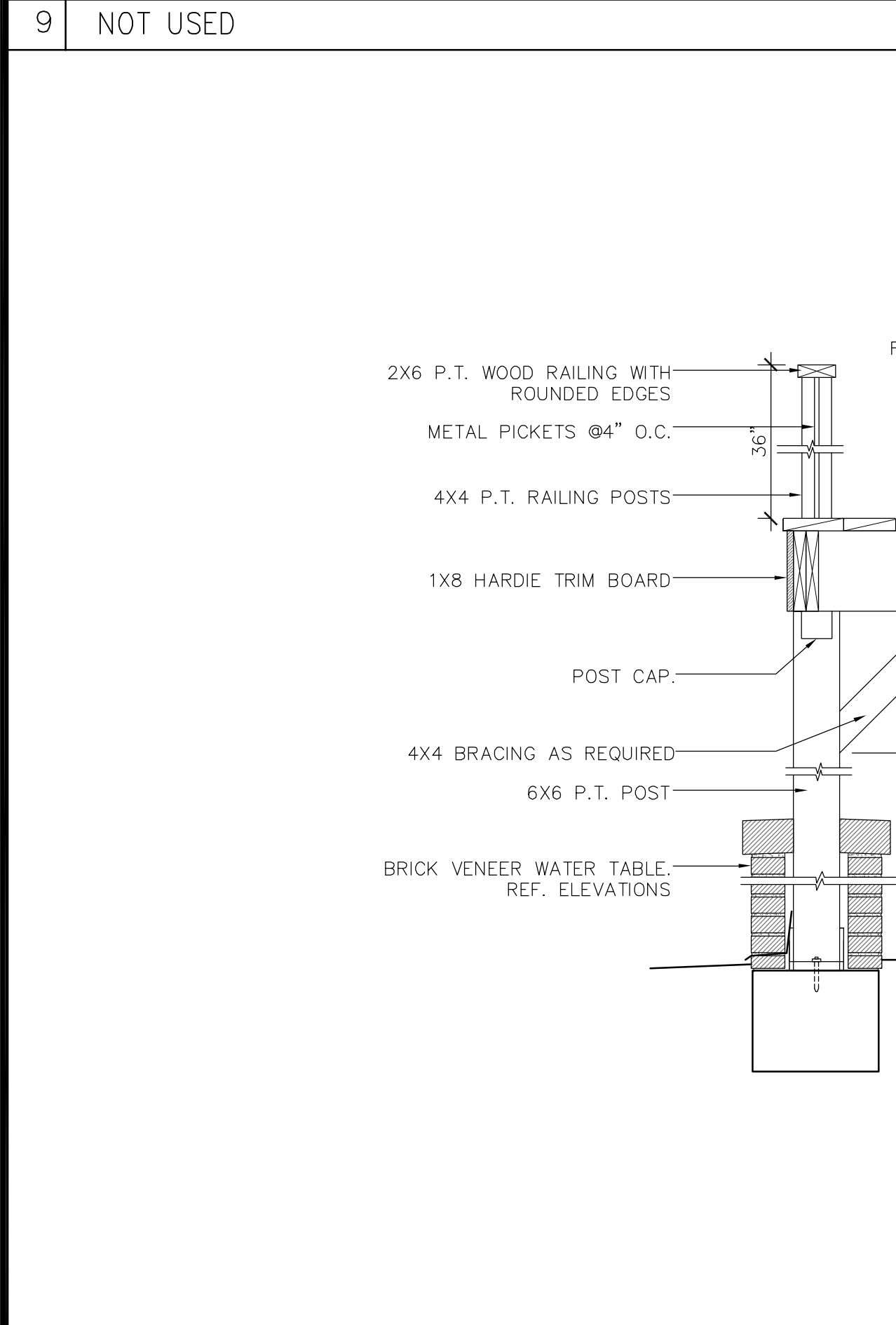
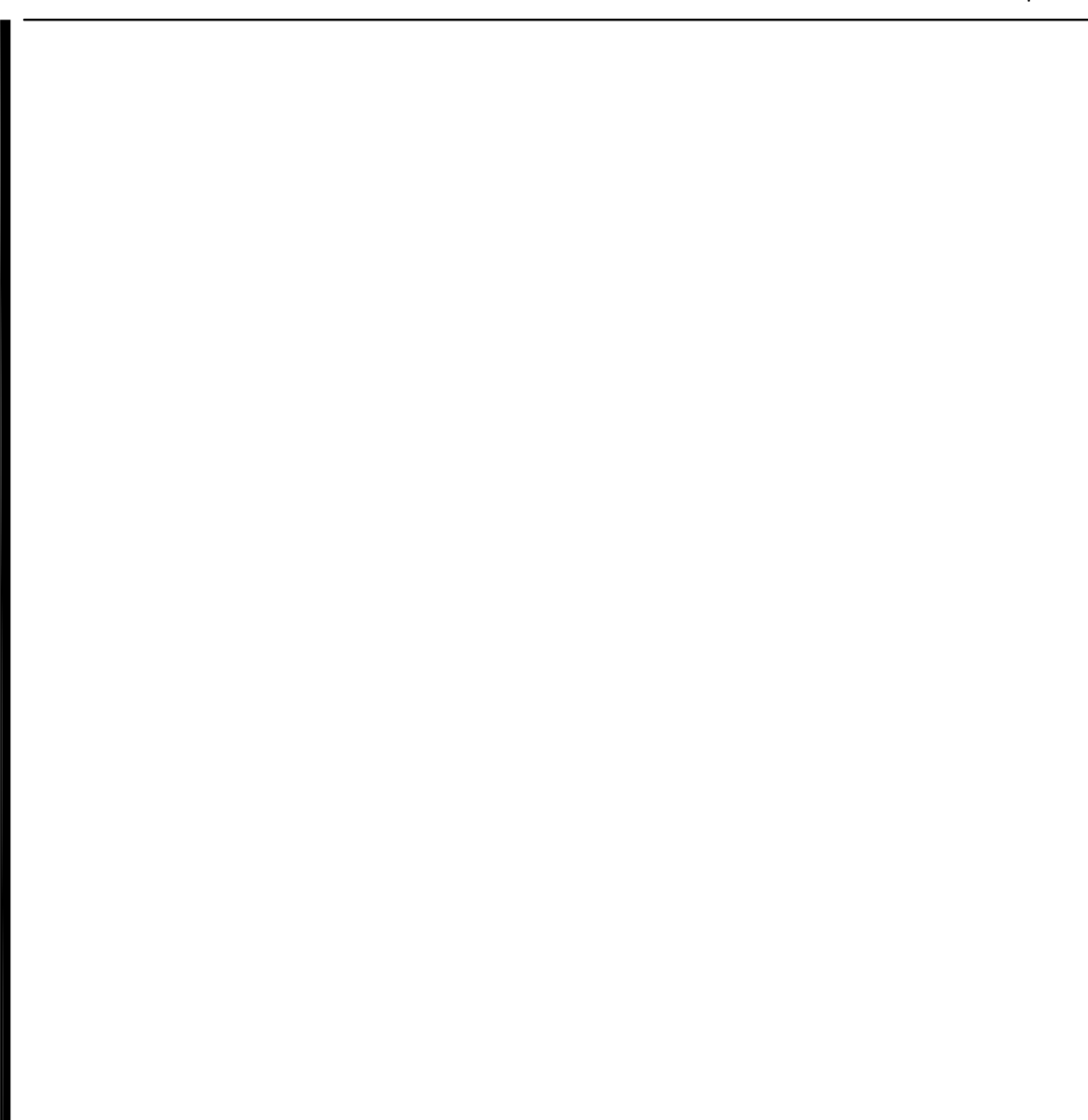
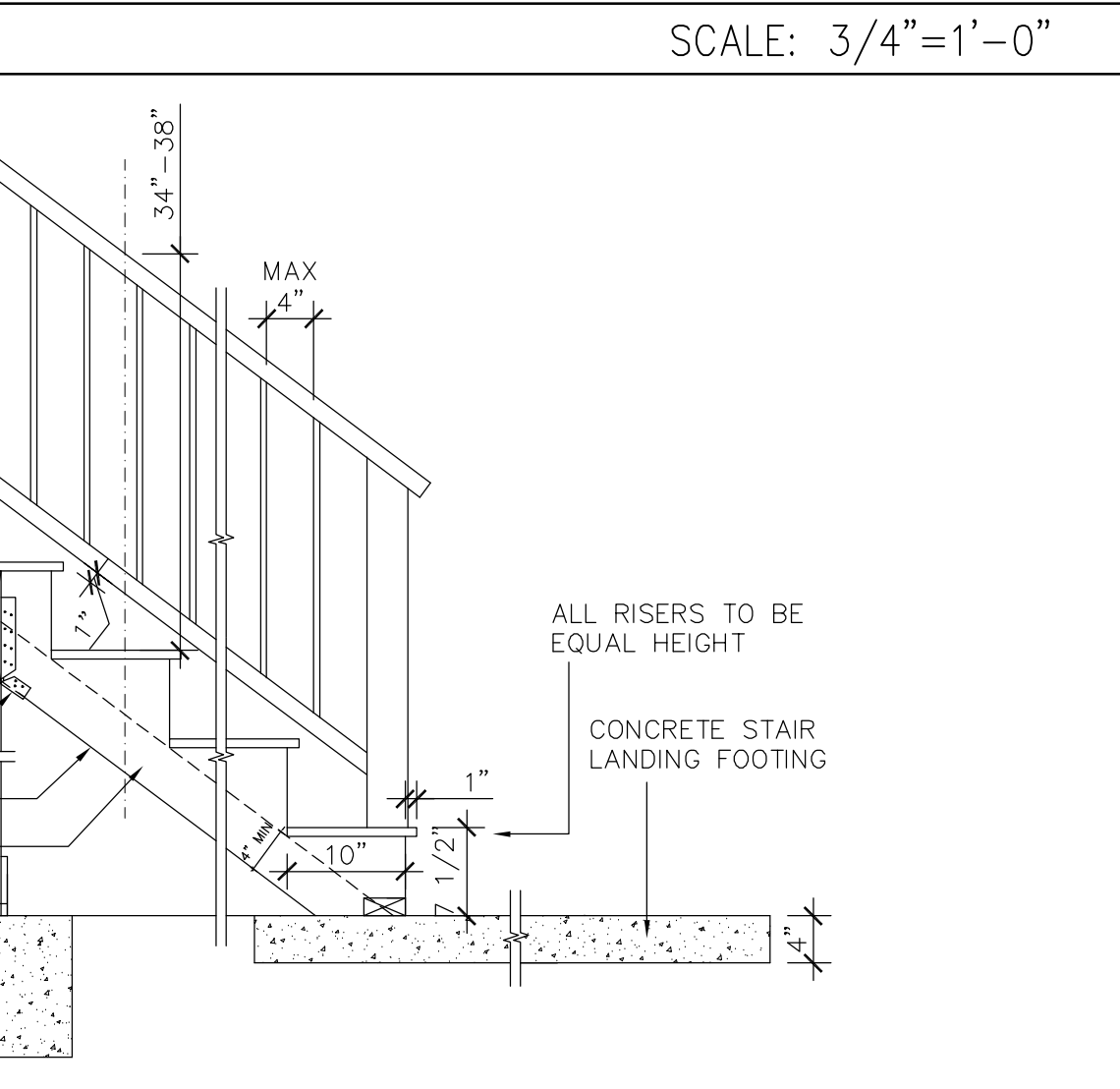
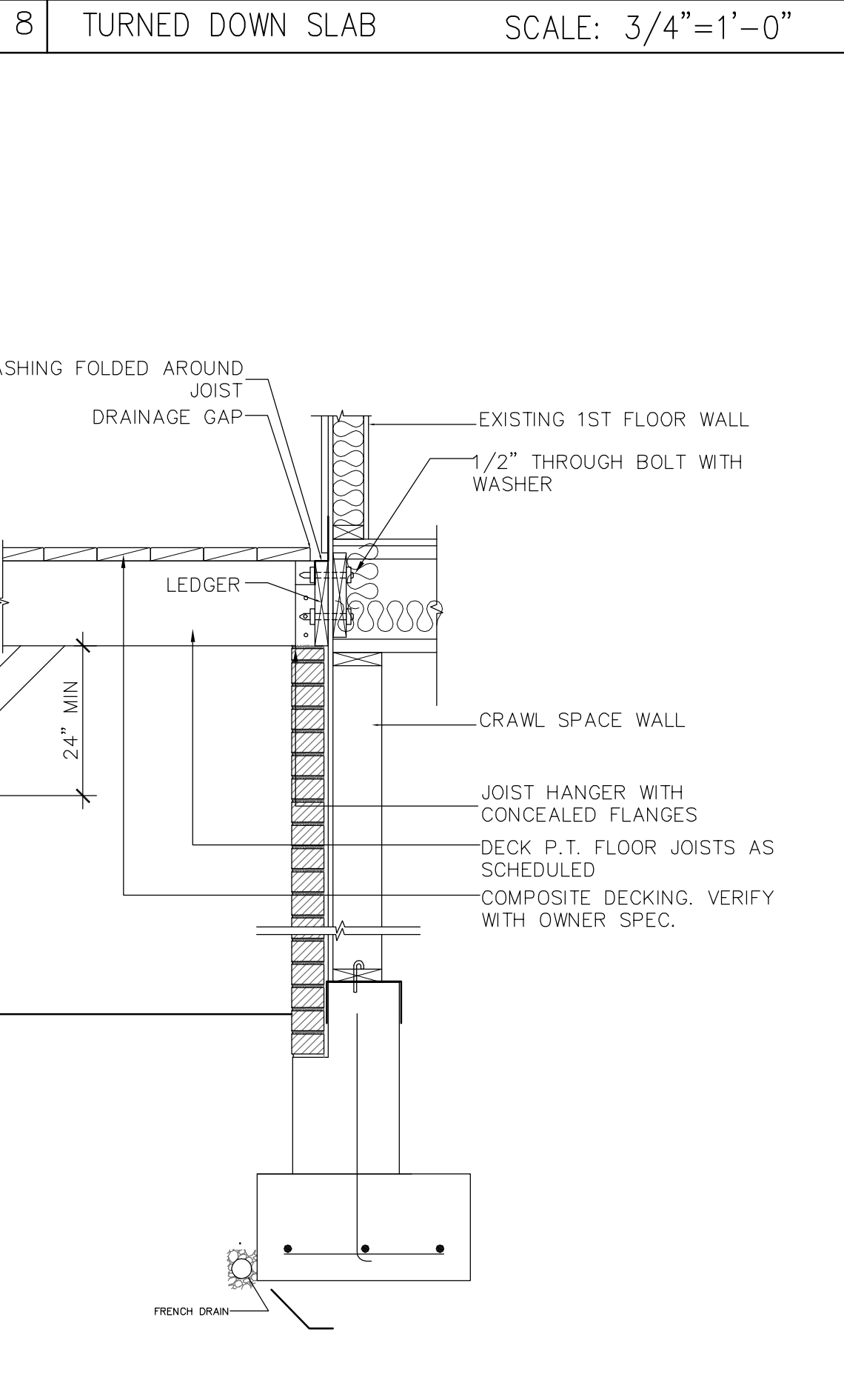
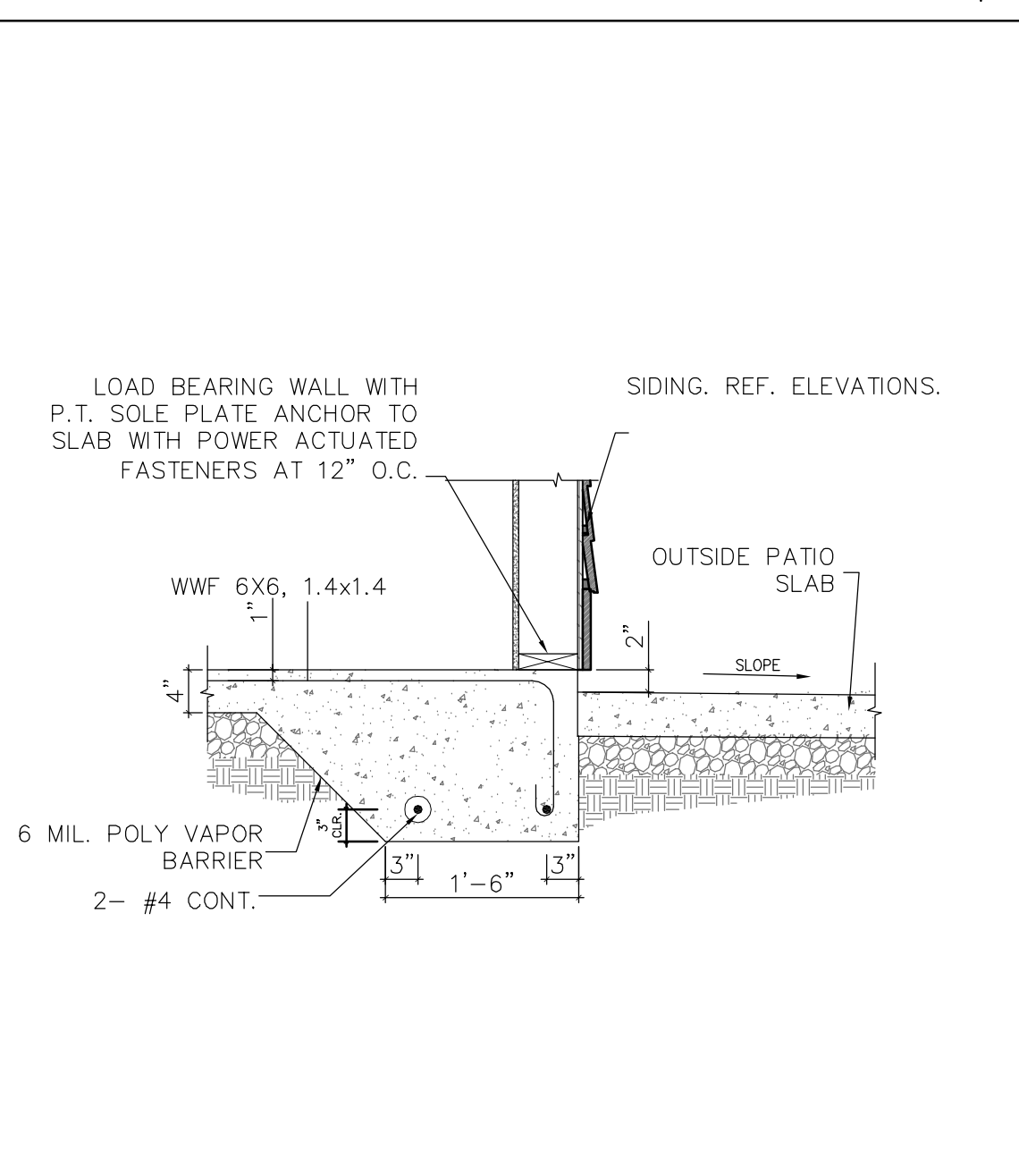
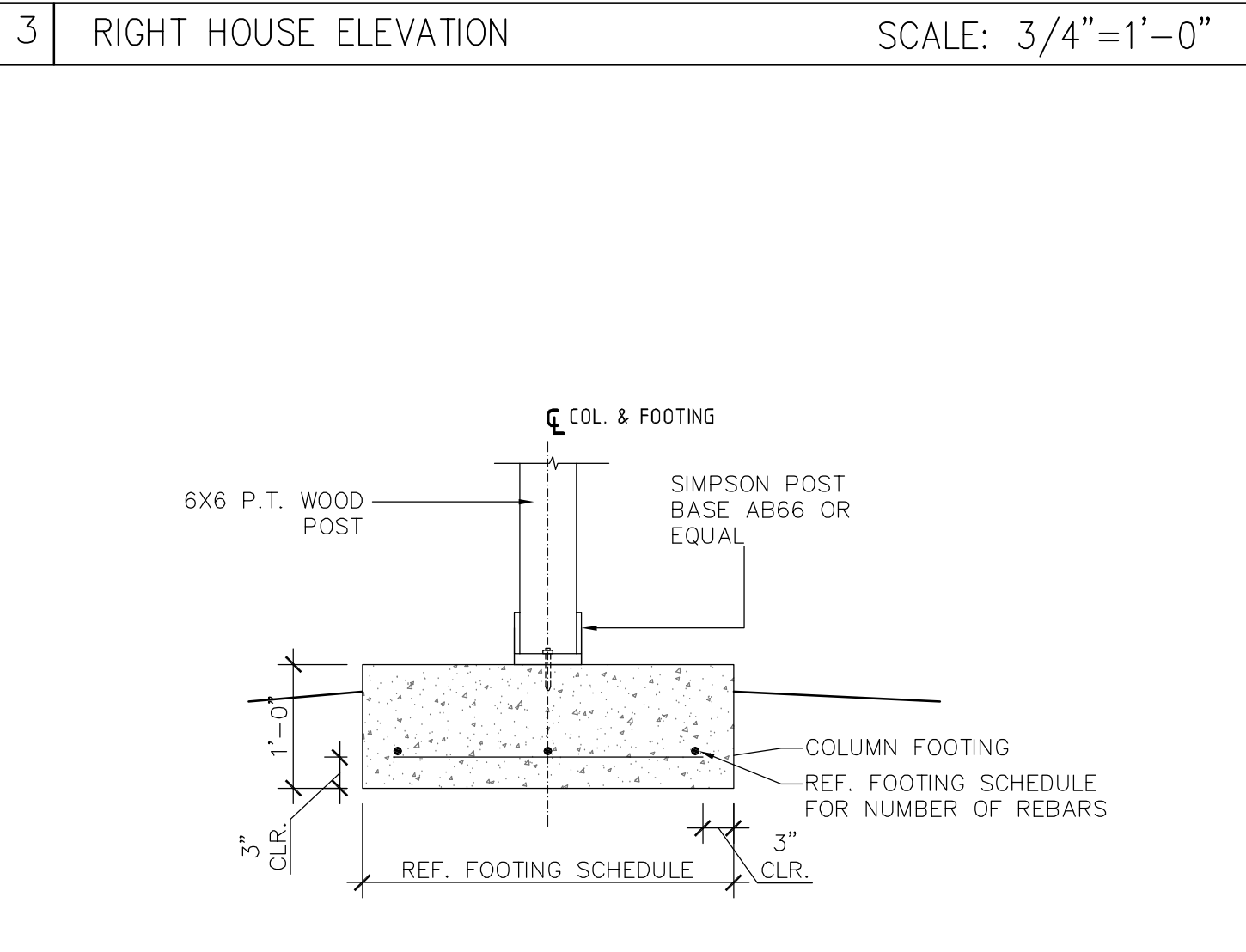
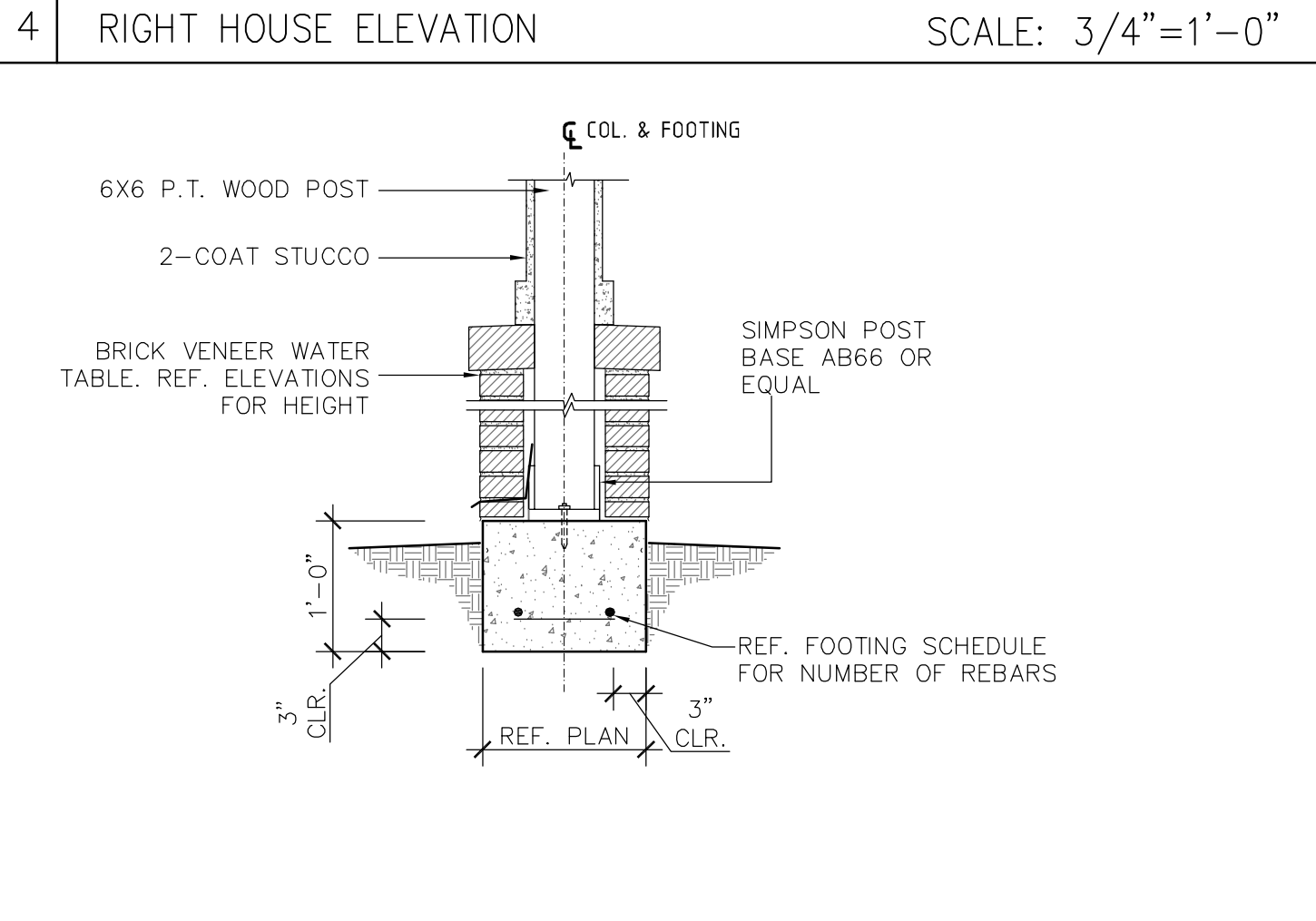
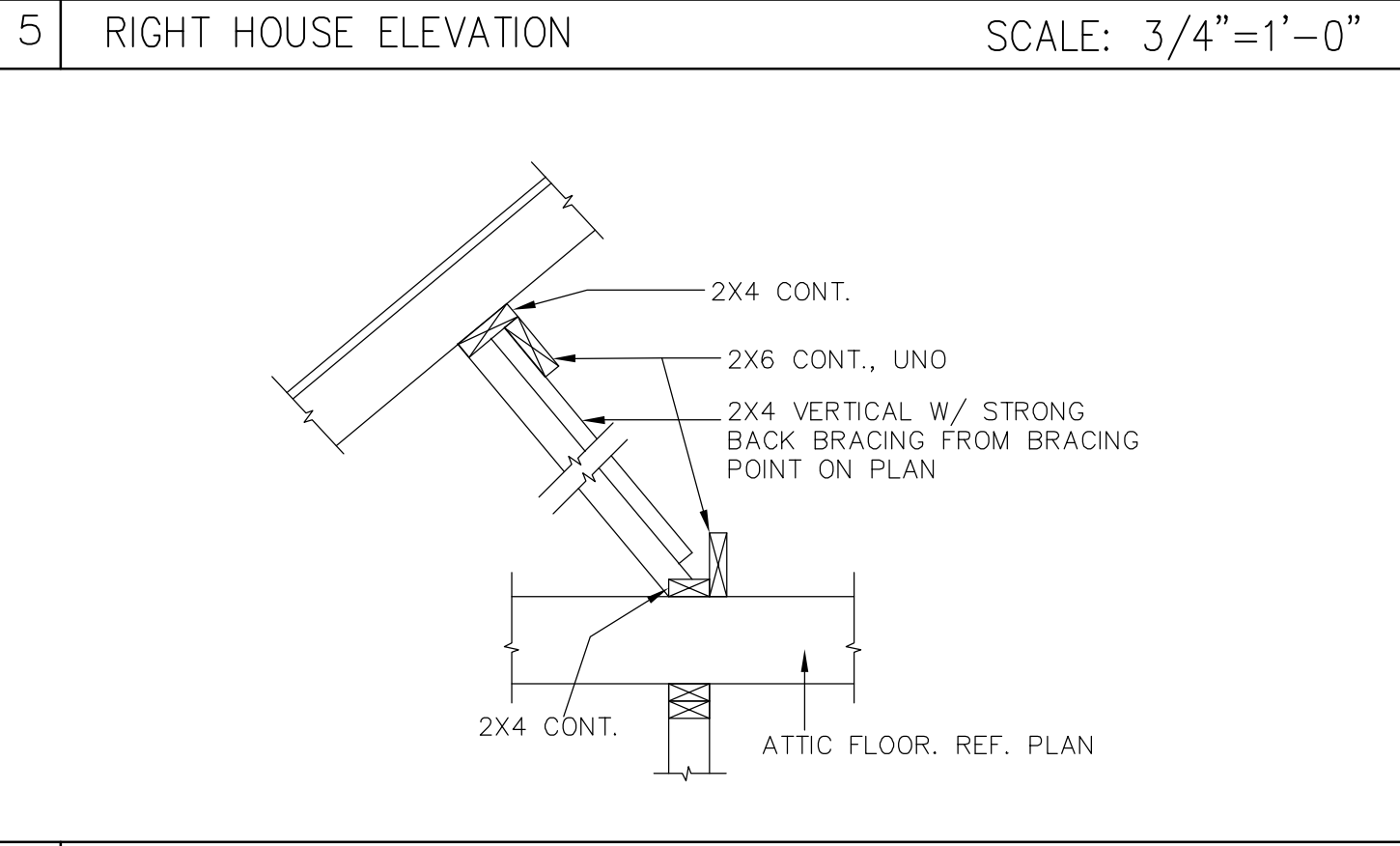
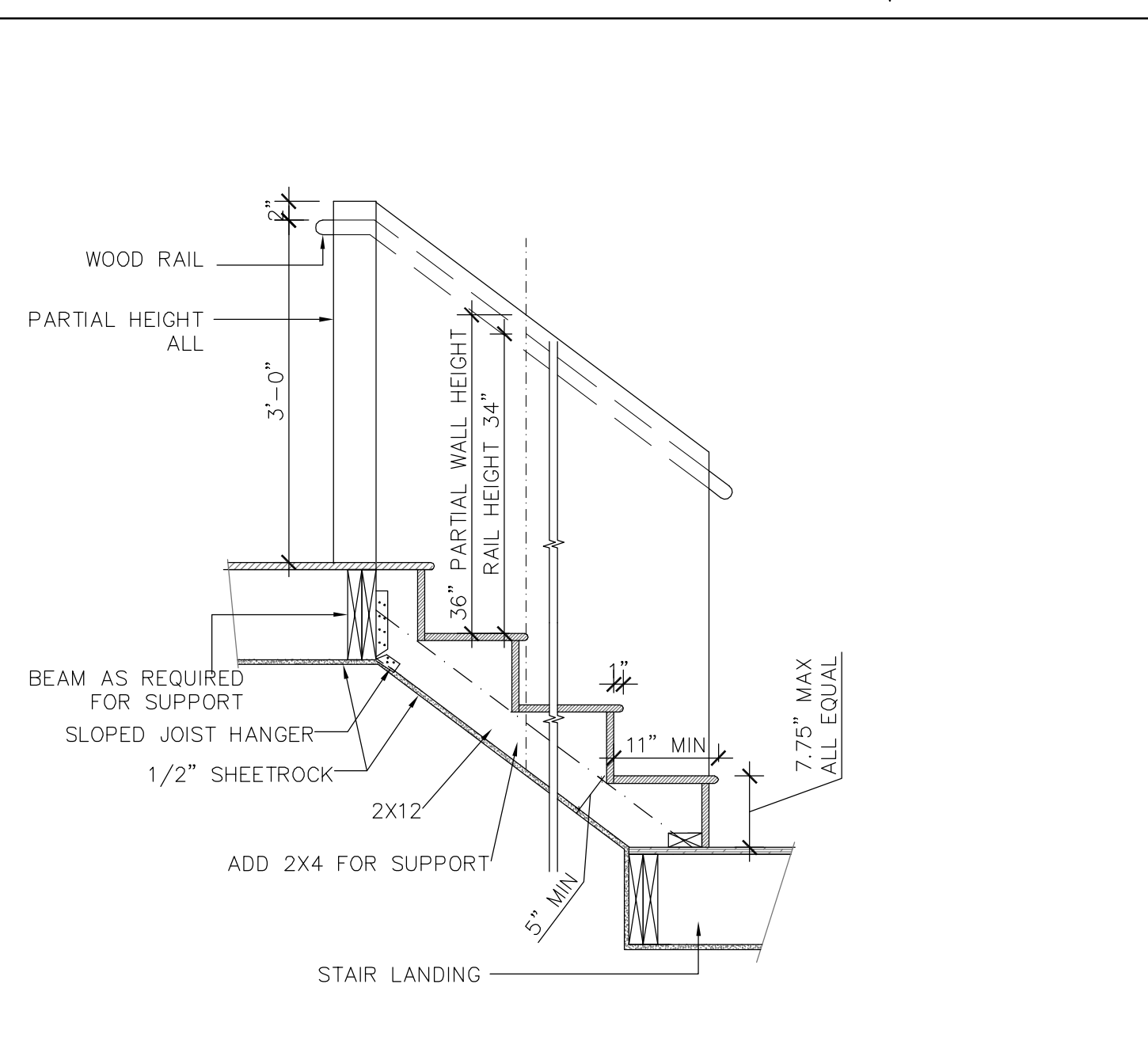
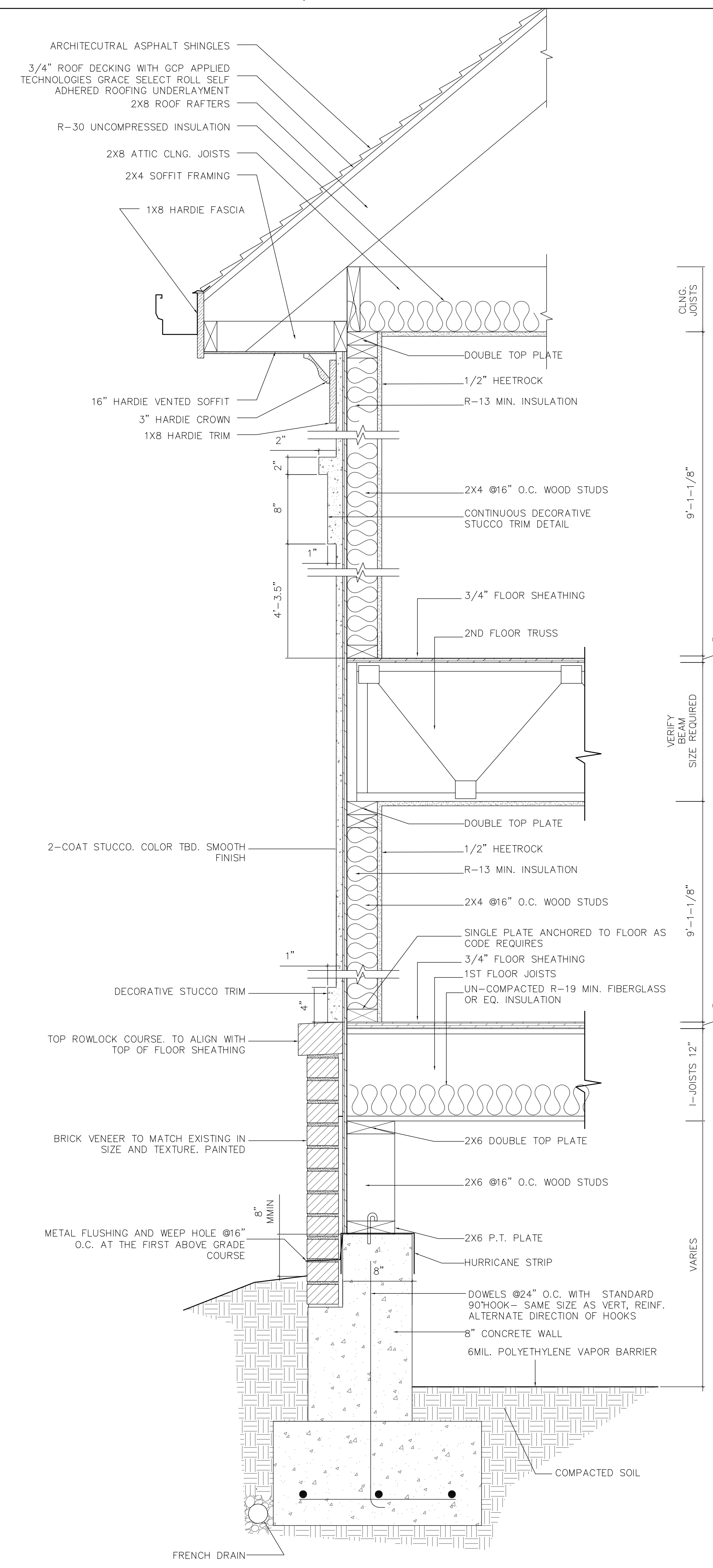


This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Copies as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
DESIGN TODAY 2005

DRAWING TITLE:  
WALL SECTION STAIR, FOOTING, ETC. DETAILS

ISSUE DATE:  
DRAWN BY:  
DT

SHEET NUMBER:  
A4.00



9 NOT USED

8 TURNED DOWN SLAB SCALE: 3/4\"=1'-0\"

5 RIGHT HOUSE ELEVATION SCALE: 3/4\"=1'-0\"

4 RIGHT HOUSE ELEVATION SCALE: 3/4\"=1'-0\"

3 RIGHT HOUSE ELEVATION SCALE: 3/4\"=1'-0\"

7 FRONT HOUSE ELEVATION SCALE: 3/4\"=1'-0\"

6 RIGHT HOUSE ELEVATION SCALE: 3/4\"=1'-0\"

2 RIGHT HOUSE ELEVATION SCALE: 3/4\"=1'-0\"

1 RIGHT HOUSE ELEVATION SCALE: 1-1/2\"=1'-0\"



ISSUED FOR CONSTRUCTION

LEGACY MANOR  
PERSONAL CARE HOME

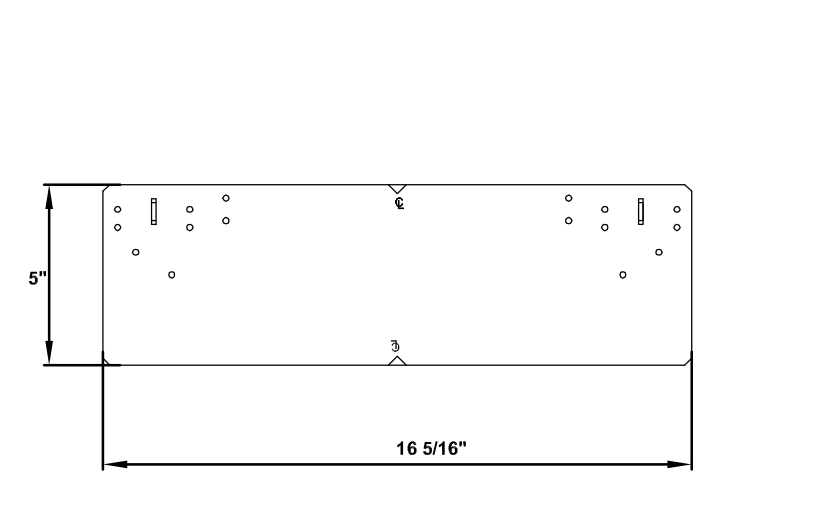
1822 MOUNT VERNON RD,  
DUNWOODY, GA 30338

No.	Date	Issue for Construction	Revision
1.	04.10.22	ISSUE FOR CONSTRUCTION	



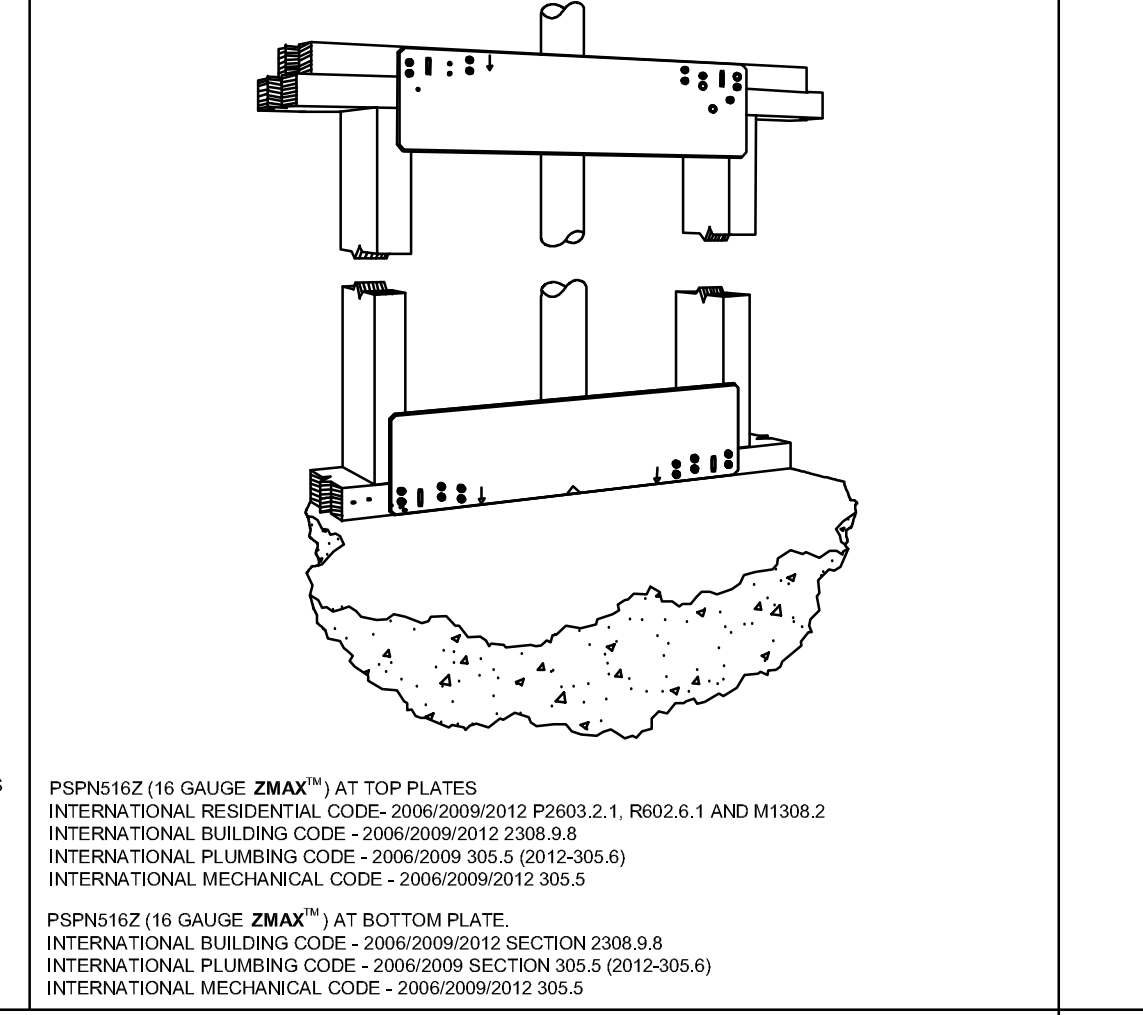
This drawing is the property of D. Trenis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Copies as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings. DESIGN TODAY 2025

DRAWING TITLE: FRAMING DETAILS  
ISSUE DATE:  
DRAWN BY: DT  
SHEET NUMBER: A4.01



MODEL NO.	GA.	DIMENSIONS		BOTTOM PLATE (12-16d NAILS)		TOP PLATE (16-16d NAILS)	
		W	L	DF/SP (160)	SP/HF (160)	DF/SP (160)	SP/HF (160)
PSPN516Z	16	5	16 5/16"	1965	1180	1950	1975

- To meet the prescriptive IRC requirements 16d box nails (0.135" dia x 3 1/2") may be used. Allowable tension load is 0.75 of table loads when installed with 16d box nails.
- Nails: 16d = 0.162" dia. x 3 1/2" long.



PSPN516Z (16 GAUGE ZMAX™) AT TOP PLATES  
INTERNATIONAL RESIDENTIAL CODE - 2006/2009/2012 P2603.2.1, R602.6.1 AND M1308.2  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 2308.9.8  
INTERNATIONAL PLUMBING CODE - 2006/2009 305.5 (2012-305.6)  
INTERNATIONAL MECHANICAL CODE - 2006/2009/2012 305.5

PSPN516Z (16 GAUGE ZMAX™) AT BOTTOM PLATE  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 SECTION 2308.9.8  
INTERNATIONAL PLUMBING CODE - 2006/2009 SECTION 305.5 (2012-305.6)  
INTERNATIONAL MECHANICAL CODE - 2006/2009/2012 305.5

- RPS28 (16 GAUGE) TO REINFORCE TOP PLATE, AND RPS28Z (16 GAUGE ZMAX™) TO REINFORCE SILL PLATE  
INTERNATIONAL RESIDENTIAL CODE - 2006/2009/2012 R602.6.1  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 2308.9.8
- PSPN516Z (16 GAUGE ZMAX™) AT TOP OR BOTTOM PLATES  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 P2603.2.1, R602.6.1 AND M1308.2  
INTERNATIONAL PLUMBING CODE - 2006/2009 305.5 (2012-305.6)  
INTERNATIONAL MECHANICAL CODE - 2006/2009/2012 305.5
- PSPN58Z (16 GAUGE ZMAX™) AT TOP OR BOTTOM PLATES  
INTERNATIONAL RESIDENTIAL CODE - 2006/2009/2012 P2603.2.1 AND M1308.2  
INTERNATIONAL PLUMBING CODE - 2006/2009 305.5 (2012-305.6)  
INTERNATIONAL MECHANICAL CODE - 2006/2009/2012 305.5
- NSNP - NAIL STOPPS TO PROTECT PIPING FROM DRYWALL NAILS OR SCREWS  
INTERNATIONAL RESIDENTIAL CODE - M1308.2 AND P2603.2.1  
CHAPTER 3 OF THE NATIONAL ELECTRIC CODE - "BORED HOLES FOR WIRING SHALL BE 1/2" FROM THE EDGE OF A JOIST, STUD OR RAFTER OR SHALL BE PROTECTED WITH A 1/8 GAUGE (0.625 THICK) STEEL PLATE."  
INTERNATIONAL PLUMBING CODE - 2006/2009/2012 305.5  
INTERNATIONAL MECHANICAL CODE - 2006/2009/2012 305.5
- SS1.5 (16 GAUGE) STUD SHOES REINFORCE AND PROTECT PLUMBING IN 2X  
INTERNATIONAL RESIDENTIAL CODE - 2006/2009/2012 R602.6 AND M1308.2  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 2308.9.10 & 2308.9.11  
INTERNATIONAL PLUMBING CODE - 2006/2009 305.5 (2012-305.6)  
INTERNATIONAL MECHANICAL CODE - 2006/2009/2012 305.5
- HSS2-SDS1.5 (16 GAUGE) HEAVY STUD SHOES TO REINFORCE AND PROTECT SINGLE 2X STUDS WHERE PIPE IS LOCATED. USES 12 SDS14X1 1/2 SCREWS (INCLUDED).  
INTERNATIONAL RESIDENTIAL CODE - 2006/2009/2012 R602.6 AND M1308.2  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 2308.9.10 & 2308.9.11  
INTERNATIONAL PLUMBING CODE - 2006/2009 305.5 (2012-305.6)  
INTERNATIONAL MECHANICAL CODE - 2006/2009/2012 305.5
- HSS2-3-SDS3 (16 GAUGE) HEAVY STUD SHOE FOR TRIPLE 2X STUD. USES 12 SDS14X2 SCREWS (INCLUDED).  
INTERNATIONAL RESIDENTIAL CODE - 2006/2009/2012 R602.6 AND M1308.2  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 2308.9.10 & 2308.9.11  
INTERNATIONAL PLUMBING CODE - 2006/2009 305.5 (2012-305.6)  
INTERNATIONAL MECHANICAL CODE - 2006/2009/2012 305.5
- MSTC (16 GAUGE) AT TOP PLATE  
INTERNATIONAL RESIDENTIAL CODE - 2006/2009/2012 R602.6.1  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 2308.9.8
- CTS218 (14 GAUGE) TO REINFORCE TOP-PLATE FOR BOTH COMPRESSION AND TENSION FORCES  
SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC 2005/2008 4.1.4  
INTERNATIONAL RESIDENTIAL CODE - 2006/2009/2012 R602.6.1  
INTERNATIONAL BUILDING CODE - 2006/2009/2012 2308.9.8

PLUMBING DETAIL

**1 | PSPN516Z NAIL STOPPER** TOP OR BOTTOM PLATE REPAIR PLUS PLUMBING LINE PROTECTOR

MODEL NO.	GA.	DIMENSIONS	
		W	L
NS1	16	1 1/2"	3"
NS2	16	1 1/2"	6"

1. OPTIONAL NAILS: 8d = 0.131" DIA x 3 1/2" LONG.

NS1 (NS2 SIMILAR)

**2 | PSPN516Z NAIL STOPPER** TOP OR BOTTOM PLATE REPAIR PLUS PLUMBING LINE PROTECTOR

MODEL NO.	GA.	DIMENSIONS	
		W	L
NSP1	16	1 1/2"	2 1/2"
NSP2	16	1 1/2"	5"

NSP1 (NSP2 SIMILAR)

**3 | CTS218 COMPRESSION-TENSION STRAP** TOP-PLATE REPAIR

4. FASTENERS: 10d x 1/4 = 0.148" dia. x 1 1/4" nails. SD screw #9x1 1/2 = 0.131" dia. x 1 1/2" long.

2005/2008 SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC (ANSI / AFPA SDPWS), SHEARWALL AND DIAPHRAGM BOUNDARY ELEMENT DESIGN (SECTION 4.1.4)  
2006/2009/2012 INTERNATIONAL RESIDENTIAL CODE (IRC), REPAIR TOP PLATE (SECTION R602.6.1)  
2006/2009/2012 INTERNATIONAL BUILDING CODE (IBC), REPAIR TOP PLATES (SECTION 2308.9.8)

**4 | NS & NSP NAIL STOPPER** PLUMBING AND ELECTRICAL LINE PROTECTOR

2005/2008 SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC (ANSI / AFPA SDPWS), SHEARWALL AND DIAPHRAGM BOUNDARY ELEMENT DESIGN (SECTION 4.1.4)  
2006/2009/2012 INTERNATIONAL RESIDENTIAL CODE (IRC), REPAIR TOP PLATE (SECTION R602.6.1)  
2006/2009/2012 INTERNATIONAL BUILDING CODE (IBC), REPAIR TOP PLATES (SECTION 2308.9.8)

**5A | NS NAIL STOPPER** PLUMBING AND ELECTRICAL LINE PROTECTOR

MODEL NO.	GA.	STUD SIZE	FASTENERS (TOTAL)	ALLOWABLE LOADS (DF/SP LUMBER)		
				FLOOR (1500)	ROOF (1250)	TENSION
HSS2-SDS1.5	16	2X	12-SDS14X1 1/2	1200	1200	1000
HSS2-3-SDS3	16	2-2X	12-SDS14X3	1200	1200	1000
HSS3-3-SDS3	16	3-2X	12-SDS14X3	1000	1000	970
HSS4-SDS3	16	4X	12-SDS14X3	1200	1200	1000

NOTES:  
1. NAILS OVER PIPE UP TO 2 3/8" OUTSIDE DIAMETER.  
2. SDS SCREWS PROVIDED.  
3. ROOF LOADS ARE 125% OF FLOOR LOADS UNLESS LIMITED BY OTHER CRITERIA. FLOOR LOADS MAY BE ADJUSTED FOR OTHER LOAD DURATIONS ACCORDING TO THE CODE. PROVIDE THEY DO NOT EXCEED ROOF LOADS.

**5B | NSP NAIL STOPPER** PLUMBING AND ELECTRICAL LINE PROTECTOR

NOTE:  
1. DISTANCE BETWEEN CENTER LINE OF SUPPLY LINE AND CENTER LINE OF VENT PIPE MUST BE A MINIMUM OF 5 1/2" TO PROVIDE ADEQUATE SPACE FOR THE HSS.

**6A | SS STUD SHOE** NOTCHED STUD REINFORCEMENT AND PLUMBING LINE PROTECTOR

MODEL NO.	GA.	STUD SIZE	FASTENERS (TOTAL)	ALLOWABLE LOADS (DF/SP LUMBER)		
				FLOOR (1000)	ROOF (1250)	TENSION
SS1.5	16	2X	12-10dX1 1/2	500	500	---
SS2.5	16	3X	12-10dX1 1/2	500	500	---
SS3	16	2-2X	12-10d	665	785	---
SS4.5	16	3-2X	14-10d	665	785	---

NOTES:  
1. SS (16 GAUGE) STUD SHOES REINFORCE AND PROTECT PLUMBING FOR 2X SIZES.  
2. ROOF LOADS ARE 125% OF FLOOR LOADS UNLESS LIMITED BY OTHER CRITERIA. FLOOR LOADS MAY BE ADJUSTED FOR OTHER LOAD DURATIONS ACCORDING TO THE CODE. PROVIDE THEY DO NOT EXCEED ROOF LOADS.  
3. NAILS: 10d = 0.148" DIA X 3" LONG. 10d1 1/2 = 0.148" X 1 1/2" LONG.

**6B | SS STUD SHOE** NOTCHED STUD REINFORCEMENT AND PLUMBING LINE PROTECTOR

NOTE: WHERE TOP-PLATE HOLE OR NOTCH REDUCES COMPRESSION CAPACITY BELOW ACCEPTABLE LEVEL, CONSIDER USING CTS218 (SEE DETAIL 4)

HVAC CHASE (2) ADJACENT BAYS

**7A | HSS-SDS STUD SHOE** NOTCHED STUD REINFORCEMENT AND PLUMBING LINE PROTECTOR

NOTE: WHERE TOP-PLATE HOLE OR NOTCH REDUCES COMPRESSION CAPACITY BELOW ACCEPTABLE LEVEL, CONSIDER USING CTS218 (SEE DETAIL 4)

HVAC CHASE IN EXTERIOR OR LOAD BEARING WALL

**7B | SS/HSS-SDS STUD SHOE** NOTCHED STUD REINFORCEMENT AND PLUMBING LINE PROTECTOR

MODEL NO.	GA.	DIMENSIONS	FASTENERS (TOTAL)	ALLOWABLE TENSION LOADS (DF/SP)		
		W	L	(160)	SP/HF (160)	
RPS18	16	1 1/2"	18 5/16"	12-16d	1380	1190
RPS22	16	1 1/2"	22 5/16"	12-16d	1380	1190
RPS28	16	1 1/2"	28 5/16"	12-16d	1380	1190

NOTES:  
1. RPS STRAP TIES AVAILABLE IN ZMAX FOR ADDITIONAL CORROSION PROTECTION  
2. USE THE RPS22 OR RPS28 W/ 8-16d NAILS EACH END OF STRAP. 16d BOX NAIL 5/8 X 1 3/4" MAY BE USED. ALLOWABLE TENSION LOAD IS 0.75 OF TABLE LOADS WHEN INSTALLED WITH 16d BOX NAILS  
3. TO MEET THE IRC REQUIREMENT USE THE RPS18, RPS22, OR RPS28 W/ 6-16d NAILS EACH END OF STRAP.  
4. TO MEET THE PREScriptive IRC REQUIREMENTS 16d BOX NAILS (0.135" X 3 1/2") MAY BE USED. ALLOWABLE TENSION LOAD IS 0.75 OF TABLE LOADS WHEN INSTALLED WITH 16d BOX NAILS.

**7C | CLEARANCE REQUIREMENTS**

HVAC REPAIRS - IRC TOP OR BOTTOM PLATE REPAIR (CONSECUTIVE BAYS)

**MSTC** HVAC REPAIRS - IRC TOP PLATE REPAIR (CONSECUTIVE BAYS) | **8A**

**MSTC** HVAC REPAIRS - IRC TOP AND BOTTOM PLATE REPAIR (CONSECUTIVE BAYS) | **8B**

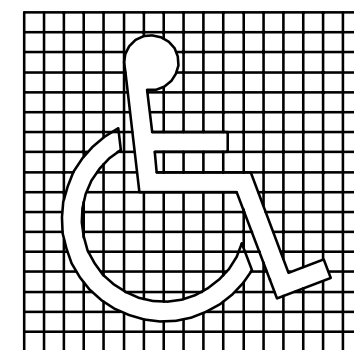
**RPS STRAP TIES** HVAC REPAIRS - IRC TOP AND BOTTOM PLATE REPAIR (SINGLE BAY) | **9A**

**RPS STRAP TIES** HVAC REPAIRS - IRC TOP AND BOTTOM PLATE REPAIR (SINGLE BAY) | **9B**

**RPS STRAP TIES** HVAC REPAIRS - IRC TOP AND BOTTOM PLATE REPAIR (SINGLE BAY) | **9C**

GENERAL NOTES AND HANDICAP STANDARDS

- ALL EXIT DOORS AND DOORS IN THE MEANS OF EGRESS SHALL BE UNOBSTRUCTED CLEAR HINGED AND IF ANY LOCKING OR LATCHING DEVICE IS TO BE PROVIDED, IT SHALL BE ONLY APPROVED HARDWARE MAY BE USED.
- THE FLOOR ON BOTH SIDERS OF A DOOR SHALL BE LEVEL AND SHALL HAVE THE SAME ELEVATION ON BOTH SIDERS OF THE DOOR FOR A DISTANCE OF 6" FROM EACH SIDE, AT LEAST EQUAL TO THE WIDTH OF THE WIDEST SINGLE DOOR.
- DOORS IN EXITS SHALL NOT BE SUBJECT TO THE USE OF A KEY OR COMPLEX MECHANISMS. (H.B. #797)
- EVERY DOOR INSIDE AND OUTSIDE EVERY BUILDING SHALL BE PROVIDED WITH HANDICAP ACCESSIBLE HARDWARE (LEVERS, PANIC HARDWARE, "U" SHAPED) DESIGN DEVICES, ETC.) AND SHALL COMPLY WITH RULE 120-3-20-24(9) OF THE GEORGIA ACCESSIBILITY CODE.
- MINIMUM CLEAR WIDTH FOR HANDICAP PASSAGE IS 32 INCHES AT A POINT, I.E., DOORWAY AND 36 INCHES CONTINUOUSLY TO COMPLY WITH 4.2.1 OF ADA 2010.
- WATER CLOSET HEIGHT SHALL BE 17 TO 19 INCHES, MEASURED FROM THE TOP OF THE TOILET SEAT TO THE FLOOR, AND LOCATION SHALL COMPLY WITH RULE 604.2 OF THE GEORGIA ACCESSIBILITY CODE.
- GRAB BARS 36" MINIMUM BEHIND THE WATER CLOSET AND 42" MINIMUM BEHIND THE WATER CLOSET ARE TO BE LOCATED SHALL COMPLY WITH RULE 604.5 OF THE GEORGIA ACCESSIBILITY CODE. PROVIDE BACK FLOORING TO SUPPORT 200 LBS.
- HANDICAP ACCESSIBLE URINALS SHALL BE STALL TYPE OR WALL HUNG WITH AN ELONGATED RIM A MAXIMUM OF 17 INCHES ABOVE THE FLOOR. A CLEAR FLOOR SPACE OF 30 INCHES BY 48 INCHES SHALL BE PROVIDED IN FRONT OF URINALS. SHALL COMPLY WITH RULE 605 OF THE GEORGIA ACCESSIBILITY CODE.
- LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF 29 INCHES FROM THE FLOOR TO THE BOTTOM OF THE APRON. PLUMBING SHALL BE ARRANGED SO THAT A KNEE CLEARANCE OF 48 INCHES DEEP, 12 INCHES CLEARANCE OF 9" AND FLOOR SPACE OF 17 INCHES SHALL COMPLY WITH RULE 606 OF THE GEORGIA ACCESSIBILITY CODE.
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED AND/OR COVERED. NO SHARP OR ABRASIVE SURFACES SHALL BE FOUND UNDER LAVATORIES. SHALL COMPLY WITH RULE 606.5 OF THE GEORGIA ACCESSIBILITY CODE.
- ONE-HAND (SINGLE-HAND) LEVER OPERATION IS REQUIRED OF FAUCETS. THE DOORWAY BEING CLEAR SPACE TO COMPLY WITH RULE 404.2.4 OPEN FOR AT LEAST TEN SECONDS SHALL COMPLY WITH RULE 606.4 OF THE GEORGIA ACCESSIBILITY CODE.
- MIRRORS ARE TO BE MOUNTED WITH THE BOTTOM EDGE NO HIGHER THAN 40 INCHES ABOVE THE FLOOR, AND AT LEAST 74 INCHES TO TOP OF THE FRAME. MIRRORS SHALL COMPLY WITH RULE 603.3 OF THE GEORGIA ACCESSIBILITY CODE.
- SHOWER STALL SIZE SHALL BE 36 INCHES BY 36 INCHES HAVING A CLEAR FLOOR SPACE OF 36 INCHES BY 48 INCHES IN WIDTH, AND SHALL COMPLY WITH RULE 608 OF THE GEORGIA ACCESSIBILITY CODE. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60 INCHES LONG THAT CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS HANDHELD WITH A MINIMUM OF 15 INCHES TO THE CENTER OF THE ROLL, SHOWER SHALL BE PROVIDED PER THE GEORGIA ACCESSIBILITY CODE.
- GRAB BARS SHALL BE PROVIDED FOR SHOWER STALLS. SHOWER STALLS SHALL BE PROVIDED WITH A GRAB BAR THAT IS CONTINUOUS WITH CENTRAL WALL GRAB BAR AND EXTENDING 18 INCHES FROM CORNER OF THE CENTRAL WALL AND BACK WALL TO COMPLY WITH RULE 608.3 OF THE GEORGIA ACCESSIBILITY CODE.
- A SEAT SHALL BE PROVIDED IN SHOWER STALLS (36" x 36") AND SHALL BE NO HIGHER THAN 17-19 INCHES TO COMPLY WITH RULE 608.4 OF THE GEORGIA ACCESSIBILITY CODE.
- TRESHOLDS IN ROLL-IN SHOWER STALLS SHALL BE 1/2 INCHES HIGH TO COMPLY WITH 608.7 OF THE GEORGIA ACCESSIBILITY CODE.
- WHEN DRINKING FOUNTAINS ARE PROVIDED ON A FLOOR THERE SHALL BE A DRINKING FOUNTAIN PROVIDED WHICH IS ACCESSIBLE TO INDIVIDUALS WHO USE A WHEELCHAIR IN ACCORDANCE WITH RULE 602 OF THE GA ACCESSIBILITY CODE, AND ON ACCESSIBLE TO THOSE WHO HAVE DIFFICULTY BENDING OR STOOPING. THIS CAN BE ACCOMMODATED BY THE USE OF A "HI-LO" FOUNTAIN WITH A PAPER CUP DISPENSER ANCHORED TO THE WALL.



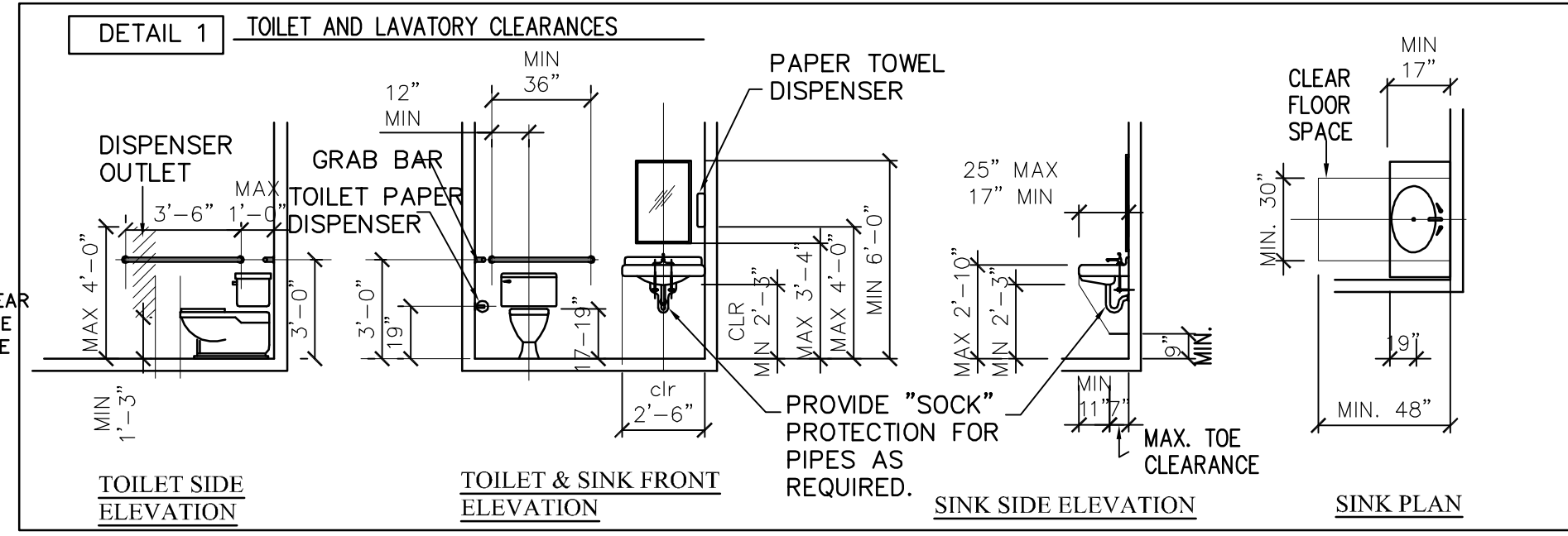
"a" PROPORTIONS



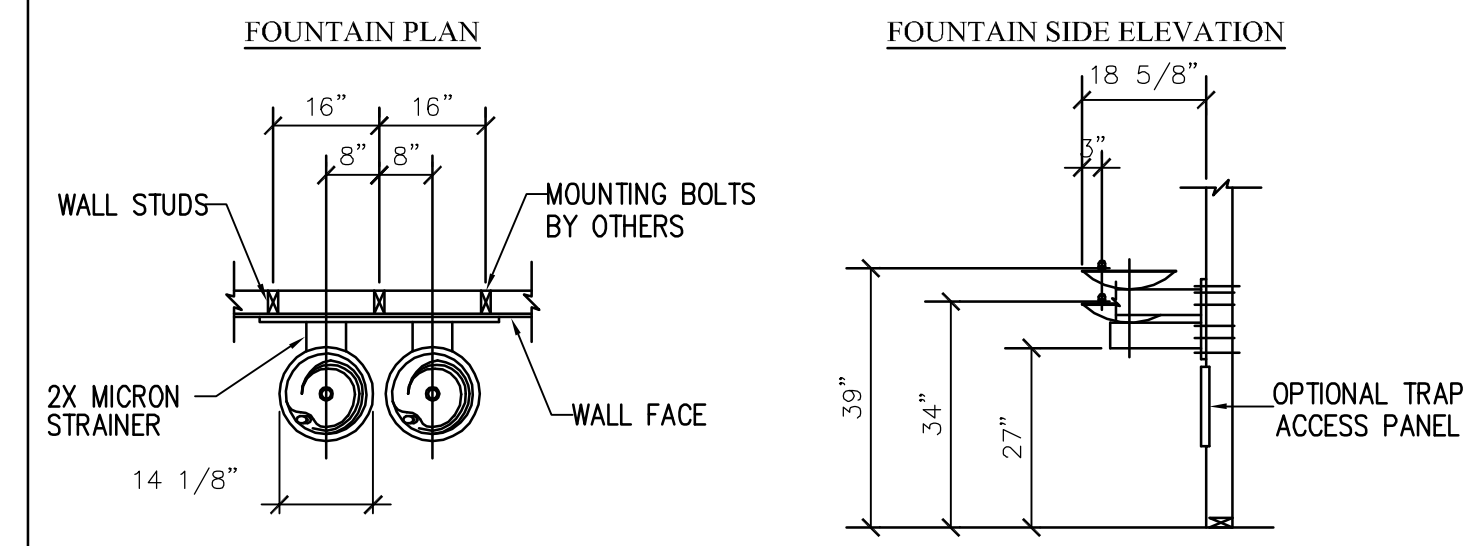
"b" DISPLAY CONDITIONS

INTERNATIONAL SYMBOL OF ACCESSIBILITY PER 120-3-20-41 (4) GEORGIA ACCESSIBILITY CODE

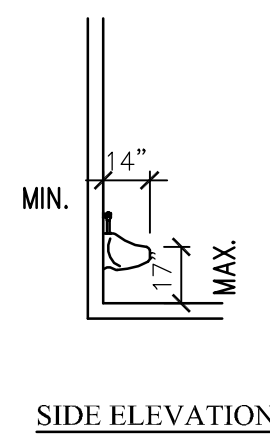
ALL DETAILS TO COMPLY WITH 2010 ADA CODE



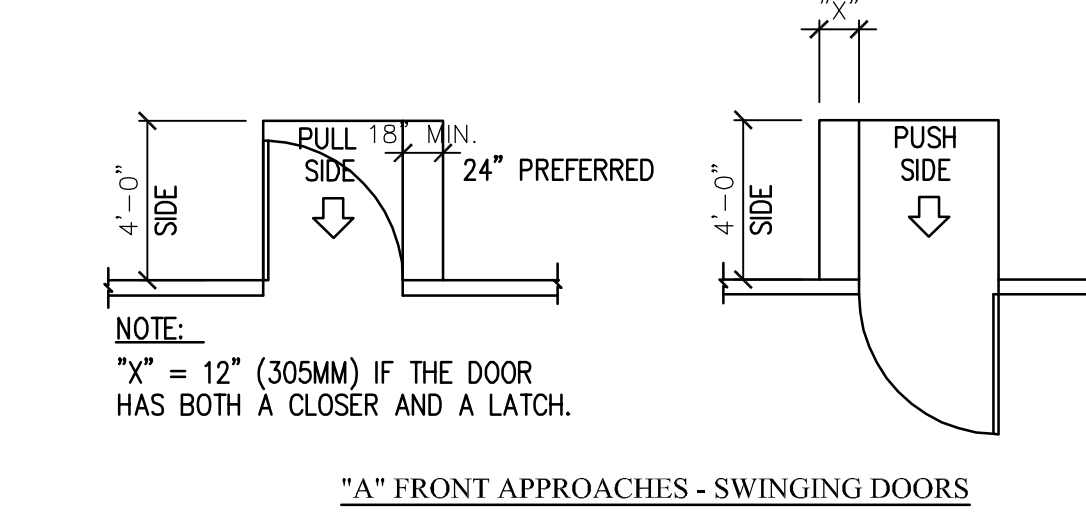
DETAIL 2 CLEARANCES AT DRINKING FOUNTAINS



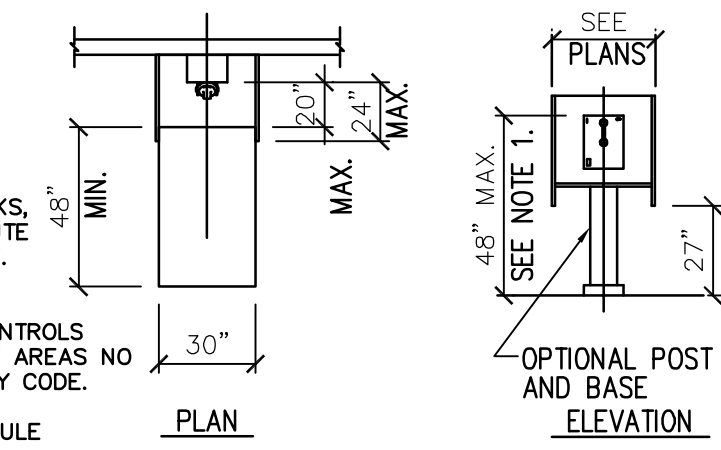
DETAIL 3 URINAL CLEARANCES



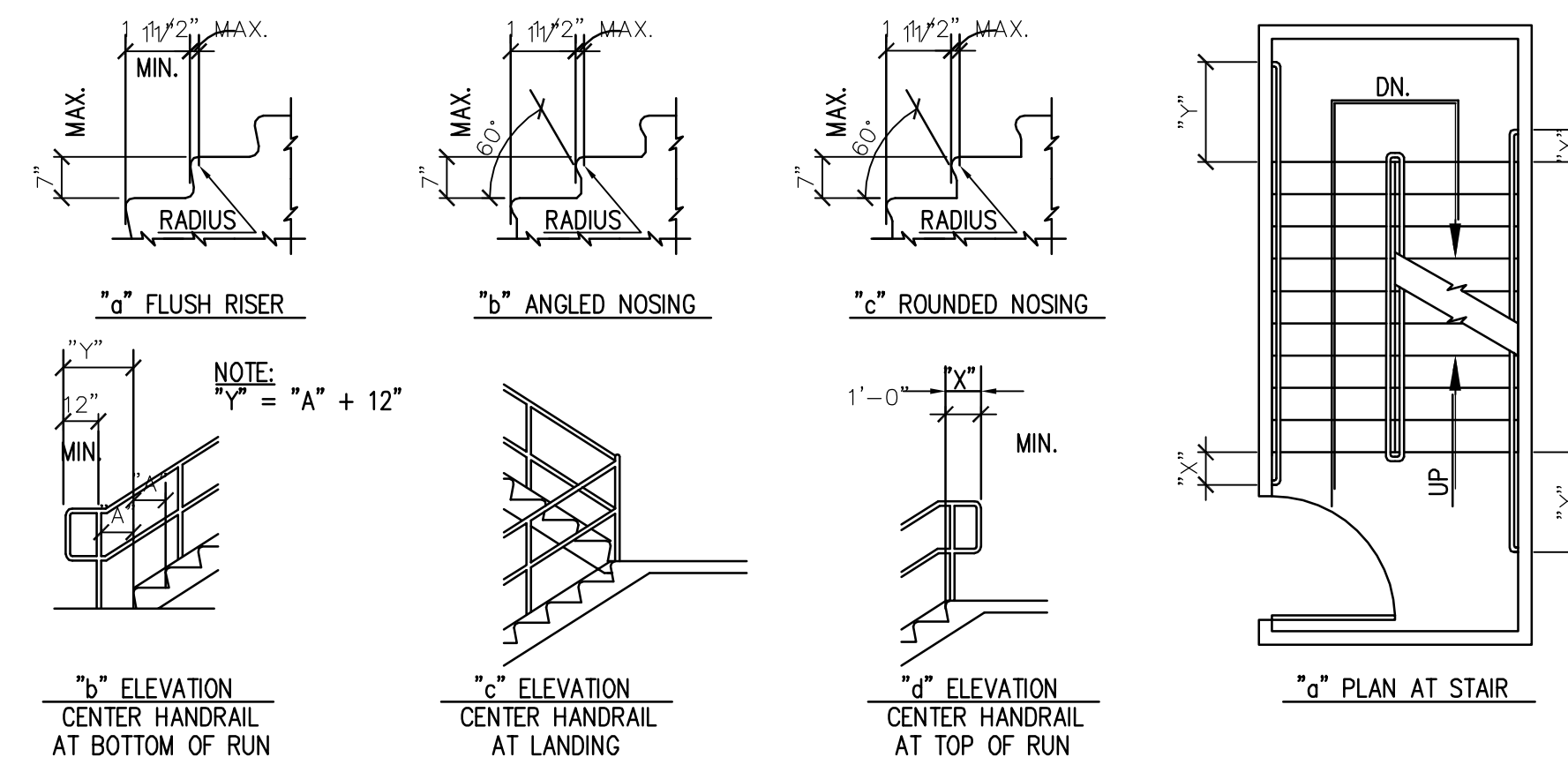
DETAIL 4 CLEARANCES AT DOORS



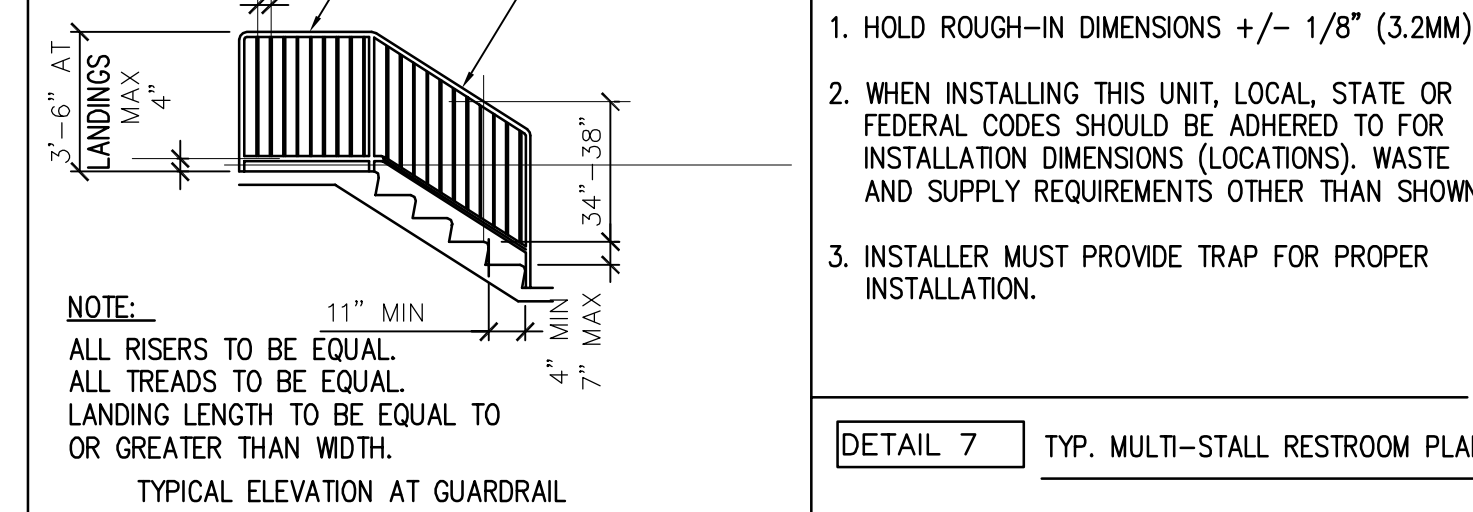
DETAIL 5 CLEARANCES AT PHONE BOOTH



DETAIL 6 STAIR DESIGN



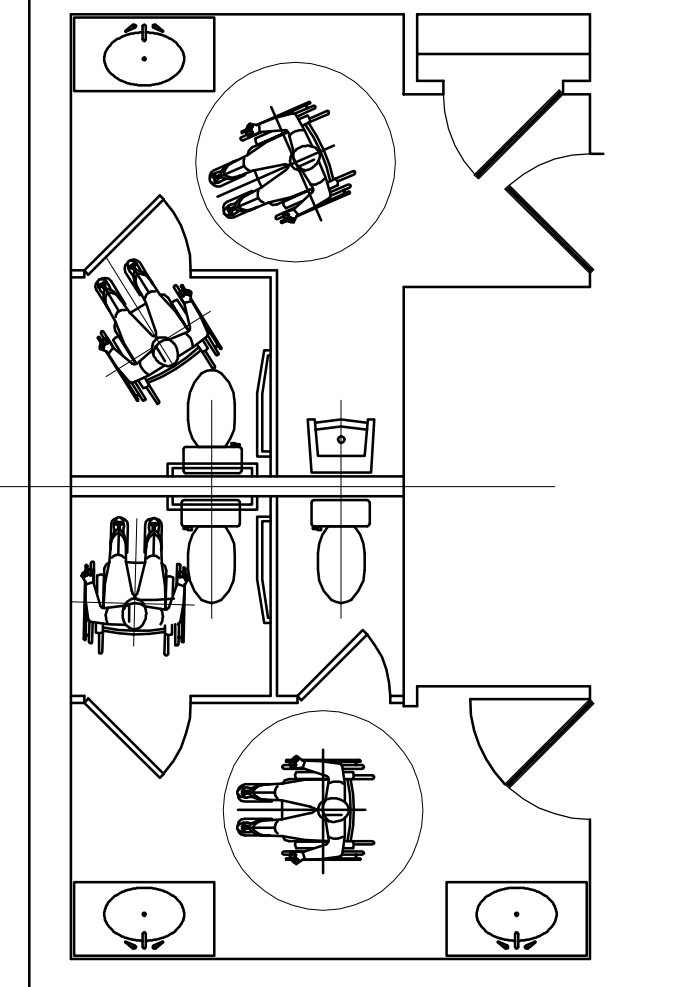
SECTION AT DRINKING FOUNTAINS



DRINKING FOUNTAIN NOTES

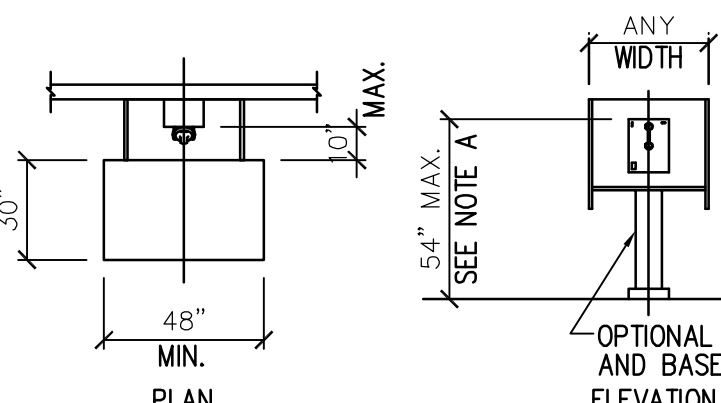
- HOLD ROUGH-IN DIMENSIONS +/- 1/8" (3.2MM)
- WHEN INSTALLING THIS UNIT, LOCAL, STATE OR FEDERAL CODES SHOULD BE ADHERED TO FOR INSTALLATION DIMENSIONS (LOCATIONS), WASTE AND SUPPLY REQUIREMENTS OTHER THAN SHOWN.
- INSTALLER MUST PROVIDE TRAP FOR PROPER INSTALLATION.

DETAIL 7 TYP. MULTI-STALL RESTROOM PLAN

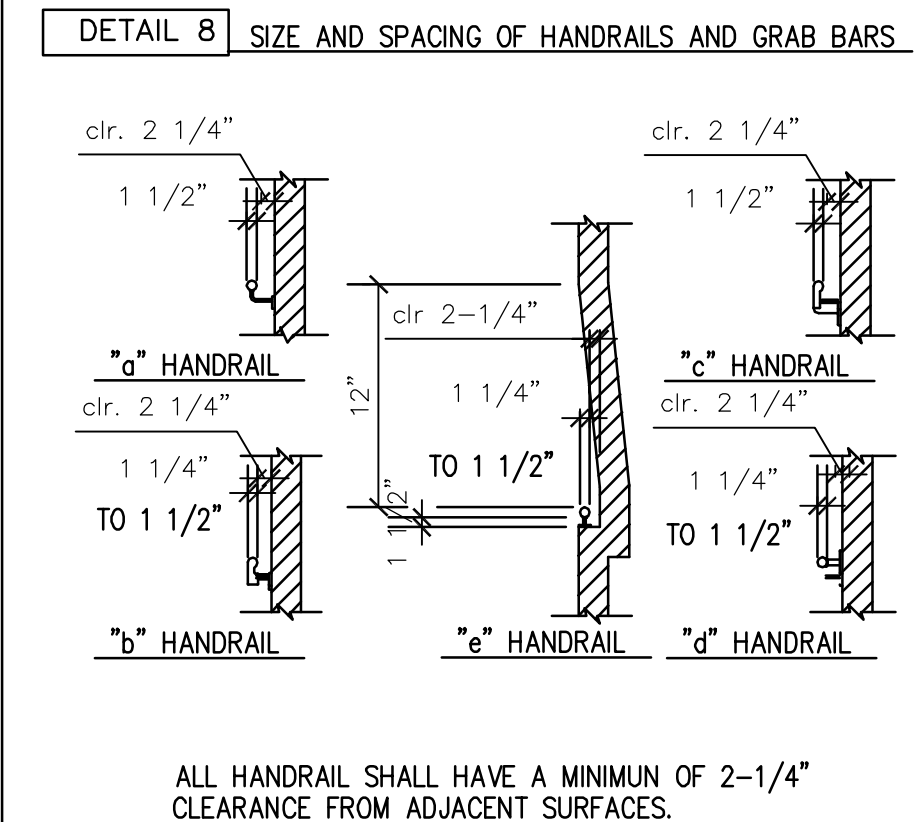


NOTES:

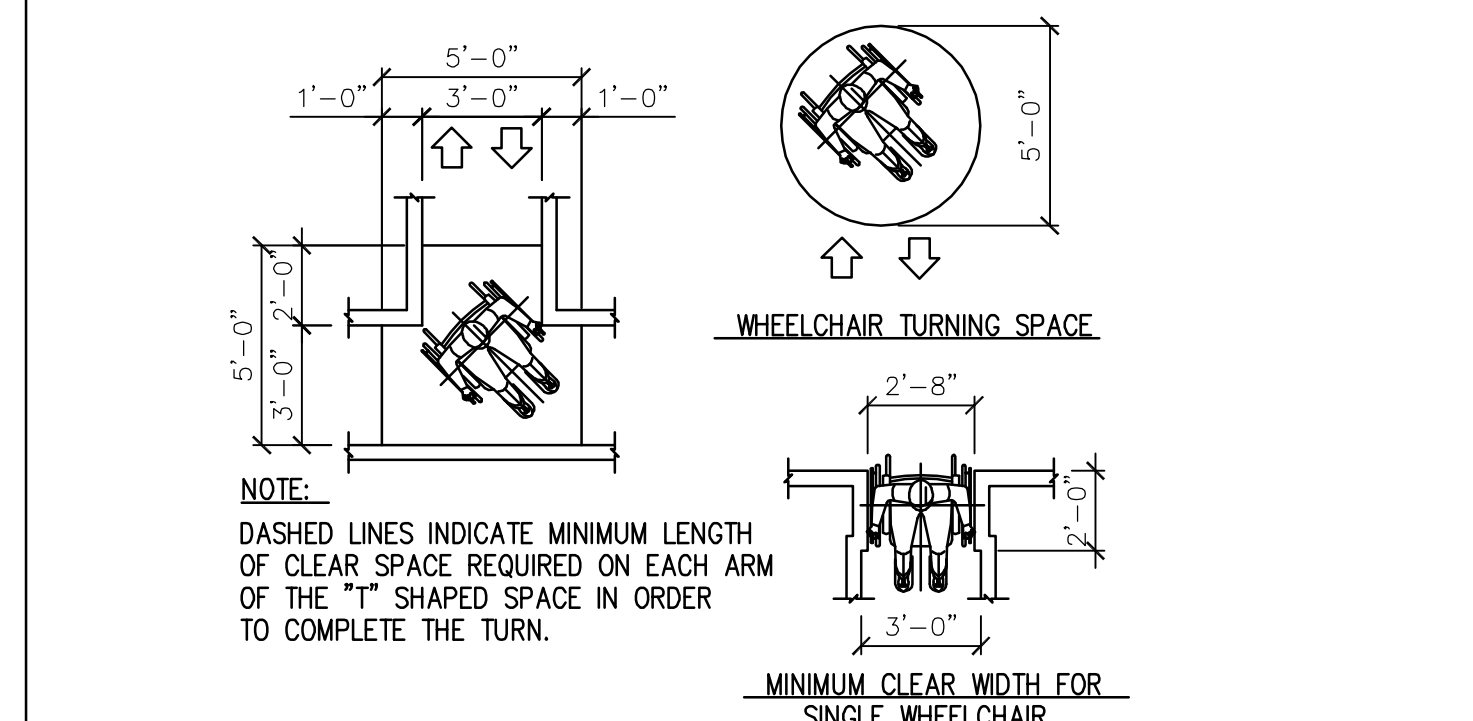
- THIS DIMENSION REPRESENTS THE HEIGHT OF THE HIGHEST OPERABLE PARTS THAT ARE ESSENTIAL TO THE BASIC OPERATION OF THE TELEPHONE.
- THE REQUIRED CLEAR FLOOR SPACE INCREASES TO 36IN. (915MM) WHEN THE ENCLOSURE EXTENDS MORE THAN 24 IN. (610MM) FROM THE FACE OF THE TELEPHONE.



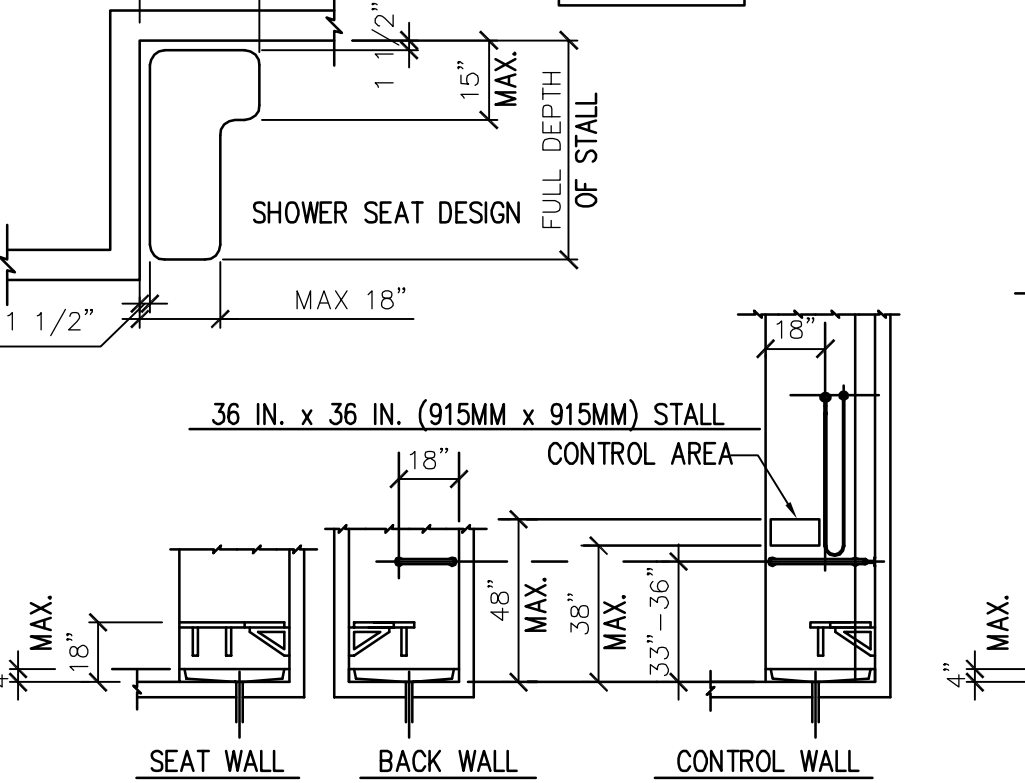
DETAIL 8 SIZE AND SPACING OF HANDRAILS AND GRAB BARS



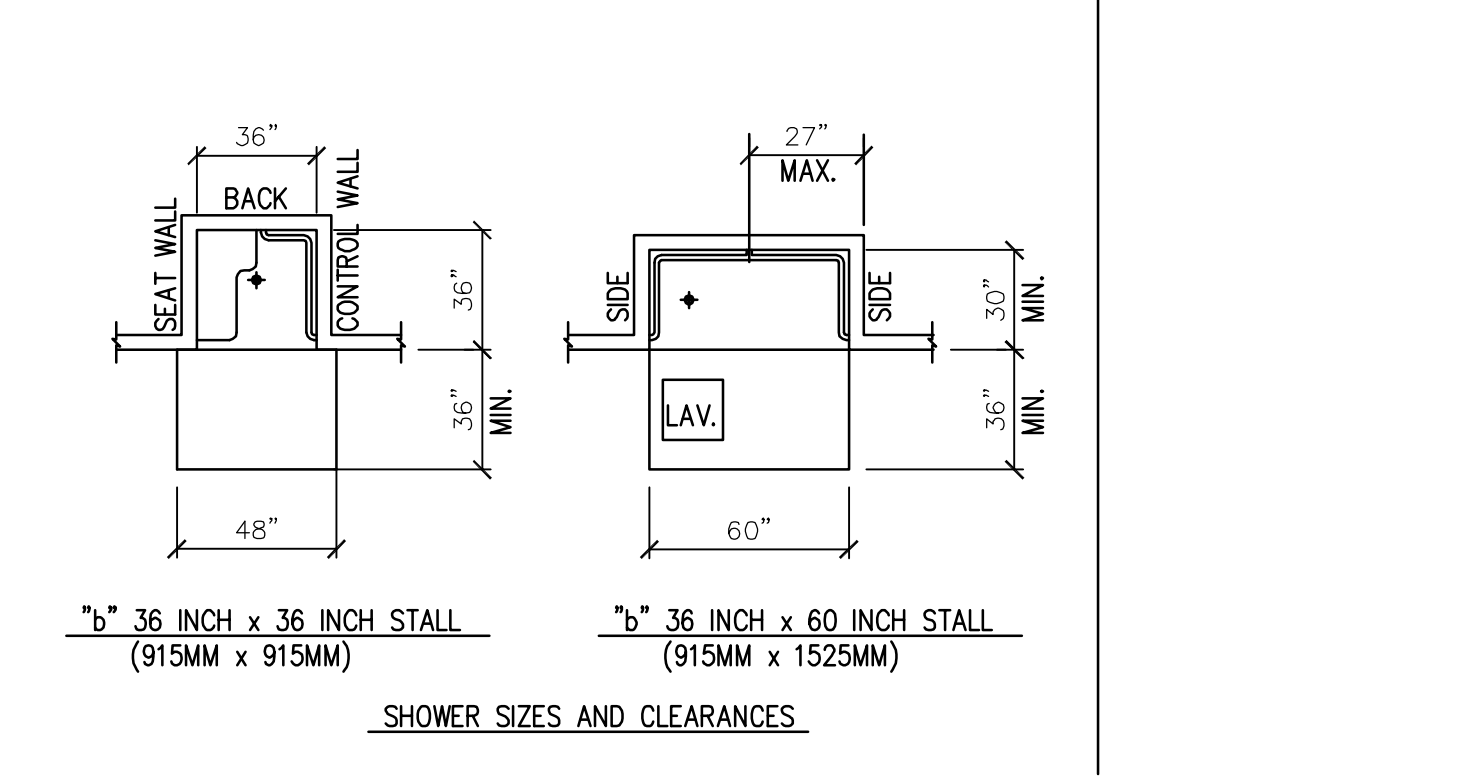
DETAIL 9 "T"-SHAPED SPACE FOR 180° TURNS



DETAIL 10 SHOWER CLEARANCES

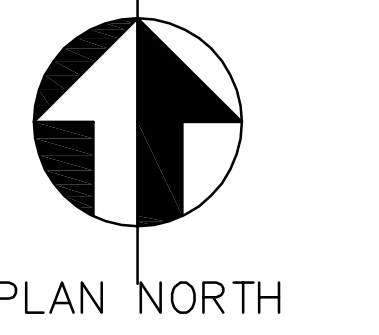


DETAIL 11 BATHTUB CLEARANCES



DESIGN TODAY

2700 SUGAR PLY RD  
WOODBRIDGE, GA  
30189  
PH: 404-954-0000  
F: 404-954-0001  
WWW.DESIGNTODAY.COM



ISSUED FOR CONSTRUCTION

LEGACY MANOR PERSONAL CARE HOME

1822 MOUNT VERNON RD, DUNWOODY, GA 30338

1. 04.10.22 ISSUE FOR CONSTRUCTION  
No: \_\_\_\_\_ Date: \_\_\_\_\_ Remarks: \_\_\_\_\_  
REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Copies as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings. DESIGN TODAY 2005

DRAWING TITLE: ADA NOTES AND DETAILS

ISSUE DATE:

DRAWN BY: DT

SHEET NUMBER:

A5.00

CHANG AE SOK	1319 VERNON NORTH DR	DUNWOODY GA 30338
PHAN MINH	5109 VERNON RIDGE DR	ATLANTA GA 30338
HAN XUESONG	5168 MOUNT VERNON WAY	DUNWOODY GA 30338
ALLEN JEFFREY	5126 MOUNT VERNON WAY	DUNWOODY GA 30338
LANDERS JUDITH J	1564 VERNON WAY CT	DUNWOODY GA 30338
MYLES REBECCA I	5116 MOUNT VERNON WAY	DUNWOODY GA 30338
SHELTON BLAYNE	5186 WELLSHIRE PL	DUNWOODY GA 30338
BAKER CHRISTOPHER A	5157 WELLSHIRE PL	DUNWOODY GA 30338
COWAN MICHAEL V	1610 WELLSHIRE LN	DUNWOODY GA 30338
ZINKAND RACHEL S	5126 VERNON SPRINGS DR	DUNWOODY GA 30338
SUMMERS JONATHAN PATRICK	5106 VERNON SPRINGS DR	ATLANTA GA 30338
ABBOTT RANDALL J	4036 GRAFTON RD	BRUNSWICK OH 44212
WIERENGA HERMAN JAN	5067 MOUNT VERNON WAY	DUNWOODY GA 30338
MIKOLAJEK AMANDA C	1471 CEDARHURST DR	DUNWOODY GA 30338
JONES MICHAEL L	5041 REDCLIFF CT	DUNWOODY GA 30338
WILSON PETRA	5138 VERNON RIDGE DR	DUNWOODY GA 30338
CONWAY SHARON J	1455 VERNON RIDGE CT	DUNWOODY GA 30338
TUCKER ADAM J	PO BOX 88026	ATLANTA GA 30356
VARRONE SUSAN AROGETI	5015 WICKFORD WAY	DUNWOODY GA 30338
GRAISER BRAD ALFRED	5163 VERNON RIDGE DR	DUNWOODY GA 30338
DILORETI MICHAEL ANTHONY	1506 THORNHILL CT	DUNWOODY GA 30338
LANDIS MICHAEL	5152 MOUNT VERNON WAY	DUNWOODY GA 30338
WHYTE DUANE EVERARD	4497 COLOMBO DR	SAN JOSE CA 95130
BOTTERS DAVID M	5125 MOUNT VERNON WAY	DUNWOODY GA 30338
HAYES DAVID G	5117 MOUNT VERNON WAY	DUNWOODY GA 30338
LYNN STEVEN M	5165 WELLSHIRE PL	DUNWOODY GA 30338
BYERS BARBARA	5070 VERNON SPRINGS DR	ATLANTA GA 30338
KANE WILLIAM K	5060 VERNON SPRINGS DR	DUNWOODY GA 30338
BOUZYK MARK	1809 WOMACK RD	DUNWOODY GA 30338
LOUZA MARCY	5074 WICKFORD WAY	DUNWOODY GA 30338
ABRAMS PHYLLIS K	1610 ARNAUD CT	DUNWOODY GA 30338
CLOITRE STEPHAN D	5110 ASHMONT CT	ATLANTA GA 30338
RANGEL JAVIER	5109 ASHMONT CT	DUNWOODY GA 30338
HOLLIDAY WILLIAM	1433 VERNON RIDGE CT	DUNWOODY GA 30338
TRAN LE TRANG T	1432 VERNON RIDGE CT	ATLANTA GA 30338
FLINK KEVIN	5076 MOUNT VERNON WAY	DUNWOODY GA 30338
SALUS ALAN	5064 MOUNT VERNON WAY	DUNWOODY GA 30338
MCNAMARA THOMAS G	1606 MOUNT VERNON FOREST CT	DUNWOODY GA 30338
POULOS CHRISTOPHER STEPHEN	1502 VERNON NORTH DR	DUNWOODY GA 30338
MCCANN MATTHEW R	1510 N VERNON DR	DUNWOODY GA 30338
DEATON MICHAEL F REVOCABLE TRUST	1749 MOUNT VERNON RD	DUNWOODY GA 30338



LEE MYONG DONG	1733 MOUNT VERNON RD	ATLANTA GA 30338
VERNON N LLC	5718 BEND CREEK RD	DUNWOODY GA 30338
BENSON MARTIN J	1359 VERNON NORTH DR	DUNWOODY GA 30338
MCDUFFLE JEFFREY A	1505 VERNON NORTH DR	ATLANTA GA 30338
BENTLEY THOMAS R	1507 THORNHILL CT	DUNWOODY GA 30338
HUDGINS JAMES A	5186 TRAILRIDGE CT	DUNWOODY GA 30338
YEH DAVID	5100 MOUNT VERNON WAY	DUNWOODY GA 30338
KHOKHLAN ANNA	1822 MOUNT VERNON RD	DUNWOODY GA 30338
MOODY GEORGE RANDALL	5148 WELLSHIRE PL	DUNWOODY GA 30338
HOLLOWAY CURTIS ROBERT	5164 WELLSHIRE PL	DUNWOODY GA 30338
DALY DONNA L	5127 WELLSHIRE PL	ATLANTA GA 30338
NAUGHTON CAROLINE N	5037 MOUNT VERNON WAY	DUNWOODY GA 30338
KIM JONG DAE	1871 MOUNT VERNON RD	DUNWOODY GA 30338
MEHDLOFF MOHSEN A	5098 VERNON RIDGE DR	DUNWOODY GA 30338
QUAGLIAROLI BIRGIT	1800 MARLBOROUGH DR	ATLANTA GA 30350
GAINES LUCAS	5130 VERNON RIDGE DR	DUNWOODY GA 30338
PENN TAYLOR H	5083 WICKFORD WAY	ATLANTA GA 30341
JAMES MATTHEW L	1504 CEDARHURST DR	DUNWOODY GA 30338
MAHONEY RYAN C	5039 WICKFORD WAY	DUNWOODY GA 30338
LANDES JOANN	1505 CEDARHURST DR	DUNWOODY GA 30338
LALLEY MARC A	1527 CEDARHURST DR	DUNWOODY GA 30338
DOOLEY ANTHONY JASON	4199 CHESTNUT RIDGE DR	ATLANTA GA 30338
KEELS MARY ANN S	1489 VERNON NORTH DR	DUNWOODY GA 30338
CRANFORD STEPHEN R	1471 VERNON NORTH DR	ATLANTA GA 30338
SARNIE PATRICIA ANN	5175 VERNON RIDGE DR	DUNWOODY GA 30338
CHEEK ERIC	1514 THORNHILL CT	DUNWOODY GA 30338
YATES ALLEN R	1519 THORNHILL CT	DUNWOODY GA 30338
VIETH ANDREW	5177 MOUNT VERNON WAY	DUNWOODY GA 30338
JOHNSTON BRADLEY ALLEN	5161 MOUNT VERNON WAY	DUNWOODY GA 30338
HAN XUESONG	5168 MOUNT VERNON WAY	DUNWOODY GA 30338
CANAWAY JASON	5132 WELLSHIRE PL NE	ATLANTA GA 30338
ADLER SAUL M	1609 WELLSHIRE LN	DUNWOODY GA 30338
ROACH SHAUN DAVID	1897 MOUNT VERNON RD	DUNWOODY GA 30338
SHERRER SHARON B	1913 MOUNT VERNON RD	DUNWOODY GA 30338
MITCHELL JUNE M	5066 WICKFORD WAY	DUNWOODY GA 30338
IRBY LINDA	5119 VERNON SPRINGS DR	DUNWOODY GA 30338
VETRANO SAVANNAH	1756 MOUNT VERNON RD	DUNWOODY GA 30338
ASHMONT HOLDINGS LLC	5217 REDFIELD CT	DUNWOODY GA 30338
ZHANG KEJUN	5103 ASHMONT CT	DUNWOODY GA 30338
CINTRON KEITH	1770 MOUNT VERNON RD	ATLANTA GA 30338

WANG CHIH	1779 MOUNT VERNON RD	DUNWOODY GA 30338
YEH JULIE LO	2310 KIMBROUGH CT	ATLANTA GA 30350
MARZEC GRZEGORZ	1805 MOUNT VERNON RD	DUNWOODY GA 30338
LOCKHART MATTHEW CARREL	1538 CEDARHURST DR	ATLANTA GA 30338
FEARNEY TIMOTHY M	1520 CEDARHURST DR	DUNWOODY GA 30338
SUTIN EMER F	5034 MOUNT VERNON WAY	DUNWOODY GA 30338
EL SHESHAI KAMAL M	5014 MOUNT VERNON WAY	DUNWOODY GA 30338
TURNER GRANT WILLIAM SR	5153 VERNON RIDGE DR	DUNWOODY GA 30338
DANLEY II CHARLES L	5143 VERNON RIDGE DR	DUNWOODY GA 30338
LIBOWSKY JOEL I	5160 MOUNT VERNON WAY	DUNWOODY GA 30338
GORDON ERIKA VIA	5136 MOUNT VERNON WAY	DUNWOODY GA 30338
MITTLEMAN JONATHAN	5141 MOUNT VERNON WAY	DUNWOODY GA 30338
FINDLING SAMANTHA A	5133 MOUNT VERNON WAY	DUNWOODY GA 30338
WESTRICK JOHN G	5181 WELLSHIRE PL	DUNWOODY GA 30338
IKEGAMI THOMAS Y	5173 WELLSHIRE PL	DUNWOODY GA 30338
REYNOLDS JOHN R	5090 VERNON SPRINGS DR	DUNWOODY GA 30338
CAMPBELL MARTHA C	5080 VERNON SPRINGS DR	DUNWOODY GA 30338
NUNNA SRIKANTH	7595 GLISTEN AVE	SANDY SPRINGS GA 30328
MORRIS MARIETTA	5082 WICKFORD WAY	DUNWOODY GA 30338
PETERSON ERIC L	5085 VERNON SPRINGS DR	ATLANTA GA 30338
PUGMIRE J SCOTT	5073 VERNON SPRINGS DR	DUNWOODY GA 30338
ASHMONT LLC	5116 ASHMONT CT	DUNWOODY GA 30338
CHRISTENSEN YEE YARUBI	5115 ASHMONT CT	DUNWOODY GA 30338
HANCOCK WILLIAM C	1438 VERNON RIDGE CT	DUNWOODY GA 30338
PLUNKETT GRAY CLYDE	1444 VERNON RIDGE CT	DUNWOODY GA 30338
ABUBAKAR USMAN	1823 MOUNT VERNON RD	DUNWOODY GA 30338
EDMONSON SUSAN	5052 MOUNT VERNON WAY	DUNWOODY GA 30338
LEVINGSTON KEVIN	5034 VERNON SPRINGS DR	DUNWOODY GA 30338
WADDELL ZACHARY J	1486 VERNON NORTH DR	DUNWOODY GA 30338
CHRISTIANSEN ERIC	1494 VERNON NORTH DR	DUNWOODY GA 30338
SCOTT PAUL J	4194 CHESTNUT RIDGE DR	DUNWOODY GA 30338
MUETHING COLIN	1335 VERNON NORTH DR	DUNWOODY GA 30338
AMERSON JOSHUA J	1351 VERNON NORTH DR	DUNWOODY GA 30338
OUELLETTE PHILIP A	1513 VERNON NORTH DR	DUNWOODY GA 30338
MILLER BRYAN D	1497 VERNON NORTH DR	DUNWOODY GA 30338
DEPAUL STEPHEN F	1501 THORNHILL CT	DUNWOODY GA 30338
WONG LUNG ALLEN SUI	5121 VERNON RIDGE DR	DUNWOODY GA 30338
JONES JENNIFER	1830 MOUNT VERNON RD	DUNWOODY GA 30338
HOWARD BARBARA B	5140 WELLSHIRE PL	DUNWOODY GA 30338
HINES DYKES DANA MICHELLE	5156 WELLSHIRE PL	DUNWOODY GA 30338
LANE DANIELLE D	5172 WELLSHIRE PL	DUNWOODY GA 30338

COPLIN ELLIOT F	5135 WELLSHIRE PL	DUNWOODY GA 30338
FREYMAN JEREMY	5047 MOUNT VERNON WAY	DUNWOODY GA 30338
BROWN RICHARD WARD	5019 MOUNT VERNON WAY	DUNWOODY GA 30338
BROEN JOHN W	5057 VERNON SPRINGS DR	DUNWOODY GA 30338
CITRANO PATRICK	5106 VERNON RIDGE DR	DUNWOODY GA 30338
HOWARD WILBUR G	5122 VERNON RIDGE DR	DUNWOODY GA 30338
KUHLMAN ROBERT WESLEY	1771 MOUNT VERNON RD	DUNWOODY GA 30338
CHARLENE M GRANBERRY TRUST	5069 WICKFORD WAY	DUNWOODY GA 30338
LINDKE ANNIE LOUISE	5049 WICKFORD WAY	DUNWOODY GA 30338
ALTERA ALLAN GREGORY	5031 WICKFORD WAY	DUNWOODY GA 30338
BRADLEY ELAINE P	1517 CEDARHURST DR	DUNWOODY GA 30338
MCCRACKEN MARY K LIVING TRUST	1535 CEDARHURST DR	DUNWOODY GA 30338
STEVENS ROBERT PAUL	1327 VERNON NORTH DR	DUNWOODY GA 30338
TAYLOR ZANE	5191 VERNON RIDGE DR	DUNWOODY GA 30338
BREDENBERG MELINDA B	1520 THORNHILL CT	DUNWOODY GA 30338
PHILIP JOHN K	5115 VERNON RIDGE DR	DUNWOODY GA 30338
PARIDY PAUL E	1563 VERNON WAY CT	ATLANTA GA 30338
JOHNSTON ROBERT A III ETAL	5169 MOUNT VERNON WAY	DUNWOODY GA 30338
SHARF BURT A	5109 MOUNT VERNON WAY	DUNWOODY GA 30338
REAGAN IAN PATRICK	1602 WELLSHIRE LN	DUNWOODY GA 30338
MOSLEY BRIAN DAVID	1617 WELLSHIRE LN	DUNWOODY GA 30338
HANSEN BRADLEY	4780 ASHFORD DUNWOODY RD # A254	DUNWOODY GA 30338
LARSON ELIZABETH	5048 VERNON SPRINGS DR	DUNWOODY GA 30338
BISSELL LEIGH S SR	5057 MOUNT VERNON WAY	DUNWOODY GA 30338
JAKIELSKI RICHARD J	1905 MOUNT VERNON RD	DUNWOODY GA 30338
HEDDEN LISA E	1466 CEDARHURST DR	DUNWOODY GA 30338
LEDNER TURNER LORI	5096 ASHMONT CT	DUNWOODY GA 30338
DOWNING JOHN T JR	5095 ASHMONT CT	ATLANTA GA 30338
SPAIN MARK J	1439 VERNON RIDGE CT	ATLANTA GA 30338
STUIT CARMEN	1787 MOUNT VERNON RD	DUNWOODY GA 30338
GREEN RUBY SMITH	1512 CEDARHURST DR	DUNWOODY GA 30338
KARIM LAYLA	5006 MOUNT VERNON WAY	DUNWOODY GA 30338
LIEBERMAN GARY	1518 VERNON NORTH DR	DUNWOODY GA 30338
MOUNT VERNON CONDOMINIUM ASSOC	2398 MOUNT VERNON RD # 150	ATLANTA GA 30338
VICTORY STEFAN	1311 VERNON NORTH DR	DUNWOODY GA 30338
WEINSHENKER DAVID	1367 VERNON NORTH DR	DUNWOODY GA 30338
FALKENSTEIN RUSSELL STEVEN	1159 DORBY PARK DR NE	ATLANTA GA 30319
NECHMAD HAGAI	1513 THORNHILL CT	ATLANTA GA 30338
BERRY MEGHAN ELIZABETH	5101 VERNON RIDGE DR	DUNWOODY GA 30338
OZIAS RACHEL M	1558 VERNON WAY CT	DUNWOODY GA 30338

KOSOBUD CHRISTOPHER	5151 MOUNT VERNON WAY	DUNWOODY GA 30338
NAIL GREGORY	5124 WELLSHIRE PL	DUNWOODY GA 30338
HART ANDREW REVOCABLE LIVING TRUST	5180 WELLSHIRE PL	DUNWOODY GA 30338
ROHRBACH MELANIE B	1618 WELLSHIRE LN	DUNWOODY GA 30338
MARINO BERNARD D	5098 VERNON SPRINGS DR	DUNWOODY GA 30338
BROOKS LESLIE M	1851 MOUNT VERNON RD	DUNWOODY GA 30338
GANT CLAUDIA E	1879 MT VERNON RD	DUNWOODY GA 30338
PRIEBE ALEXANDER JOHN	411 DOGWOOD CIR	FRIENDSWOOD TX 77546
MCLOUGHLIN MARY ANN E	5107 VERNON SPRINGS DR	DUNWOODY GA 30338
GEER CRAIG L	1748 MOUNT VERNON RD	DUNWOODY GA 30338
MEHDIOFF MOHSEN A	PO BOX 88128	ATLANTA GA 30356
SPAIN FOSTER L	5146 VERNON RIDGE DR	DUNWOODY GA 30338
RANDOLPH PAMELA B	1456 VERNON RIDGE CT	ATLANTA GA 30338
NIEDZIEJKO ANNA	5299 REOFIELD CT	DUNWOODY GA 30338
CSAN PROPERTIES LLC	1679 COURTLEIGH DR	DUNWOODY GA 30338
GREEN ROBERT L	5023 WICKFORD WAY	ATLANTA GA 30338
GROGAN ELIZABETH	5022 MOUNT VERNON WAY	ATLANTA GA 30338

# LEGACY MANOR PERSONAL CARE HOME

## PROJECT INFORMATION

### PROJECT ADDRESS:

1822 MOUNT VERNON RD , DUNWOODY, GA 30338

NEW PERSONAL CARE HOME, BUILT ON EXISTING FOUNDATION

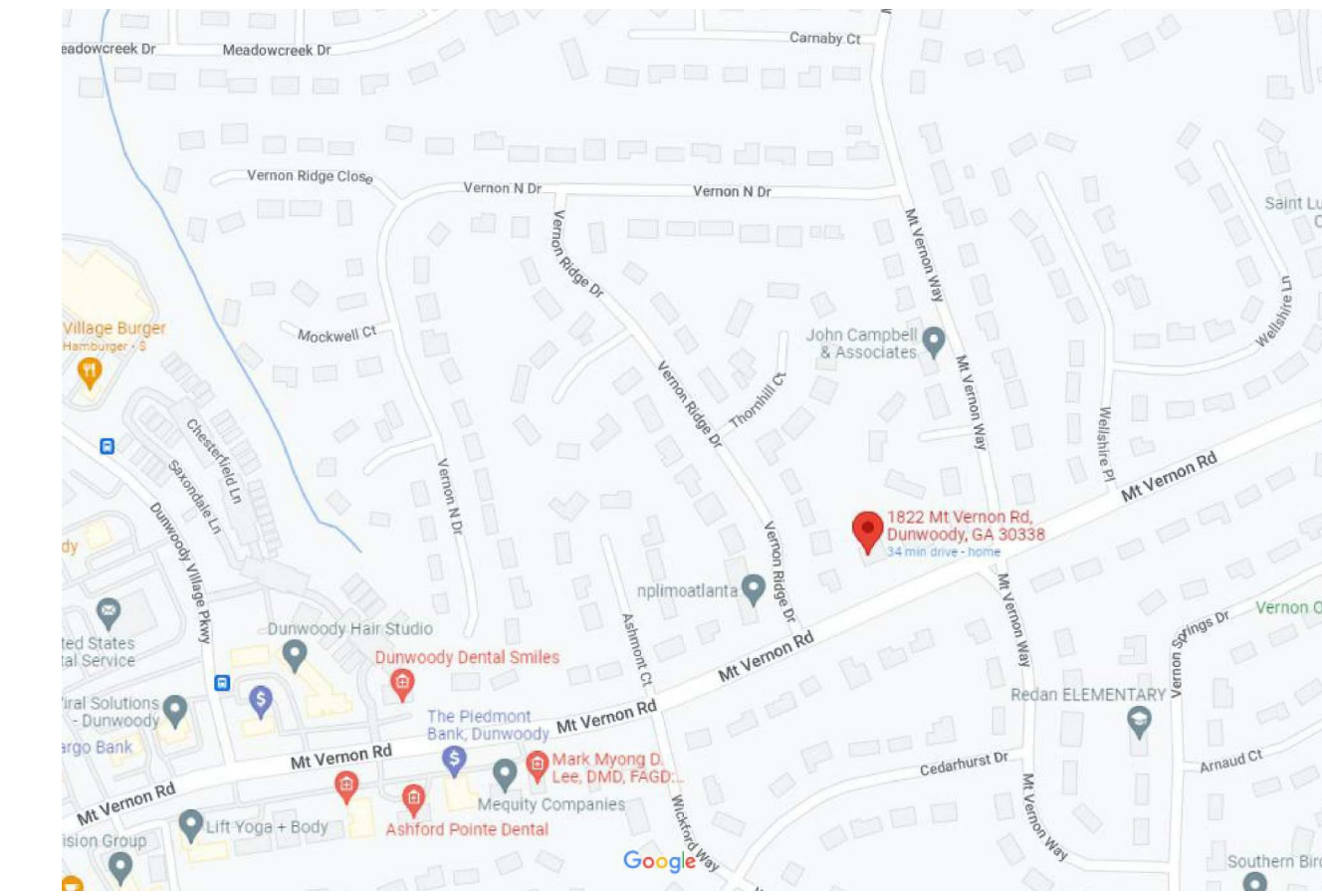
1ST FLOOR PROPOSED HEATED AREA: 5,205 S.F.  
 2ND FLOOR PROPOSED HEATED AREA: 1,690 S.F.  
 TOTAL PROPOSED HEATED AREA: 6,895 S.F.  
 FRONT COVERED PORCH: 100 S.F.  
 BACK COVERED PORCHES: 460 S.F.  
 OPEN BACK DECK: 100 S.F.  
 TOTAL AREA OF RENOVATION: 7,555 S.F.

MAX. BUILDING HEIGHT TO MID ATTIC; 24'-9"

## MAIN ELEVATION



## PROJECT MAP



## CODE COMPLIANT NOTES

Governing Building Codes: All construction shall comply with GA Code of Ordinances,

International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
 International Residential Code, 2018 Edition, with Georgia Amendments (2020)  
 International Fire Code, 2018 Edition (Contact State Fire Marshal Below)  
 International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
 International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)  
 International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
 National Electrical Code, 2020 Edition, with Georgia Amendments (2021)  
 International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022)  
 International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)  
 For information and questions regarding the Life Safety Code (NFPA 101), IFC Georgia Amendments or the Georgia Accessibility Code please contact the State Fire Marshal's Office.  
 Current Permissive Codes as Adopted by DCA:

Disaster Resilient Building Code IBC Appendix(2013)  
 Disaster Resilient Building Code IRC Appendix (2013)  
 International Property Maintenance Code, 2018 Edition, with Georgia Amendments (2021)  
 International Existing Building Code, 2018 Edition, with Georgia Amendments (2021)  
 National Green Building Standard, 2008 Edition, with Georgia Amendments (2011)

All exits to be operable from the inside without the use of a key or special knowledge.  
 Doors leading into house from garage shall be solid core, self-closing and tight fitting with gaskets and sweep (R309.1 IRC R309.2 (amended):  
 Provide 1/2 inch gypsum board applied to the garage side for separation from garage for attic and residence. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2 inch gypsum board or equivalent.  
 DCA amendments allow installation of NFPA 13D protection in garage in lieu of separation (2002).Amend .). Exterior wall penetrations by pipes, ducts or conduits shall be caulked. (R307.6)  
 Provide roof attic ventilation per R806.1.  
 Lumber shall bear an approved grading stamp (R502.1).  
 Fire blocking shall comply with (R602.8) and be maximum 10 ft. O.C., horizontal or vertical.  
 Floor-ceiling assemblies with a concealed space in excess of 1000 square feet shall have draft stops installed that divide the concealed space into approximately equal areas. Draft-stopping material shall comply with (R502.12).  
 Walls and soffits of enclosed usable space under interior stairways shall be protected on the enclosed side by minimum 5/8" gypsum board. (R311.2.2)  
 Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or when framing members are 5/8" use labeled 1/2" sag-resistant gypsum ceiling board .  
 Table R702.3.5 (d). Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. When gypsum wallboard is used as a base for tile or wall panels, water-resistant gypsum wallboard shall be used. Water-resistant gypsum board shall not be used over a vapor retarder, in areas of high humidity or on ceilings where the frame spacing exceeds 12 inches on center for 5/8 gypsum, and 16 inches on center for 5/8 gypsum. (R702.4.2)  
 Plumbing fixtures shall comply with the following conservation requirements: 24" o.c. or o Water closets-Tank type = 1.6 gal./flush. o Shower heads- 2.75 gal./minute. o Faucets- 3.0 gal./minute, provide aerator.  
 Water treatment systems shall be equipped with an automatic shutoff to prevent continuous flow when not in use.  
 Provide an expansion tank at the water heater if a backflow preventer is or will be installed on the water line or at the meter. Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type.  
 Domestic dishwashing machines connected to a disposer shall have the discharge installed as high as possible, but not lower than 2" above the flood rim of the sink.  
 Provide minimum clearances from centerline of water closets to finished wall, cabinets, and other plumbing fixtures. (R307.1 amended)  
 The clothes dryer shall be provided with a 4-inch diameter exhaust duct to the exterior and shall not exceed a total length of 25 feet, unless an engineered duct system is provided. (M1501.3) The duct shall terminate not less than 3 feet from a property line or from openings into a building.  
 Provide outside combustion air for fireplaces located in bedrooms. (R1005.1.1) Provide required support/platform, 18-inches high, for mechanical equipment, water heaters and appliances if placed in garage or room with direct access to garage. (M1307.3).  
 Provide combustion air and provide high and low vent sizes for gas fuel appliances located in confined spaces. (M1702.2, M1703.2 amended)  
 Location of smoke detectors throughout each unit shall comply with IRC 317(amended).  
 Provide IC-rated recessed light fixtures installed in insulated ceilings. (NEC 110.3(B), 41.66(B)).  
 Fixtures located in damp or wet locations shall be "listed" to be suitable for such location. (NEC 410.4) Provide GFCI protection for receptacles within 6' of all lavatories, sinks and basins. (NEC 210.8) Provide GFCI protected receptacles at all exterior, bathroom and garage locations. (NEC 210.8 & 210.52.) Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (NEC 210.52(D))

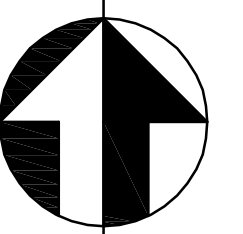
1.1. GA RESIDENTIAL CODE COMPLIANCE NOTES Rev 0  
 All circuits supplying receptacle outlets in bedrooms shall be AFCI (Arc-Fault Circuit Interrupter) protected. (NEC 210.12)  
 Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (NEC 210.52 (A))  
 Bathroom receptacle outlets shall be supplied by at least one 20-ampere branch circuit. Such circuits shall have no other outlets. (NEC 210.52 (D))  
 Provide a separate 20-ampere branch circuit to the laundry. (NEC 210.11(C), 210.23 (A), 210.50 (C), 210.52(F & G), 220.14(J))  
 Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (NEC 210.11(C)(1), 210.52(B)(1), 220.14(J))  
 The two or more 20-ampere small appliance branch circuits shall have no other outlets, except the receptacle installed solely for electric supply to an electrical clock in the kitchen/dining/breakfast areas or receptacles for supplemental equipment and lighting for gas-fired ranges, ovens, or counter-mounted units. (NEC 210.52 (B)(3))  
 Receptacle outlets for ranges and clothes dryers shall be a 3-pole with ground type. Four-wire, grounding-type flexible cords will be required for connection of ranges and clothes dryers. The bonding jumper shall not be connected between the neutral terminal and the frame of the appliance. (NEC 250.140 & 250.142)  
 Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper (200 ampere service). (NEC 250.50, 250.66)  
 Provide bonding to the water piping, gas and metal building systems. (Minimum #4 for 200-amp service). (NEC 250.50, 250.104 & 250.52) All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydro massage tub shall be bonded together using a copper bonding jumper, insulated, covered, or bare, not smaller than No. 8 solid.  
 Metal parts of listed equipment incorporating an approved system of double insulation and providing a means for grounding internal non-accessible, non-current-carrying metal parts shall not be bonded. (NEC 680.62)  
 For new windows, windows being replaced or windows affected by modifications elsewhere they shall be compliant with IRC 310:  
 Basements with habitable spaces and every sleeping room shall have at least one openable emergency escape and rescue window or exterior door opening for emergency escape and rescue. When openings are provided, they shall have a sill height of not more than 44 inches above finished floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the window or door opening from the inside.  
 Escape and rescue window openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with R310.2.  
 Minimum escape and rescue opening dimension shall be a net clear opening of 5.7 square feet, except at grade floor where the net clear opening shall be a minimum of 5 square feet. R310.1.2  
 Minimum net clear opening height shall be 24 inches." R310.1.3 Minimum net clear opening width shall be 20 inches. (DCA Amendments 2004 limit the projections to 1 inch total, such as window slide or guides, driplips and weatherstripping that are permitted in the openings.) R310.1.4  
 Emergency escape and rescue openings shall be operational from the inside of room without the use of keys or tools.  
 Provide mechanical exhaust ventilation for bathrooms, water closet rooms, laundry room, and kitchen, ducted direct to outside. (R303.2 amended, M1501 to M1505)  
 The soil load-bearing capacity shall be presumed to be 2,000 psf max, unless a Geotechnical Investigation, properly stamped by a Professional Engineer registered in the State of Georgia, substantiates the noted bearing capacity.  
 The wood floor system drawings, stamped/noted as reviewed by DPoR, must be available on site PRIOR to erecting. A floor framing drawing using the floor system nomenclature is required.  
 Pressure treated wood in contact or close proximity to metal, including fasteners.  
 With the removal of CCA treated lumber, most of the lumber available locally is treated with ACQ and CBA treatments. These treatments are more than twice as corrosive as CCA. CITY Building Inspectors will look for connectors and fasteners that are at least G185 hot dipped galvanized in contact with pressure treated wood. Foundation drainage will be in accordance with Section R-405 of IRC.  
 All foundation walls of below grade space which may be occupied shall be waterproofed using membranes to allow for future use as habitable space (i.e. finished basement). The membranes shall extend from the edge of the footing to the finished grade (R- 406.1). Note method of waterproofing to be used on basement walls.  
 Exception: Poured concrete foundation walls require dampproofing only.  
 If pre-engineered wood trusses are used in floor framing, provide truss drawings which identify member sizes to be used.  
 Wood trusses shall be designed in accordance with approved engineering practice (Sec. R-502.11). If manufactured trusses are to be used, the truss supplier's detailed drawings for the project shall be available at the job site, prior to erection If pre-engineered wood trusses are used in roof framing, provide truss drawings. Wood trusses shall be designed in accordance with . approved engineering practice (Sec. R-802.10).  
 If manufactured trusses are to be used, the truss supplier's detailed drawings for the project shall be available at the job site, prior to erection

## INDEX OF SHEETS

SHEET #	SHEET NAME	ISSUE DATE	REV. #	REV. DATE
A0.00	INFORMATION SHEET	10.20.33		
A0.01	DEMOLITION PLAN	10.20.33		
A1.00	FOUNDATION PLAN	10.20.33		
A1.01	1ST FLOOR PARTITION PLAN	10.20.33		
A1.02	2ND FLOOR PARTITION PLAN	10.20.33		
A1.03	ROOF PLAN	10.20.33		
A2.00	1ST FLOOR LIGHTING PLAN	10.20.33		
A2.01	2ND FLOOR LIGHTING PLAN	10.20.33		
A3.00	EXTERIOR ELEVATIONS	10.20.33		
A3.01	EXTERIOR ELEVATIONS	10.20.33		
A4.00	WALL SECTION, FOOTING, STAIR, ETC DETAILS	10.20.33		
A4.01	FRAMING DETAILS	10.20.33		
A5.00	ADA NOTES AND DETAILS	10.20.33		

DESIGN TODAY

2700 SUGAR PINE RD  
 WOODBRIDGE, GA  
 30097  
 PH: 404-954-1000  
 D: 404-954-1000  
 WWW.DESIGN-TODAY.COM



PLAN NORTH

ISSUED FOR CONSTRUCTION

LEGACY MANOR PERSONAL CARE HOME

1822 MOUNT VERNON RD, DUNWOODY, GA 30338

1.	04.10.22	ISSUE FOR DEMOLITION PERMIT
No:	Date:	Remarks:
REVISIONS:		



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Copies as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
 DESIGN TODAY 2005

DRAWING TITLE:  
 INFORMATION SHEET

ISSUE DATE:

DRAWN BY:  
 DT

SHEET NUMBER:

A0.00



UNITED STATES POSTAL SERVICE®

Name and Address of Sender  
**Anna Khorhlan**  
**1822 Mount Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service

Adult Signature Required  Priority Mail Express  
 Adult Signature Restricted Delivery  Registered Mail  
 Certified Mail  Return Receipt for Merchandise  
 Certified Mail Restricted Delivery  Signature Confirmation  
 Collect on Delivery (COD)  Signature Confirmation Restricted Delivery  
 Insured Mail  Signature Confirmation Restricted Delivery  
 Priority Mail

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	<b>Cambell Martha C</b> 5080 Vernon Springs Dr. Dunwoody GA 30338		Handling Charge - if Registered and over \$50,000 in value											
2.	<b>KUMMA SRIKANTH</b> 7945 GILSTER AVE Sandy Springs GA 30328													
3.	<b>MORRIS MARIETHA</b> 5088 WICKFORD WAY Dunwoody GA 30338													
4.	<b>PETERSON ERIC L</b> 5085 VERNON SPRINGS DR. Atlanta GA 30338													
5.	<b>PUGMIRE J SCOTT</b> 5073 VERNON SPRINGS DR. Dunwoody GA 30338													
6.	<b>Ashmont LLC</b> 5116 ASHMONT CT Dunwoody GA 30338													
7.	<b>CHRISTENSEN YER YARAH</b> 5115 ASHMONT CT Dunwoody GA 30338													
8.	<b>HAWCOCK WILLIAM C</b> 1438 VERNON RIDGE CT Dunwoody GA 30338													

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: \_\_\_\_\_

Postmaster, Per (Name of receiving employee): \_\_\_\_\_

PS Form 3877, April 2015 (Page 1 of 2)

PSN 7530-02-000-9098

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).



U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SEP 13 '22  
**\$4.00**  
 AMOUNT  
 R2305H126962

-11

Mail



Anna Klockhlan Rd  
1899 Mount Vernon Rd  
Dunwoody GA 30338

U.S. POSTAGE PAID  
LOGANVILLE, GA  
30052  
SEP 13 2015  
AMOUNT  
\$4.00  
R2305H126962  
- 11

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Check type of mail or service		Priority Mail Express	Registered Mail	Return Receipt for Merchandise	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
		<input type="checkbox"/> Adult Signature Required	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Certified Mail	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Collect on Delivery (COD)	<input type="checkbox"/> Insured Mail	<input type="checkbox"/> Priority Mail	
1.	Ouellette Philip A 1513 Vernon North Dr. Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
2.	Miller Bryan D 1497 Vernon North Dr Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
3.	Depaul Stephen F 1501 Thornhill Ct Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
4.	Wong June Allen Sue 5121D Vernda Ridge Dr. Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5.	Jones Jennifer 1830 Mount Vernon Rd Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
6.	Hovard Barbara B 5410 WellsRise Pl Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7.	Hines Dykes Dana Michelle 5156 WebbShine Pl Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8.	Carne Danielle D 5179 WellShine Pl Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Total Number of Pieces Listed by Sender: \_\_\_\_\_

Total Number of Pieces Received at Post Office: \_\_\_\_\_

Postmaster, Per (Name of receiving employee)

complete link

PS Form 3877, April 2015 (Page 1 of 2)  
PSN 7530-02-000-9098

Privacy Notice: For more information on USPS privacy policies, visit usps.com/privacypolicy.



Name and Address of Sender  
**Anna Klockman**  
**1822 Mount Vernon Rd**  
**Dunwoody GA 30338**

USPS Tracking/Article Number	Check type of mail or service	Address (Name, Street, City, State, & ZIP Code™)	Postage	Service Fee	Charge	If Registered	Value	COD	Special Handling							
									Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling	
1.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Blumkef Gray Clyde 1444 Vernon Ridge Ct Dunwoody GA 30338														
2.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Abubakar Usman 1822 Mount Vernon Rd Dunwoody GA 30338														
3.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Edmonson Susan 5052 Mount Vernon Way Dunwoody GA 30338														
4.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Livingston Kevin 5034 Vernon Springs Dr. Dunwoody GA 30338														
5.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Kristiansen Eric 1444 Vernon North Dr. Dunwoody GA 30338														
6.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Scott Paul J 4149 Chestnut Ridge Dr Dunwoody GA 30338														
7.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Methiney Colby 1335 Vernon Ridge Dr Dunwoody GA 30338														
8.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Amerson Joshua J 1351 Vernon North Dr. Dunwoody GA 30338														

Total Number of Pieces Listed by Sender: 8  
 Total Number of Pieces Received at Post Office: 8

PS Form 3877, April 2015 (Page 1 of 2)  
 PSN 7530-02-000-9098

Postmaster, Per (Name of receiving employee)  
 Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).

U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 SEP 13 2015  
 AMOUNT  
**\$4.00**  
 R2305H126962

0000

11





Name and Address of Sender  
**Anna Klochlar**  
**1822 Mount Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service

Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Insured Mail  
 Priority Mail

Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation  
 Signature Confirmation Restricted Delivery

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Post	Delivery Fee	Surcharge	If Registered	Value	Sender if COD	Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
								Fee	Fee	Fee	Fee	Fee	Fee	Fee
1.	Lynke Annie Louise. 504 Yickerson way Dunwoody GA 30338.													
2.	ALTERA ATLAS GREGORY 5031 Wickford way Dunwoody GA 30338													
3.	Bradley Elaine P 1517 Cedarhurst Dr. Dunwoody GA 30338													
4.	STEVENS Robert Paul 1327 Vernon North Dr. Dunwoody GA 30338													
5.	McPACKEEN Mary K Christy 153 S Cedarhurst Dr. Dunwoody GA 30338													
6.	Taylor Lane 5194 Vernon Ridge Dr. Dunwoody GA 30338													
7.	Brenenberg Melinda B 1510 Thornhill Ct Dunwoody GA 30338													
8.	Philip John & 5115 Vernon Ridge Dr Dunwoody GA 30338													
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office												

Postmaster, Per (Name of receiving employee)

U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 SEP 13 2015  
 AMOUNT  
**\$4.00**  
 R2305H126962

From Tracking Service to Registered Mail

0000

-11



Name and Address of Sender  
**Anna Kluchlar**  
**1822 Mount Vernon Rd**  
**Dunwoody GA 30338**

USPS Tracking/Article Number	Check type of mail or service	Addressee (Name, Street, City, State, & ZIP Code™)	Total Number of Pieces	
			Listed by Sender	Received at Post Office
	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail			
	<input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery			

Postmaster, Per (Name of receiving employee)	Postage	Registration	Value	Sender ID	Fee	Fee	Fee	Fee	Fee	SH
Complete In Ink										
			Handling Charge - if Registered and over \$50,000 in value							
					Adult Signature Required					
					Adult Signature Restricted Delivery					
					Restricted Delivery					
					Return Receipt					
					Signature Confirmation					
					Signature Confirmation Restricted Delivery					
					Special Handling					

U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SEP 13 2015  
 AMOUNT  
**\$4.00**  
 R2305H126952



Name and address of Sender  
**Anna Klockler**  
**1822 Mount Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service  
 Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Insured Mail  
 Priority Mail  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation  
 Signature Confirmation Restricted Delivery



U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 SEP 22  
 SET AMOUNT  
**\$4.00**  
 R2305H126962

- 11

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Weight (lb)	Volume (Service) Fee	Charge	If Registered	Value	Sender If COD	Fee	Fee	Fee	Fee	Fee	SH Fee
1.	Weirshenker David 1367 Vernon North Dr Dunwoody GA 30338												
2.	Falkenstein Russell Steven 1159 Dorch Park Dr. NE Atlanta GA 30319												
3.	Veckman Hagar 1513 Tappanhill Ct Atlanta GA 30338												
4.	Berry Meghan Elizabeth 5161 Vernon Ridge Dr. Dunwoody GA 30338												
5.	Ozias Rachel W 1558 Vernon Way Ct Dunwoody GA 30338												
6.	Maringo Benjamin A 5098 Vernon Springs Dr Dunwoody GA 30338												
7.	Strooks Leslie M 1851 Mount Vernon Rd Dunwoody GA 30338												
8.	Ram Dolph Pamela B 1456 Vernon Ridge Ct Atlanta GA 30338												
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving organization)										

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required  
 Adult Signature Restricted Delivery  
 Restricted Delivery  
 Return Receipt  
 Signature Confirmation  
 Signature Confirmation Restricted Delivery  
 Special Handling

PS Form 3877, April 2015 (Page 1 of 2)  
 PSN 7530-02-000-9098

Complete in Ink  
 Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).



Name and Address of Sender  
**Anna Knochlar**  
**1822 Mount Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service

Adult Signature Required

Adult Signature Restricted Delivery

Certified Mail

Certified Mail Restricted Delivery

Collect on Delivery (COD)

Insured Mail

Priority Mail

Priority Mail Express

Registered Mail

Return Receipt for Merchandise

Signature Confirmation

Signature Confirmation Restricted Delivery

Address (Name, Street, City, State, & ZIP Code™)

USPS Tracking/Article Number	Address (Name, Street, City, State, & ZIP Code™)	Post
1.	<b>Downing John T JR</b> <b>505 Ashmont Ct</b> <b>Atlanta GA 30338</b>	
2.	<b>Spair Mark</b> <b>1439 Vernon Ridge Ct</b> <b>Atlanta GA 30338</b>	
3.	<b>Stuit Carpenter</b> <b>1787 Mount Vernon Rd</b> <b>Dunwoody GA 30338</b>	
4.	<b>Greer Ruby Smith</b> <b>1512 Cedarhurst Dr.</b> <b>Dunwoody GA 30338</b>	
5.	<b>Karin Layla</b> <b>5006 Mount Vernon Way</b> <b>Dunwoody GA 30338</b>	
6.	<b>Lieberman Gray</b> <b>1518 Vernon North Dr.</b> <b>Dunwoody GA 30338</b>	
7.	<b>Mount Vernon Condominium Assoc.</b> <b>2398 Mount Vernon Rd # 500</b> <b>Atlanta GA 30338</b>	
8.	<b>Vigorely Stefan</b> <b>1311 Vernon North Dr.</b> <b>Dunwoody GA 30338</b>	

Fee	Value	Sender if COD	Fee	Fee	Fee	Fee	Fee	Fee	Fee
	Handling Charge - if Registered and over \$50,000 in value								
			Adult Signature Required						
			Adult Signature Restricted Delivery						
			Restricted Delivery						
			Return Receipt						
			Signature Confirmation						
			Signature Confirmation Restricted Delivery						
			Special Handling						

Total Number of Pieces Listed by Sender: \_\_\_\_\_ Total Number of Pieces Received at Post Office: \_\_\_\_\_

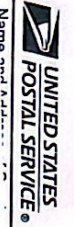
Postmaster, Per (Name of recipient/employee): \_\_\_\_\_

Complete in Ink

U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SE 1322  
 AMOUNT  
**\$4.00**  
 R2305H126962

UNITED STATES POSTAL SERVICE  
 0000

Mail



UNITED STATES POSTAL SERVICE®

Name and Address of Sender  
**Anna Knochlar**  
**1822 Mount Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service  
 Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Collect on Delivery (COD)  
 Insured Mail  
 Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Address (Name, Street, City, State, & ZIP Code™)

1.	2.	3.	4.	5.	6.	7.	8.	Service Fee	Charge	If Registered	Value	Sender if COD	Fee	Fee	Fee	Fee	Fee	SH Fee	
<b>Mail Gregory PL</b> <b>5124 WELLSHIRE PL</b> <b>DUNWOODY GA 30338</b>	<b>Hart Andrew Reynolds Living Trust</b> <b>5180 WELLSHIRE PL</b> <b>DUNWOODY GA 30338</b>	<b>Robb Rach Melanie B</b> <b>1618 WELLSHIRE LN</b> <b>DUNWOODY GA 30338</b>	<b>Green Robert L</b> <b>5023 WICKLAWN</b> <b>ATLANTA GA 30338</b>	<b>Bissell Leigh S SR</b> <b>5057 Mount Vernon Way</b> <b>Dunwoody GA 30338</b>	<b>Jakiolski Richard J</b> <b>1805 Mount Vernon Rd</b> <b>Dunwoody GA 30338</b>	<b>HEDDER LISA E</b> <b>1166 GARDNER HURST DR.</b> <b>Dunwoody GA 30338</b>	<b>Ludger Turner for</b> <b>5096 Ashmount Ct</b> <b>Dunwoody GA 30338</b>												
Handling Charge - if Registered and over \$50,000 in value																			
													Adult Signature Required						
													Adult Signature Restricted Delivery						
													Restricted Delivery						
													Return Receipt						
													Signature Confirmation						
													Signature Confirmation Restricted Delivery						
													Special Handling						

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

PS Form 3877, April 2015 (Page 1 of 2)

PSN 7530-02-000-9098

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).

U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SEP 13, 2012  
 AMOUNT  
**\$4.00**  
 R2305H126962

-11

Mail



Name and Address of Sender  
**Anna Klopfhan**  
 1822 Mount Vernon Rd  
 Dunwoody GA 30338

Check type of mail or service

<input type="checkbox"/> Adult Signature Required	<input type="checkbox"/> Priority Mail Express
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail
<input type="checkbox"/> Certified Mail	<input type="checkbox"/> Return Receipt for Merchandise
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation
<input type="checkbox"/> Collect on Delivery (COD)	<input type="checkbox"/> Signature Confirmation Restricted Delivery
<input type="checkbox"/> Insured Mail	
<input type="checkbox"/> Priority Mail	

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	Fee	Fee	Fee	Fee	Fee	Fee	Fee
1.	<b>Paridy Paul E</b> 1563 Vernon Way Ct Atlanta GA 30338								
2.	<b>Johnston Robert A III ETAL</b> 5169 Mount Vernon Way Dunwoody GA 30338								
3.	<b>Sharf Burt A</b> 5169 Mount Vernon Way Dunwoody GA 30338								
4.	<b>Reagan Jar Parry</b> 1608 Wellshire Ln Dunwoody GA 30338								
5.	<b>Mesley Brian David</b> 1611 Wellshire Ln Dunwoody GA 30338								
6.	<b>Larsen Elizabeth</b> 5048 Vernon Springs Dr. Dunwoody GA 30338								
7.	<b>Hansen Bradley</b> 4720 Ashford Dunwoody Rd #A 254 Dunwoody GA 30338								
8.	<b>Kosobud Christopher</b> 5151 Mount Vernon Way Dunwoody GA 30338								

Total Number of Pieces Listed by Sender: \_\_\_\_\_  
 Total Number of Pieces Received at Post Office: \_\_\_\_\_

Postmaster, Per (Name of receiving employee)

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).



U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SEP 13 '22  
 AMOUNT  
**\$4.00**  
 R2305H126962

-11

all



Name and Address of Sender  
**Anna Klockman**  
**1822 Mount Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service

Adult Signature Required  Priority Mail Express

Adult Signature Restricted Delivery  Registered Mail

Certified Mail  Return Receipt for Merchandise

Certified Mail Restricted Delivery  Signature Confirmation

Collect on Delivery (COD)  Signature Confirmation Restricted Delivery

Insured Mail  Signature Confirmation Restricted Delivery

Priority Mail

Addressee (Name, Street, City, State, & ZIP Code™)

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Service Fee	Charge	If Registered	Value	Use Sender if COD	ASR Fee	ADRV Fee	RU Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	<b>SPAIN Foster L</b> <b>5166 Vernon Ridge Dr</b> <b>Dunwoody GA 30338</b>												
2.	<b>Chane AE SPS</b> <b>1319 Vernon Ridge Dr</b> <b>Dunwoody GA 30338</b>												
3.	<b>Pham Minh</b> <b>5109 Vernon Ridge Dr</b> <b>Atlanta GA 30338</b>												
4.	<b>HAN XUESONG</b> <b>5108 Mount Vernon Way</b> <b>Dunwoody GA 30338</b>												
5.	<b>Aller Jeffrey</b> <b>5106 Mount Vernon Way</b> <b>Dunwoody GA 30338</b>												
6.	<b>Landers Judith J</b> <b>1564 Vernon Way Ct</b> <b>Dunwoody GA 30338</b>												
7.	<b>Myler Rebecca J</b> <b>5116 Mount Vernon Way</b> <b>Dunwoody GA 30338</b>												
8.	<b>Shelton Blaine</b> <b>5106 Westshire Pl</b> <b>Dunwoody GA 30338</b>												
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)											



U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SEP 13, 2011  
 AMOUNT  
**\$4.00**  
 R2305H128962

- 11



ble Mail



UNITED STATES POSTAL SERVICE®

Name and Address of Sender  
**Anna Khochlar**  
**1872 Mount Vernon Rd**  
**Dunwoody GA 30338**

USPS Tracking/Article Number

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collected on Delivery (COD)
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

	Postage	Handling Charge - if Registered and over \$50,000 in value	COD	Fee	Fee	Fee	Fee	Fee	Fee	Fee
1.										
San Properties LLC 1699 Lavette Rd Dr. Dunwoody GA 30338										
2.										
Nieszcieiko Anna 5994 Redfield Ct Dunwoody GA 30338										
3.										
Grocan Elizabeth SP 28 Mount Vernon Way Atlanta GA 30338										
4.										
Grant Claudia E 1879 Mt Vernon Rd Dunwoody GA 30338										
5.										
Priebe Alexander John 444 Dogwood Cir Friendswood TX 77546										
6.										
McLoughlin Mary Ann F 51070 Vernon Springs Dr. Dunwoody GA 30338										
7.										
Geer Craig L 1748 Mount Vernon Rd Dunwoody GA 30338										
8.										
Mehdian Mohsen A P.O. Box 38128 Atlanta GA 30356										

Total Number of Pieces Listed by Sender:   
 Total Number of Pieces Received at Post Office:   
 Postmaster, Per (Name of receiving employee)

PS Form 3877, April 2015 (Page 1 of 2)  
PSN 7530-02-000-9098

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).



U.S. POSTAGE PAID  
LOGANVILLE, GA  
30242  
SEMI-ANNUAL  
\$4.00  
R2305H128962

-11





Anna Knochlar  
1892 Mount Vernon Rd  
Dunwoody GA 30338

Name and Address of Sender

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collected on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Address (Name, Street, City, State, & ZIP Code™)

Postage

U.S. POSTAGE PAID  
LOGANVILLE, GA  
SEP 13 2015  
AMOUNT  
**\$4.00**  
R2305H126962

llall

11

	Postage	Service Fee	Change	If Registered	Value	Sender if COD	Fee	Fee	Fee	Fee	Fee	SH	
1.	Lockhart Matthew David 1538 Caparrhurst Dr. Atlanta GA 30338		Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required		Adult Signature Restricted Delivery		Restricted Delivery		
2.	Harper Greg 1805 Mount Vernon Rd Dunwoody GA 30338						Return Receipt		Signature Confirmation		Signature Confirmation Restricted Delivery		
3.	Yeh Julie 9310 Kimbrough Ct Atlanta GA 30350												
4.	USA Golf Club 1779 Mount Vernon Rd Dunwoody GA 30338												
5.	CINTRON Leah 1770 Mount Vernon Rd Dunwoody GA 30338												
6.	Zhang Kelly 5103 Ashmount Ct Dunwoody GA 30338												
7.	Ashmour Holdings LLC 5917 Redfield Ct Dunwoody GA 30338												
8.	Veprano Savannah 1756 Mount Vernon Rd Dunwoody GA 30338												

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Fastmarker, Per (Name of receiving employee)

Complete in Ink



Name and Address of Sender  
**Anna Knochler**  
**1892 Mount Vernon Rd**  
**Dunwoody GA 30338**

USPS Tracking/Article Number

Check type of mail or service

<input type="checkbox"/> Adult Signature Required	<input type="checkbox"/> Priority Mail Express
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail
<input type="checkbox"/> Certified Mail	<input type="checkbox"/> Return Receipt for Merchandise
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation
<input type="checkbox"/> Collect on Delivery (COD)	<input type="checkbox"/> Signature Confirmation Restricted Delivery
<input type="checkbox"/> Insured Mail	
<input type="checkbox"/> Priority Mail	

Addressee (Name, Street, City, State, & ZIP Code™)

1.	<b>BaKer Christopher</b> <b>5157 Weeshire Pl</b> <b>Dunwoody GA 30338</b>
2.	<b>Coyan Michael V</b> <b>1610 Weyshire Ln</b> <b>Dunwoody GA 30338</b>
3.	<b>ZINKAB Rachel S</b> <b>5126 Vernon Springs Dr.</b> <b>Dunwoody GA 30338</b>
4.	<b>Danley J Charles L</b> <b>5443 Vernon Ridge Dr</b> <b>Dunwoody GA 30338</b>
5.	<b>TURNER Grant William SR</b> <b>5153 Vernon Ridge Dr.</b> <b>Dunwoody GA 30338</b>
6.	<b>El Sheshaj Kamal M</b> <b>seiy markt Vernon Way</b> <b>Dunwoody GA 30338</b>
7.	<b>Suejin Emery F</b> <b>5034 Mount Vernon Way</b> <b>Dunwoody GA 30338</b>
8.	<b>FeaRney Timothy M</b> <b>1510 Cedarhurst Dr.</b> <b>Dunwoody GA 30338</b>

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

Complete in Ink

PS Form 3877, April 2015 (Page 1 of 2)  
 PSN 7530-02-000-9098

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).

U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SEP 13 '22  
 AMOUNT  
**\$4.00**  
 R2305H126952

UNITED STATES POSTAL SERVICE  
 0000

LOGANVILLE, GA 30052  
 SEP 13 2022

e Mail

Fee	COD	Fee	Fee	Fee	Fee	SH
Handling Charge - if Registered and over \$50,000 in value						
		Adult Signature Required				
		Adult Signature Restricted Delivery				
		Restricted Delivery				
		Return Receipt				
		Signature Confirmation				
		Signature Confirmation Restricted Delivery				
		Special Handling				



Name and Address of Sender  
**Anna Knochlan**  
**1829 Mount Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service

Adult Signature Required

Adult Signature Restricted Delivery

Certified Mail

Certified Mail Restricted Delivery

Collected on Delivery (COD)

Insured Mail

Priority Mail

Priority Mail Express

Registered Mail

Return Receipt for Merchandise

Signature Confirmation

Signature Confirmation Restricted Delivery

Address (Name, Street, City, State, & ZIP Code™)

Postage paid stamp area with USPS logo and '0000'.

U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 SEP 13 2015  
 AMOUNT  
**\$4.00**  
 R2305H126962

USPS Tracking/Article Number	Address (Name, Street, City, State, & ZIP Code™)	Postage	Fee	COD	Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
1.	<b>IRBY LINDA</b> 5119 Vernon Springs Dr. Dunwoody GA 30338										
2.	<b>M. J. Schell June 199</b> 5066 Wakefield Way Dunwoody GA 30338										
3.	<b>SHEPHERD SHARON B</b> 5113 Mount Vernon Rd Dunwoody GA 30338										
4.	<b>ROSEH SHARON DAVID</b> 1897 Mount Vernon Rd Dunwoody GA 30338										
5.	<b>ADLER SAUL M</b> 1509 Westshire Ln Dunwoody GA 30338										
6.	<b>COMARWAY JASON</b> 5139 Westshire Pl NE Atlanta GA 30338										
7.	<b>HAN XUE SONG</b> 5168 Mount Vernon Way Dunwoody GA 30338										
8.	<b>Johnston Bradley Allen</b> 5161 Mount Vernon Way Dunwoody GA 30338										

Total Number of Pieces Listed by Sender: **8** Total Number of Pieces Received at Post Office: **8**

Postmaster, Per (Name of receiving enterprise)

Complete in ink

PS Form 3877, April 2015 (Page 1 of 2) PSN 7530-02-000-9098

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).



UNITED STATES POSTAL SERVICE®

Name and Address of Sender  
 Anna Knochlan  
 1822 Mount Vernon Rd  
 Dunwoody GA 30338

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

	Postage (Extra Service) Fee	Handling Charge	Return Charge If Registered	Value	Sender if COD	Fee	Fee	Fee	Fee	Fee	Fee	Fee	SH
1.													
2.													
3.													
4.													
5.													
6.													
7.													
8.													

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling



0000

U.S. POSTAGE PAID

LOGANVILLE, GA

30052

SEP 13 '22

AMOUNT \$4.00

R2305H126962

-11

able Mail

Total Number of Pieces Listed by Sender Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving enterprise)

Complete in Ink



Name and Address of Sender

Anna Knochlan  
1822 Mount Vernon Rd  
Dunwoody GA 30338

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

	Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due if Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. Vieth Audrey 5477 Mount Vernon Way Dunwoody GA 30338												
2. James Allen R 1519 Thorshill Ct Dunwoody GA 30338												
3. Cheek Eric 1519 Thorshill Ct Dunwoody GA 30338												
4. Sa Rnie Parrigian III 5175 Vernon Ridge Dr. Dunwoody GA 30338												
5. Cranford Stephen R 1471 Vernon North Dr Atlanta GA 30338												
6. Dooley Anthony Jason 1199 Chestnut Ridge Dr. Dunwoody GA 30338 Atlanta						Adult Signature Required						
7. Lalley Mark A 1527 Cedarhurst Dr. Dunwoody GA 30338						Adult Signature Restricted Delivery						
8. James Joann 1505 Cedarhurst Dr. Dunwoody GA 30338						Restricted Delivery						
Handling Charge - if Registered and over \$50,000 in value												
Signature Confirmation												
Signature Confirmation Restricted Delivery												
Special Handling												

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).

**U.S. POSTAGE PAID**  
 LOGANVILLE, GA  
 SEP 13 22  
 AMOUNT  
**\$4.00**  
 R2305H126962  
 -11  
 e Mail



**UNITED STATES  
POSTAL SERVICE®**  
Name and Address of Sender  
**Anne Knaplan**  
**1829 Maury Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service

Adult Signature Required  Priority Mail Express

Adult Signature Restricted Delivery  Registered Mail

Certified Mail  Return Receipt for Merchandise

Certified Mail Restricted Delivery  Signature Confirmation

Collect on Delivery (COD)  Signature Confirmation Restricted Delivery

Insured Mail

Priority Mail

Addressee (Name, Street, City, State, & Zip Code™)

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & Zip Code™)	Service	Charge	If Registered	Value	Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	<b>TUCKER ADAM J</b> <b>P.O. Box 88026</b> <b>Atlanta GA 30338</b>												
2.	<b>WARREN SUSAN AROGETH</b> <b>5015 WICKSBRO WOOD</b> <b>DUNWOODY GA 30338</b>												
3.	<b>GRAISER BRAD ALFRED</b> <b>5163 VERNON RIDGE DR.</b> <b>DUNWOODY GA 30338</b>												
4.	<b>DIBONET MICHAEL ANTHONY</b> <b>1506 THORNBILL CT</b> <b>DUNWOODY GA 30338</b>												
5.	<b>LAMDIS MICHAEL</b> <b>5152 MAURY VERNON WAY</b> <b>DUNWOODY GA 30338</b>												
6.	<b>WYNTE DUNE EVERARD</b> <b>4947 CALOMBO DR.</b> <b>SAN JOSE CA 95130</b>												
7.	<b>BOHERS DAVID M</b> <b>5125 MAURY VERNON WAY</b> <b>DUNWOODY GA 30338</b>												
8.	<b>HAYES DAVID G</b> <b>5117 MAURY VERNON WAY</b> <b>DUNWOODY GA 30338</b>												
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office											

Postmaster, Per (Name of receiving employee)

**Complete in Ink**

**U.S. POSTAGE PAID**  
**LOGANVILLE, GA**  
**30052**  
**SEP 13 2015**  
**AMOUNT**  
**\$4.00**  
**R2305H126962**

11

LOGANVILLE

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).



Name and Address of Sender  
**Anna Klockhan**  
**1822 Maert Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service

Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Insured Mail  
 Priority Mail

Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation  
 Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Address (Name, Street, City, State, & ZIP Code™)

1.	Mauchtor Caroline W 5037 Maert Vernon Way Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.	Summers Jonathan Patrick 5106 Vernon Springs Dr. Atlanta GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.	Abbott Randall J 11036 Gregson Rd Brewster OH 44812	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.	Wierenga Hermin Jan 5067 Maert Vernon Way Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.	Miragliaer Amanda C 1771 Cedarhurst Dr. Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.	Jones Michael L 5041 Redgiff Ct Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7.	Wilson Peter G 5138 Vernon Ridge Dr Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.	Gorway Sharon J 1455 Vernon Ridge Ct Dunwoody GA 30338	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).

PS Form 3877, April 2015 (Page 1 of 2)  
 PSN 7530-02-000-9098



U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SEP 13 2011  
 AMOUNT  
**\$4.00**  
 R2305H126962

-11

able Mail







UNITED STATES POSTAL SERVICE®

Name and Address of Sender  
 Anne Korkhan  
 1822 Maert Vernon Rd  
 Dunwoody GA 30338

Check Type of mail or service

<input type="checkbox"/> Adult Signature Required	<input type="checkbox"/> Priority Mail Express
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail
<input type="checkbox"/> Certified Mail	<input type="checkbox"/> Return Receipt for Merchandise
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation
<input type="checkbox"/> Collected on Delivery (COD)	<input type="checkbox"/> Signature Confirmation Restricted Delivery
<input type="checkbox"/> Insured Mail	<input type="checkbox"/> Priority Mail

Address (Name, Street, City, State, & ZIP Code™)

USPS Tracking/Article Number	Address (Name, Street, City, State, & ZIP Code™)	Fee	COD	SH
1.	Holt Day William 1433 Vernon Ridge Ct Dunwoody GA 30338			
2.	FRANK GRAND T 1432 VERNON RIDGE CT ATLANTA GA 30338			
3.	FLINK K PERIN 5076 Maert Vernon Way Dunwoody GA 30338			
4.	SABEIS Alan 5007 Maert Vernon Way Dunwoody GA 30338			
5.	McNamara Thomas G 1606 Maert Vernon Forest Dr Dunwoody GA 30338			
6.	Douglas Christopher Stephen 1502 Vernon North Dr. Dunwoody GA 30338			
7.	McEann Ma-ther R 1510 N Vernon Dr. Dunwoody GA 30338			
8.	Deafon Michael F Revocable Trust 1799 Maert Vernon Rd Dunwoody GA 30338			

Total Number of Pieces Listed by Sender: \_\_\_\_\_  
 Total Number of Pieces Received at Post Office: \_\_\_\_\_

Postmaster, Per (Name of receiving employee): \_\_\_\_\_

Complete in Ink

PS Form 3877, April 2015 (Page 1 of 2)  
 PSN 7530-02-000-9098

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).



U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 SEP 13 2015  
 AMOUNT  
**\$4.00**  
 R2305H126962



Mail



Name and Address of Sender  
**Anna Knochlar**  
**1892 Mount Vernon Rd**  
**Dunwoody GA 30338**

Check type of mail or service

Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Insured Mail  
 Priority Mail

Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation  
 Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

1.	2.	3.	4.	5.	6.	7.	8.
Lynn Steven M 5166 Westshire Pl Dunwoody GA 30338	BYERS Barbara 5670 Vernon Springs Dr. Atlanta GA 30338	Kane William K 5060 Vernon Springs Dr. Dunwoody GA 30338	BOUZY MARK 1809 Wormox Rd. Dunwoody GA 30338	LOUZA MARY 5674 Wickford Way Dunwoody GA 30338	ABRAMS Phyllis K 1610 ARNOLD CT Dunwoody GA 30338	Claitre STEPHAN D 5110 Ashmont Ct Atlanta GA 30338	Ranuel Savier 5106 Ashmont Ct Dunwoody GA 30338

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Postmaster, Per (Name of receiving employer): Complete in Ink

U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 SEP 22 2015  
 SEAMOUNT  
 \$4.00  
 R2305H126962

0000

le Mail



Anna Klockhlan  
 1822 Mount Vernon Rd  
 Dunwoody GA 30338

Name and Address of Sender

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collected on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

		Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	maxilyn Smith City Hall 4800 Ashford Dunwoody Rd Dunwoody GA 30338		Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required						
2.	Wadell E. Echarty J 1486 Vernon North Dr. Dunwoody GA 30338						Adult Signature Restricted Delivery						
3.	Libowsey Joel J 5160 Mount Vernon Way Dunwoody GA 30338						Restricted Delivery						
4.	GERDON ENIKA VIG 5136 Mount Vernon Way Dunwoody GA 30338						Return Receipt						
5.	Findling Samantha A 5133 Mount Vernon Way Dunwoody GA 30338						Signature Confirmation						
6.	WESTRICK JOHN G 5181 WELLSHIRE PL Dunwoody GA 30338						Signature Confirmation Restricted Delivery						
7.	I K E GAMI THOMAS Y 5173 WELSHIR PL Dunwoody GA 30338						Special Handling						
8.	Kaynolds John R. 5090 VERNON STRIPPS DR. Dunwoody GA 30338												

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster: Per (Name of receiving employee)

Complete in Ink



U.S. POSTAGE PAID  
 LOGANVILLE, GA  
 30052  
 SEP 13 22  
 AMOUNT  
**\$4.00**  
 R2305H126952

e Mail





# LEGACY MANOR

Anna Khokhlan – Owner  
 Phone: 404.569.1150  
 Email: [khokhlanpch@yahoo.com](mailto:khokhlanpch@yahoo.com)

Greetings, New Neighbors,

My name is Anna Khokhlan. It's an honor and blessing to be a new member of this beautiful community in Dunwoody. You are receiving this notice because you are a property owner living within 1000 feet of our residence, located at 1822 Mount Vernon Rd Dunwoody, Georgia 30338.

Together with my son, Roman Khokhlan, we are applying to the city of Dunwoody for a special-use permit. This permit allows the use of the property as a residential home for the elderly/memory-care adults who need assistance in everyday life. This home, while being a private living space for our family, can also house up to seven people who need assistance.

Our goal is to provide a safe, accessible, comfortable, and quiet home setting for seniors in the local community who can no longer care for themselves. Our only focal point will be the senior population. The property will still be a personal residential home; meaning that there will be no business sign in the front.

We also would like the opportunity to inform our community on what the vision of the company is. A community meeting will be scheduled to inform the surrounding property owners about the proposed project, at which time you will be able to address any concerns, ask questions, and provide feedback. Refreshments will be provided.

Community meeting will be held at:

Location: 1822 Mount Vernon Rd Dunwoody, Georgia 30338.

Date: October 8<sup>th</sup>, 2022

Time: 12pm -6pm.

We look forward to meeting you. We greatly appreciate your time and your support.

*Sincerely,*

*Anna and Roman Khokhlan*

\*Renders of the new property.





DESIGN  
TODAY www.design-today.com  
Ph 404 819 1411  
2035 Sugar Pike Rd Woodstock Georgia 30188

### **Clarification letter**

*August 24th 2022*

To whom it may concern.

During renovation and design for single family home project at the following address: 1822 Mount Vernon Rd, Atlanta, GA 30338 we have discovered that existing foundations were not constructed correctly and were sagging. This discovery has led to extensive demolition, which was not planned for in the original scope of work.

Myself and my structural engineer, Hona Vapne, have visited the site during initial sheetrock demolition and advised the owner to extend demolition to nearly all walls and foundations to ensure that no structural issues would result in reusing old, unfit structure. Almost all foundations have to be re-built using proper construction techniques and specifications.

If needed, please contact me for further details.

Dasha Treinis  
AIA, NCARB  
Design Today, owner  
Email: reinis@gmail.com





# LEGACY MANOR

Anna Khokhlan – Owner  
 Phone: 404.569.1150  
 Email: [khokhlanpch@yahoo.com](mailto:khokhlanpch@yahoo.com)

Greetings, New Neighbors,

My name is Anna Khokhlan. It's an honor and blessing to be a new member of this beautiful community in Dunwoody. You are receiving this notice because you are a property owner living within 1000 feet of our residence, located at 1822 Mount Vernon Rd Dunwoody, Georgia 30338.

Together with my son, Roman Khokhlan, we are applying to the city of Dunwoody for a special-use permit. This permit allows the use of the property as a residential home for the elderly/memory-care adults who need assistance in everyday life. This home, while being a private living space for our family, can also house up to seven people who need assistance.

Our goal is to provide a safe, accessible, comfortable, and quiet home setting for seniors in the local community who can no longer care for themselves. Our only focal point will be the senior population. The property will still be a personal residential home; meaning that there will be no business sign in the front.

We also would like the opportunity to inform our community on what the vision of the company is. A community meeting will be scheduled to inform the surrounding property owners about the proposed project, at which time you will be able to address any concerns, ask questions, and provide feedback. Refreshments will be provided.

Community meeting will be held at:

Location: 1822 Mount Vernon Rd Dunwoody, Georgia 30338.

Date: October 8<sup>th</sup>, 2022

Time: 12pm -6pm.

We look forward to meeting you. We greatly appreciate your time and your support.

*Sincerely,*

*Anna and Roman Khokhlan*

\*Renders of the new property.





DESIGN

TODAY

[www.design-today.com](http://www.design-today.com)

Ph 404 819 1411

2035 Sugar Pike Rd Woodstock Georgia 30188

**Clarification letter***October 21st 2022*

To whom it may concern.

Design for Personal care home project at the following address: 1822 Mount Vernon Rd, Atlanta, GA 30338 was done within code requirements for such facility. All detailed calculations for impervious surface, lot coverage and such are provided on civil drawings done by William Cripps.

If needed, please contact me for further details.

Dasha Treinis

AIA, NCARB

Design Today, owner

Email: [reinis@gmail.com](mailto:reinis@gmail.com)





# SINGLE FAMILY HOUSE RENOVATION

## PROJECT INFORMATION

### PROJECT ADDRESS:

1822 MOUNT VERNON RD., DUNWOODY, GA 30338

-EXISTING 2-STORY HOUSE WITH PARTIAL BASEMENT

DEMOLITION OF EXISTING PORTION OF THE HOUSE FOR FUTURE RENOVATION. NEW HOUSE DESIGN WILL BE SUBMIT FOR PERMIT SEPARATELY

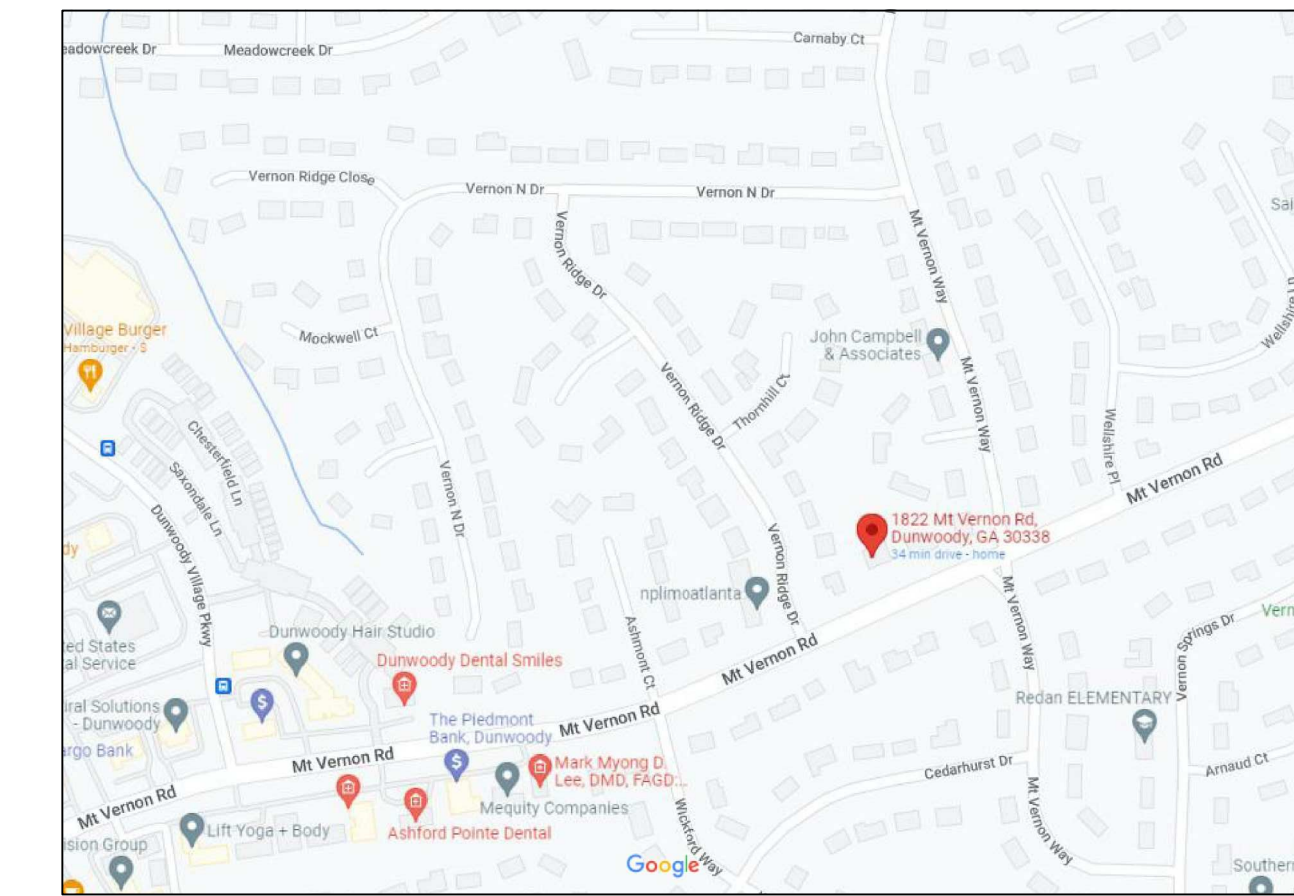
AREA OF DEMOLITION: 5029 S.F. (INCLUDING HOUSE AND OUTSIDE DECK)

ISSUED FOR DEMOLITION PERMIT ONLY

## MAIN ELEVATION



## PROJECT MAP



## CODE COMPLIANT NOTES

Governing Building Codes: All construction shall comply with GA Code of Ordinances,

International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
 International Residential Code, 2018 Edition, with Georgia Amendments (2020)  
 International Fire Code, 2018 Edition (Contact State Fire Marshal Below)  
 International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
 International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)  
 International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
 National Electrical Code, 2020 Edition, with Georgia Amendments (2021)  
 International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022)  
 International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)  
 For information and questions regarding the Life Safety Code (NFPA 101), IFC Georgia Amendments or the Georgia Accessibility Code please contact the State Fire Marshal's Office.  
 Current Permissive Codes as Adopted by DCA:

Disaster Resilient Building Code IBC Appendix(2013)  
 Disaster Resilient Building Code IRC Appendix (2013)  
 International Property Maintenance Code, 2018 Edition, with Georgia Amendments (2021)  
 International Existing Building Code, 2018 Edition, with Georgia Amendments (2021)  
 National Green Building Standard, 2008 Edition, with Georgia Amendments (2011)

All exits to be operable from the inside without the use of a key or special knowledge.  
 Doors leading into house from garage shall be solid core, self-closing and tight fitting with gaskets and sweep (R309.1 IRC R309.2 (amended).  
 Provide 1/2 inch gypsum board applied to the garage side for separation from garage for attic and residence. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2 inch gypsum board or equivalent.  
 DCA amendments allow installation of NFPA 13D protection in garage in lieu of separation (2002).Amend ). Exterior wall penetrations by pipes, ducts or conduits shall be caulked. (R307.6)  
 Provide roof attic ventilation per R806.1.  
 Lumber shall bear an approved grading stamp (R502.1).  
 Fire blocking shall comply with (R602.8) and be maximum 10 ft. O.C., horizontal or vertical.  
 Floor-ceiling assemblies with a concealed space in excess of 1000 square feet shall have draft stops installed that divide the concealed space into approximately equal areas. Draft-stopping material shall comply with (R502.12).  
 Walls and soffits of enclosed usable space under interior stairways shall be protected on the enclosed side by minimum 3/4" gypsum board. (R311.2.2)  
 Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or when framing members are 5/8" use labeled 1/2" sag-resistant gypsum ceiling board .  
 Table R702.3.5 (d). Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. When gypsum wallboard is used as a base for tile or wall panels, water-resistant gypsum wallboard shall be used. Water-resistant gypsum board shall not be used over a vapor retarder, in areas of high humidity or on ceilings where the frame spacing exceeds 12 inches on center for 3/4" gypsum, and 16 inches on center for 5/8" gypsum. (R702.4.2)  
 Plumbing fixtures shall comply with the following conservation requirements: 24" o.c. or o Water closets-Tank type = 1.6 gal./flush. o Shower heads- 2.75 gal./minute. o Faucets- 3.0 gal./minute, provide aerator.  
 Water treatment systems shall be equipped with an automatic shutoff to prevent continuous flow when not in use.  
 Provide an expansion tank at the water heater if a backflow preventer is or will be installed on the water line or at the meter. Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type.  
 Domestic dishwashing machines connected to a disposer shall have the discharge installed as high as possible, but not lower than 2" above the flood rim of the sink.  
 Provide minimum clearances from centerline of water closets to finished wall, cabinets, and other plumbing fixtures. (R307.1 amended)  
 The clothes dryer shall be provided with a 4-inch diameter exhaust duct to the exterior and shall not exceed a total length of 25 feet, unless an engineered duct system is provided. (M1501.3) The duct shall terminate not less than 3 feet from a property line or from openings into a building.  
 Provide outside combustion air for fireplaces located in bedrooms. (R1005.1.1) Provide required support/platform, 18-inches high, for mechanical equipment, water heaters and appliances if placed in garage or room with direct access to garage. (M1307.3).  
 Provide combustion air and provide high and low vent sizes for gas fuel appliances located in confined spaces. (M102.2, M103.2 amended)  
 Location of smoke detectors throughout each unit shall comply with IRC 317(amended).  
 Provide IC-rated recessed light fixtures installed in insulated ceilings. (NEC 110.3(B), 41.66(B)).  
 Fixtures located in damp or wet locations shall be "listed" to be suitable for such location. (NEC 410.4) Provide GFCI protection for receptacles within 6' of all lavatories, sinks and basins. (NEC 210.8) Provide GFCI protected receptacles at all exterior, bathroom and garage locations. (NEC 210.8 & 210.52.) Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (NEC 210.52(D))

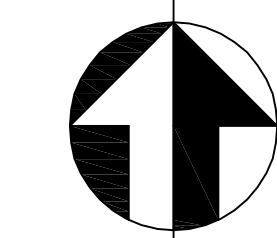
1.1. GA RESIDENTIAL CODE COMPLIANCE NOTES Rev 0  
 All circuits supplying receptacle outlets in bedrooms shall be AFCI (Arc-Fault Circuit Interrupter) protected. (NEC 210.12)  
 Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (NEC 210.52 (A))  
 Bathroom receptacle outlets shall be supplied by at least one 20-ampere branch circuit. Such circuits shall have no other outlets. (NEC 210.52 (D))  
 Provide a separate 20-ampere branch circuit to the laundry. (NEC 210.11(C), 210.23 (A), 210.50 (C), 210.52(F & G), 220.14(J))  
 Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (NEC 210.11(C)(1), 210.52(B)(1), 220.14(J))  
 The two or more 20-ampere small appliance branch circuits shall have no other outlets, except the receptacle installed solely for electric supply to an electrical clock in the kitchen/dining/breakfast areas or receptacles for supplemental equipment and lighting for gas-fired ranges, ovens, or counter-mounted units. (NEC 210.52 (B)(3))  
 Receptacle outlets for ranges and clothes dryers shall be a 3-pole with ground type. Four-wire, grounding-type flexible cords will be required for connection of ranges and clothes dryers. The bonding jumper shall not be connected between the neutral terminal and the frame of the appliance. (NEC 250.140 & 250.142)  
 Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper (200 ampere service). (NEC 250.50, 250.66)  
 Provide bonding to the water piping, gas and metal building systems. (Minimum #4 for 200-amp service). (NEC 250.50, 250.104 & 250.52) All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydro massage tub shall be bonded together using a copper bonding jumper, insulated, covered, or bare, not smaller than No. 8 solid.  
 Metal parts of listed equipment incorporating an approved system of double insulation and providing a means for grounding internal non-accessible, non-current-carrying metal parts shall not be bonded. (NEC 680.62)  
 For new windows, windows being replaced or windows affected by modifications elsewhere they shall be compliant with IRC 310. "  
 Basements with habitable spaces and every sleeping room shall have at least one openable emergency escape and rescue window or exterior door opening for emergency escape and rescue. When openings are provided, they shall have a sill height of not more than 44 inches above finished floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the window or door opening from the inside.  
 Escape and rescue window openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with R310.2.  
 Minimum escape and rescue opening dimension shall be a net clear opening of 5.7 square feet, except at grade floor where the net clear opening shall be a minimum of 5 square feet. R310.1.2  
 Minimum net clear opening height shall be 24 inches." R310.1.3 Minimum net clear opening width shall be 20 inches. (DCA Amendments 2004 limit the projections to 1 inch total, such as window slide or guides, driplips and weatherstripping that are permitted in the openings.) R310.1.4  
 Emergency escape and rescue openings shall be operational from the inside of room without the use of keys or tools.  
 Provide mechanical exhaust ventilation for bathrooms, water closet rooms, laundry room, and kitchen, ducted direct to outside. (R303.2 amended, M1501 to M1505)  
 The soil load-bearing capacity shall be presumed to be 2,000 psf max, unless a Geotechnical Investigation, properly stamped by a Professional Engineer registered in the State of Georgia, substantiates the noted bearing capacity.  
 The wood floor system drawings, stamped/noted as reviewed by DPOr, must be available on site PRIOR to erecting.  
 A floor framing drawing using the floor system nomenclature is required.  
 Pressure treated wood in contact or close proximity to metal, including fasteners.  
 With the removal of CCA treated lumber, most of the lumber available locally is treated with ACQ and CBA treatments. These treatments are more than twice as corrosive as CCA. CITY Building Inspectors will look for connectors and fasteners that are at least G185 hot dipped galvanized in contact with pressure treated wood. Foundation drainage will be in accordance with Section R-405 of IRC.  
 All foundation walls of below grade space which may be occupied shall be waterproofed using membranes to allow for future use as habitable space (i.e. finished basement). The membranes shall extend from the edge of the footing to the finished grade (R- 406.1). Note method of waterproofing to be used on basement walls.  
 Exception: Poured concrete foundation walls require dampproofing only.  
 If pre-engineered wood trusses are used in floor framing, provide truss drawings which identify member sizes to be used.  
 Wood trusses shall be designed in accordance with approved engineering practice (Sec. R-502.11). If manufactured trusses are to be used, the truss supplier's detailed drawings for the project shall be available at the job site, prior to erection if pre-engineered wood trusses are used in roof framing, provide truss drawings. Wood trusses shall be designed in accordance with approved engineering practice (Sec. R-802.10). If manufactured trusses are to be used, the truss supplier's detailed drawings for the project shall be available at the job site, prior to erection

## INDEX OF SHEETS

SHEET #	SHEET NAME	ISSUE DATE	REV. #	REV. DATE
AD.00	INFORMATION SHEET	03.09.22		
AD.01	DEMOLITION PLAN	023.09.22		

DESIGN TODAY

2700 SUGAR PINE RD  
 WOODBRIDGE, GA  
 30189  
 PH: 404-395-1000  
 D: 404-395-1000  
 WWW.DESIGN-TODAY.COM



PLAN NORTH

ISSUED FOR CONSTRUCTION

SINGLE FAMILY HOUSE RENOVATION

1822 MOUNT VERNON RD,  
 DUNWOODY, GA 30338

I: 03.09.22 ISSUE FOR DEMOLITION PERMIT  
 No: :Date: :Remarks:






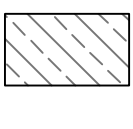
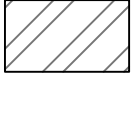
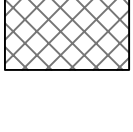





This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Copies as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
 DESIGN TODAY 2025

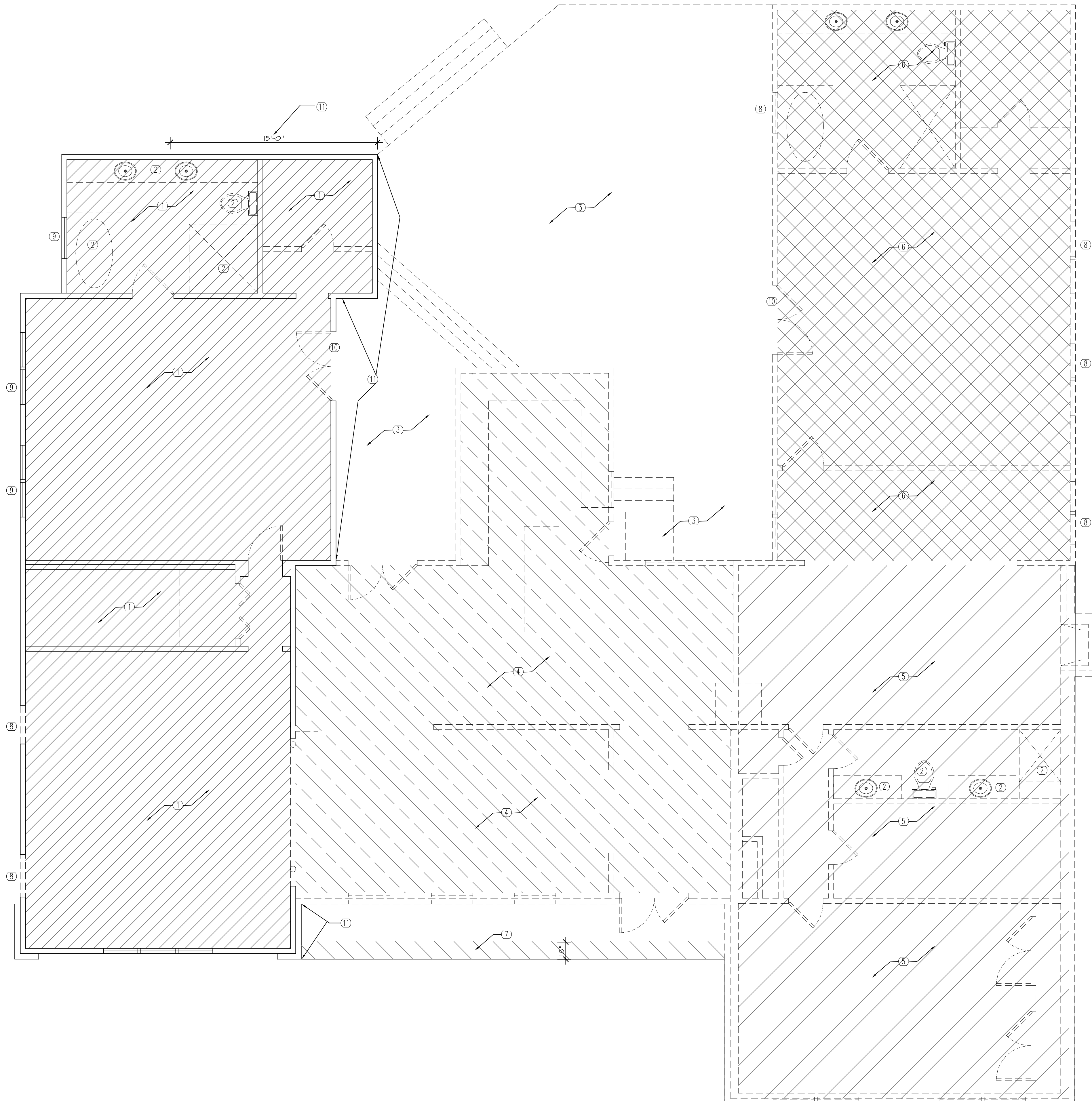
DRAWING TITLE:  
 INFORMATION SHEET  
 ISSUE DATE:  
 DRAWN BY:  
 DT  
 SHEET NUMBER:  
**A0.00**

GENERAL DEMOLITION NOTES:

1. THE EXTENT OF THE DEMOLITION WORK INDICATED IN DRAWINGS, NOTES AND SPECIFICATIONS DESCRIBE THE GENERAL SCOPE OF WORK ONLY AND ARE NOT INTENDED TO BE INCLUSIVE OF ALL THE DEMOLITION WORK WHICH MAY BE REQUIRED TO COMPLETE THE FULL SCOPE OF WORK. VERIFY ALL CONDITIONS IN THE FIELD.
2. ALL WORK INVOLVING ASBESTOS AND LEAD PAINT REMOVAL IS OUTSIDE THE SCOPE OF THIS PROJECT AND WILL BE PERFORMED BY THE OWNER'S CONSULTANT.
3. SCHEDULE DEMOLITION WORK IN SEQUENCE THAT ACCOMMODATES THE OWNER'S REQUIREMENTS FOR ACCESS AND USE OF THE SITE DURING DEMOLITION.
4. EXISTING ELEMENTS AND FIXTURES NOT INDICATED FOR REMOVAL ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION AS REQUIRED. THE CONDITION OF ALL BUILDING FINISHES NOT TO BE ALTERED OR REMOVED ARE TO BE RECORDED PRIOR TO THE START OF DEMOLITION AND CONSTRUCTION.
5. SCHEDULE AND OBTAIN APPROVAL OF THE OWNER, UTILITIES AND LOCAL AGENCIES HAVING AUTHORITY PRIOR TO BEGINNING DEMOLITION WORK.
6. ALL DEMOLITION RELATED TEMPORARY OPENINGS IN EXTERIOR WALLS AND ROOF ARE TO BE SECURED AND KEPT WEATHER TIGHT.
7. ALL DEMOLITION DEBRIS ARE TO BE PLACED IN DUMPSTER(S), COVERED, WETTED AND SECURED AS REQUIRED BY MUNICIPAL ORDINANCES PRIOR TO DISPOSAL. COORDINATE AND OBTAIN OWNERS APPROVAL FOR THE LOCATION OF DUMPSTERS.
8. ALL PARTITIONS INDICATED TO BE REMOVED ARE TO BE COMPLETELY REMOVED FROM FLOOR DECK TO UNDERSIDE OF STRUCTURE.
9. THE EXISTING BUILDING STRUCTURE INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, FLOORS ARE NOT TO BE ALTERED OR DAMAGED DURING DEMOLITION OR CONSTRUCTION, EXCEPT WHERE INDICATED IN THE DRAWINGS. ANY STRUCTURAL ELEMENTS DAMAGED DURING DEMOLITION OR CONSTRUCTION ARE TO BE REPAIRED TO FULL STRUCTURAL INTEGRITY AND REQUIRED FIRE-RESISTIVE RATING BY THE CONTRACTOR AT HIS/HER EXPENSE.
10. AT THE CONCLUSION OF THE DEMOLITION WORK, REMOVE ALL DEBRIS AND SURPLUS MATERIALS AND LEAVE WORK AREA READY TO RECEIVE NEW WORK FINISHES.

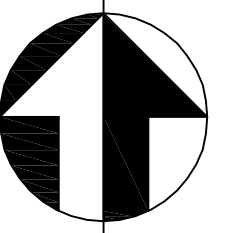
1ST FLOOR DEMOLITION PLAN KEY NOTES:

-  1 DEMO EXISTING ROOF ABOVE THIS AREA. ALL EXTERIOR WALLS TO REMAIN AS IS. DEMO INTERIOR NON-LOAD BEARING WALLS AS SHOWN. FLOOR SYSTEM TO REMAIN AS IS. PROTECT, EXPOSED TO ELEMENTS, FLOOR SYSTEM WITH MIN. 6 MIL PLASTIC AND HEAVY DUTY CONSTRUCTION PAPER.
-  2 DEMO EXISTING PLUMBING. CAP PIPES AS REQUIRED. REF. PARTITION PLAN FOR NEW PLUMBING LAYOUT
-  3 DEMO EXISTING DECK AND STAIRS
-  4 DEMO EXISTING ROOF ABOVE THIS AREA. DEMO ALL INTERIOR AND EXTERIOR WALLS AS SHOWN. FLOOR SYSTEM TO REMAIN AS IS. PROTECT, EXPOSED TO ELEMENTS, FLOOR SYSTEM WITH MIN. 6 MIL PLASTIC AND HEAVY DUTY CONSTRUCTION PAPER.
-  5 DEMO EXISTING ROOF AND UPPER STORY WALLS AND FLOOR IN THIS AREA. CUT BASEMENT WALLS TO BE 1'-9" HIGH. INSTALL NEW DOUBLE PLATE ON TOP OF THE WALLS. REPAIR SLAB AS NEEDED
-  6 DEMO EXISTING STRUCTURE IN WHOLE IN THIS AREA- ROOF, CEILING, WALLS AND FLOORING. DEMO FOOTING ALL THE WAY TO TWO-STORY AREA
-  7 FRONT 18" DEEP PORTION OF THE EXISTING FRONT PATIO SLAB TO BE CUT TO ALLOW FOR NEW FOOTING
-  8 DEMO EXISTING WINDOW. NEW WINDOW PLACEMENT TBD.
-  9 EXISTING WINDOW TO REMAIN
-  10 DEMO EXISTING PATIO DOOR/ FRAME/ HARDWARE. SALVAGE FOR REUSE
-  11 DEMO ALL EXTERIOR FINISHES IN THIS AREA



DESIGN TODAY

2700 SUGAR PINE RD  
 WOODBRIDGE, GA  
 30189  
 PH: 404-954-1000  
 D: 404-954-1001  
 WWW.DESIGN-TODAY.COM



PLAN NORTH

ISSUED  
 FOR  
 CONSTRUCTION

SINGLE FAMILY  
 HOUSE RENOVATION

1822 MOUNT VERNON RD,  
 DUNWOODY, GA 30338

03.04.22 ISSUE FOR DEMOLITION PERMIT  
 No: :Date: :Remarks:  
 REVISIONS:



This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings.  
 DESIGN TODAY 2005

DRAWING TITLE:  
 DEMOLITION  
 PLAN

ISSUE DATE:

DRAWN BY:  
 DT

SHEET NUMBER:

A1.00

Packet page...

SUMMARY REPORT  
LEGACY MANOR PCH

Applicant:	Business name: Legacy Manor PCH
Meeting address, Date, and time	1822 Mount Vernon Rd Dunwoody, Georgia 30338 October 8 <sup>th</sup> , 2022 12-6pm
Total Acreage:	.38, adding on 300 cu yards.
Real Estate Owner of Record. Responsible for Discussions/Outcomes:	Anna & Roman Khokhlan
Current Zoning	R-100 (Single use residential)
Comprehensive Plan Details	<b>Exhibit - # 1</b>
Mailing list confirmation:	<b>Exhibit # 2</b> Attached mailing list and proof of sending
Flood Plain:	NO
Enterprise Zone:	NO
Architect Letter	<b>Exhibit #3</b>
Action Requested:	Request to be granted SUP
Authorizing City Code Sections:	Section 2a-3 , 2b-1 , 2b-2, 2b-5 etc. Principle Uses and Structures
Summary Recommendations:	<p>Applicant initiated meeting: (Sign in sheet attached)</p> <p>Total Number of people that came: 23 Total number of people who signed in:14 Number of people who refused to sign in: 9</p> <p>6 people outside of the coverage area came to the meeting site.</p> <p>The site displayed a blueprint of the proposed project. The site also displayed an overview of the facility explaining the requested upgrades to the pre-existing damaged structure.</p>

## SUMMARY REPORT

### Areas of concern addressed:

- A. There were inquiries about why the existing house was demolished and what were those issues.
- B. There were concerns about traffic around or in and out of the proposed site in relation to the busy road area that already exists and concerns that the site development would add to that traffic issue.
- C. There were questions about the average number of vehicles that would be on the property daily.
- D. There were concerns about emergency service vehicles and where they would be designated to park should then need to enter the premises and the potential for them to block the road on the main street in front of the house.
- E. There were concerns about the water run-off and how they may affect the area and where it would be directed.
- F. There were concerns addressed about the amount of concrete to be added to the site and concerns about that impeding the entrance and/or damage the aesthetics of the area.
- G. There were concerns about the type of staff to work, the traffic in the home and the possible inconsistency therein
- H. There were concerns about a designated break room for the staff and where that many be located.
- I. Some people had discussions/ concerns about the disposal of cooking oil and how we will manage that.
- J. There were inquiries about the expansion of the home and if that was going to remain within the edges of the property.
- K. There were discussions/concerns about the size of the home, the safety of the entrance and memory care people wandering.
- L. There were concerns about the amount of supervision to ensure the people there were not left alone.
- M. There were discussions/ concerns about the disaster plan implementation and inquiry about the precautions that would be in place regarding how the business would safeguard residents from not getting lost.
- N. There were discussions/concerns about the entrance and exits in the driveway and was it going to be accessible and in a circle format.
- O. There were additional discussions/ concerns about the aesthetics (style) of the outside of the building proposed to be stucco.
- P. There were inquiries about where the designated disposal dumpsters would be located and the amount.

## SUMMARY REPORT

Q. There were discussions /concerns about the sewage system and if it would be adequate for said facility and were the pipes able to accommodate that expansion.

R. There were questions about the total number of 911 calls at the owner's current facility in Lawrenceville (Gwinnett County)

**Staff Recommended changes to the proposal as a result of the meeting:**

- A. Staff explanation about the property damage was addressed as the main variable to demolition.
- B. The facility is a Family business and there will minimally parked cars on the property at any given time, which allows for decrease any probability that there will be a disturbance or traffic jams in the area.
- C. The facility will have minimal traffic in the area as residents do not drive and there will be only vehicles on the property for individuals that need to be there.
- D. The facility does not anticipate high traffic volume. The facility will also be aware of the activity around the property, there will always be room for any emergency response personnel on the property at any time, and there will be a designated entrance and exit for easy accessibility. The existing driveway configuration would allow appropriate access and temporary parking in case of an emergency
- E. With the limited amount of impervious area added 314 sq. ft. no stormwater run-off increase will be experienced....stormwater run-off from the improvements will naturally infiltrate into the existing grassed areas of the site.
- F. The builder/contractor will be responsible for making sure the driveway is aesthetically pleasing and does not measure outside of an aesthetically pleasing parking area as to blend in with the remain residential units. Concrete added to the plan is only 314 sq. ft. to provide standard size parking spaces. The facility will have brick exterior.
- G. The current owners have experienced in the business and are selective about the level of skill to work around the residents and will ensure staff will meet all the state staffing regulated guidelines.
- H. The staff will have break areas, one on each floor. One break area will be designated on the top balcony if staff chooses to be outside and there will be another designated room on the bottom floor.
- I. As indicated in the Title 40 CFR Part 110, Discharge of Oil, discharges in quantities that violate applicable water quality standards and cause a visible sheen upon the water are considered harmful. There will be no oil discharges or oily wastes dumped into the public water system under any circumstances. The facility will use the required protocol for proper sanitation disposal as indicated by waste management in Dekalb county , who picks up the trash for the City Of Dunwoody, their contact number is 404-294-2900 [/sanitation@dekalbcountyga.gov](mailto:sanitation@dekalbcountyga.gov).

## SUMMARY REPORT

- J. The owner will discuss boarder lines with the architect to make sure there is no borders crossing or infringement upon the boundaries of the neighbors and to avoiding the expansion to max out the land on either side. The home and improvements are well within the required building setbacks of the property.
- K. The entrance and exits of all the facilities will be monitored with electronics and, the facility primary population focus will be on people that need the care but is NOT limited to people only with memory impairments without the property always staffing ratio and supervision for the entire population we always service.
- L. The Healthcare Facility Regulation Division Licensing Department clearly states in the rules and regulations for state licensure that no residents can ever be left alone in the facility, under any circumstances, the owner takes that requirement very seriously and will be responsible for ensuring there is always adequate coverage.
- M. Adequate staffing coverage is key in keeping residents safe and always monitored, all resident intake assessments at the facility will be detailed upon entry to the facility so all the resident's needs can be addressed and staffed adequately. It shall maintain appropriate professional around-the-clock staffing coverage for the facility, providing services and supervision 24 hours per day and 7 days per week.
- N. Alone with the staff ratio, there will be an internal basic monitoring alert system will notify staff when someone opens the front door, back door, or any window in the home as an additional precautionary measure to keep track of the entrances , exits and window areas of egress. No changes are proposed to the driveways of this site.
- O. The facility driveway will have a clear entrance and a clear exit, all staff, residents, and visitors will be required to always adhere to the structure of the parking and traffic movement on the property to avoid any issues.
- P. The owner has taken all concerns about the exterior presentation of the facility and will make every effort to make sure the home blends well with the surrounding community homes. A location has been indicated on the plan for a trash pad...the minimal use of this facility does not warrant a dumpster....but possibly 2 standard residential garbage containers.
- Q. The existing system in which this home ties into has been sized to carry sewage for large subdivisions of homes. This proposed use will have no effect on the existing sanitary sewer in-place at this location.
- R. The owner has had   3   911 calls in the last year in the Gwinnett Facility, which is public record in the county to cross reference.

## SUMMARY REPORT

	<p style="text-align: center;"><b>The summary report above includes the following items:</b></p> <ul style="list-style-type: none"><li>- Efforts to notify neighbors about the meeting date, time, and location (how and when notification occurred, and who was notified) (Address list and proof or mail confirmation, (Supplied by the owner )<ul style="list-style-type: none"><li>- Meeting location, date, &amp; time as indicated above)</li><li>- People involved in the discussions (Listed above)</li><li>- Suggestions and concerns raised by neighbors (Listed above)</li><li>- Specific changes to the proposal because of the meeting</li></ul></li></ul>
--	---



# VARIANCE APPLICATION

Community Development  
4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

Project #: \_\_\_\_\_ Date Received: \_\_\_\_\_  
Type: \_\_\_\_\_

Type of Request:  Chapter 16-Streams  Chapter 16-Other  Chapter 20-Signs  Chapter 27  
 -Zoning Code section from which variance is sought: 27-202  
 Nature of Request: Request for additional parking spaces for a personal care facility.

### Project:

Name of Project / Subdivision: \_\_\_\_\_ Zoning: R-100  
 Property Address / Location: 1822 Mount Vernon Road, Dunwoody, Georgia  
 District: 18 Land Lot: 367 Block: \_\_\_\_\_ Property ID: 18 367 0148

### Owner Information:

Owner's Name: Anna and Roman Khokhlan  
 Owner's Address: 4994 Eagles Nest Court, Loganville Georgia 30052  
 Phone: 404-569-1150 Fax: 678-691-2094 Email: khoklanpch@yahoo.com

### Applicant Information: Check here if same as Property Owner

Contact Name: Legacy Manor Personal Care Home c/o Andersen, Tate, & Carr, Anre Washington, Esq.  
 Address: 1960 Satellite Blvd. Suite 4000 Duluth, Georgia 30097  
 Phone: 770-822-0900 Fax: \_\_\_\_\_ Email: awashington@atclawfirm.com

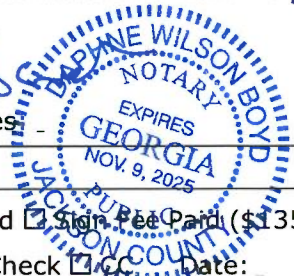
### Terms & Conditions:

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I understand that failure to supply all required information (per the relevant Applicant Checklists and Requirements of the Dunwoody Zoning Ordinance) will result in the rejection of this application.

Applicant's Name: ANRE D. WASHINGTON  
 Applicant's Signature: Anre D. Washington Date: December 13, 2022

### Notary:

Sworn to and subscribed before me this 13 Day of December, 2022  
 Notary Public: \_\_\_\_\_  
 Signature: [Signature]  
 My Commission Expires: NOV. 9, 2025



### Office Use:

Application Fee Paid  Sign. Fee Paid (\$135 x number of signs required) Fee: \$ \_\_\_\_\_  
 Payment:  Cash  Check  CC Date: \_\_\_\_\_  
 Approved  Approved w/ Conditions  Denied Date: \_\_\_\_\_





# ADDITIONAL VARIANCES

Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

Type:

Type of Request:  Chapter 16-Streams  Chapter 16-Other  Chapter 20-Signs  Chapter 27-Zoning  
 Code section from which variance is sought: 27-202  
 Nature of Request: Increased Parking Spots

Type:

Type of Request:  Chapter 16-Streams  Chapter 16-Other  Chapter 20-Signs  Chapter 27-Zoning  
 Code section from which variance is sought: \_\_\_\_\_  
 Nature of Request: \_\_\_\_\_

Type:

Type of Request:  Chapter 16-Streams  Chapter 16-Other  Chapter 20-Signs  Chapter 27-Zoning  
 Code section from which variance is sought: \_\_\_\_\_  
 Nature of Request: \_\_\_\_\_

Type:

Type of Request:  Chapter 16-Streams  Chapter 16-Other  Chapter 20-Signs  Chapter 27-Zoning  
 Code section from which variance is sought: \_\_\_\_\_  
 Nature of Request: \_\_\_\_\_

Type:

Type of Request:  Chapter 16-Streams  Chapter 16-Other  Chapter 20-Signs  Chapter 27-Zoning  
 Code section from which variance is sought: \_\_\_\_\_  
 Nature of Request: \_\_\_\_\_

Type:

Type of Request:  Chapter 16-Streams  Chapter 16-Other  Chapter 20-Signs  Chapter 27-Zoning  
 Code section from which variance is sought: \_\_\_\_\_  
 Nature of Request: \_\_\_\_\_



# Property Owner(s) Notarized Affidavit

Community Development  
4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

The owner and petitioner acknowledge that this application form is correct and complete. By completing this form, all owners of the subject property certify authorization of the filing of the application for variance(s), and authorization of an applicant or agent to act on their behalf in the filing of the application including all subsequent application amendments.

### Property Owner (If Applicable):

Owner Name: Anna Khokhlan  
 Signature: [Signature] Date: 12-12-2022  
 Address: 1822 Mount Vernon Rd, Dunwoody GA 30338  
 Phone: 404-569-1150 Fax:                      Email: khokhlan.pch@yahoo.com  
 Sworn to and subscribed before me this 12 Day of December, 2022  
 Notary Public: [Signature]  
 NATALIA MYALIK  
 NOTARY PUBLIC  
 GEORGIA  
 Expires July 5, 2026  
 JACKSON COUNTY

### Property Owner (If Applicable):

Owner Name: Roman Khokhlan  
 Signature: [Signature] Date: 12-12-2022  
 Address: 1822 Mount Vernon Rd, Dunwoody GA 30338  
 Phone: 770-510-6669 Fax:                      Email: rkhokhlan@live.com  
 Sworn to and subscribed before me this 12 Day of December, 2022  
 Notary Public: [Signature]  
 NATALIA MYALIK  
 NOTARY PUBLIC  
 GEORGIA  
 Expires July 5, 2026  
 JACKSON COUNTY

### Property Owner (If Applicable):

Owner Name: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_  
 Sworn to and subscribed before me this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_  
 Notary Public: \_\_\_\_\_



# Campaign Disclosure Statement

Community Development  
4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission?

YES  NO

Applicant / Owner:

Signature: <i>Anna Houston</i>	Date: <i>12-12-2022</i>
Address: <i>1822 Mount Vernon Rd, Dunwoody GA 30338</i>	

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

# ANDERSEN | TATE | CARR

December 13, 2022

## LETTER OF INTENT AND JUSTIFICATION FOR VARIANCE

**Variance**  
**City of Dunwoody, Georgia**

**Applicant:**  
Anna and Roman Khokhlan

**Property:**  
Tax Parcel IDs 18 367 01 048  
±.38 Acres of Land  
Located at 1822 Mount Vernon Road,  
Dunwoody Dekalb County, Georgia  
**For A Variance to Increase Parking**

**Submitted for Applicant by:**  
Anre' D. Washington, Esq.  
ANDERSEN TATE & CARR, P.C.  
One Sugarloaf Centre  
1960 Satellite Blvd.  
Suite 4000  
Duluth, Georgia 30097  
770.822.0900  
[awashington@atclawfirm.com](mailto:awashington@atclawfirm.com)

## I. INTRODUCTION

This Letter of Intent ("LOI") is to request a single Variance from the City of Dunwoody Ordinance 27-202 to add additional parking for Legacy Personal Care Home's ("Legacy Manor") current pending Special Land Use Permit application for a property located at 1822 Mount Vernon Road, Dunwoody, Dekalb County, Georgia. The basis of this request is to provide flexibility to address compliance with parking requirements Americans with Disabilities Act, staffing needs, emergency services and the resident seniors' visitors.

City of Dunwoody regulations limits the number of parking spots on a personal care home within a residential community to four parking spots. As the City is aware, Americans with Disabilities Act regulations limit the facility to one handicapped and three general access parking spaces. The Development is a seven (7) bed facility, but the residents do not have vehicle access.

This request seeks to increase the number from four (4) to six (6) to ensure that the facility has room to accommodate staff, periodic guests, and, in the rare event it is necessary, emergency services vehicles. The Applicant fully recognizes that this Development must preserve the "look and feel" to remain consistent with the residential community. Therefore, the Applicant is committed to ensuring that the onsite parking is non-intrusive and providing a site plan for additional parking without sacrificing the character of a residential community. Addressing this concern might include but is not limited to enhanced planted buffers, parking on the side or rear, or changes to parking orientation and direction.

## II. CITY OF DUNWOODY CHAPTER 27 VARIANCE

Letter of Intent for Zoning Variances (Chapter 27): Please describe your situation and how your variance request is a result of all of the following conditions:

- 1) The grant of the variance will not be detrimental to the public health, safety or welfare or injurious to property or improvements;
  - a. No. The additional parking spaces will not harm the City's public health, safety, welfare, or injury to property improvements.
- 2) The variance request is based on conditions that (1) are unique to the subject property (2) are not generally applicable to other properties in the same zoning district and (3) were not created by the owner or Applicant;
  - a. Legacy Manor is a unique business that provides personal care in a residential and home-like setting. Given both the company and the City's goal to provide housing for Seniors, this request is consistent with this type of Development. Aside from the Development offering commercial services in a residential community, there is no four-car limit on residential homes in the City. Therefore, this variance request is consistent with the surrounding area.

- 3) Because of the particular conditions, shape, size, orientation or topographic conditions, the strict application of the requirements of this zoning ordinance would deprive the property owner of rights and privileges enjoyed by other similarly situated property owners;
  - a. There are no regulations that cap residential parking spaces to four vehicles. This cap would add an additional condition distinct from the residential community.
  
- 4) The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other similarly situated properties;
  - a. The Applicant is requesting six (6) parking spots to provide flexibility through site planning and Development to address parking issues. Allowing this number is not inconsistent with a nearby residential home. Of note, Legacy Manor limits visitation hours, and residents do not drive. This grant would permit would not generally result in a consistently full parking lot.
  
- 5) The literal interpretation and strict application of the applicable provisions or requirements of this zoning ordinance would cause undue hardship or practical difficulty, as distinguished from a mere inconvenience; and
  - a. Limiting parking to four spaces could negatively impact the Development's ability to accommodate staff and visitors and, in the rare event, of emergency services. This Development seeks to provide housing to a vulnerable population. While instances where emergency services do not happen often, the additional parking provides space if necessary.
  
- 6) The requested variance would be consistent with the spirit and purpose of this zoning ordinance and the comprehensive plan.
  - a. The subject property will maintain its status as R-100, address a critical need for senior housing, and provide for families of those seniors to visit without parking barriers.

**III. Conclusion**

The Applicant looks forward to continued constructive dialogue with the community, staff, and elected officials to address any concerns with this request and asks for favorable consideration.

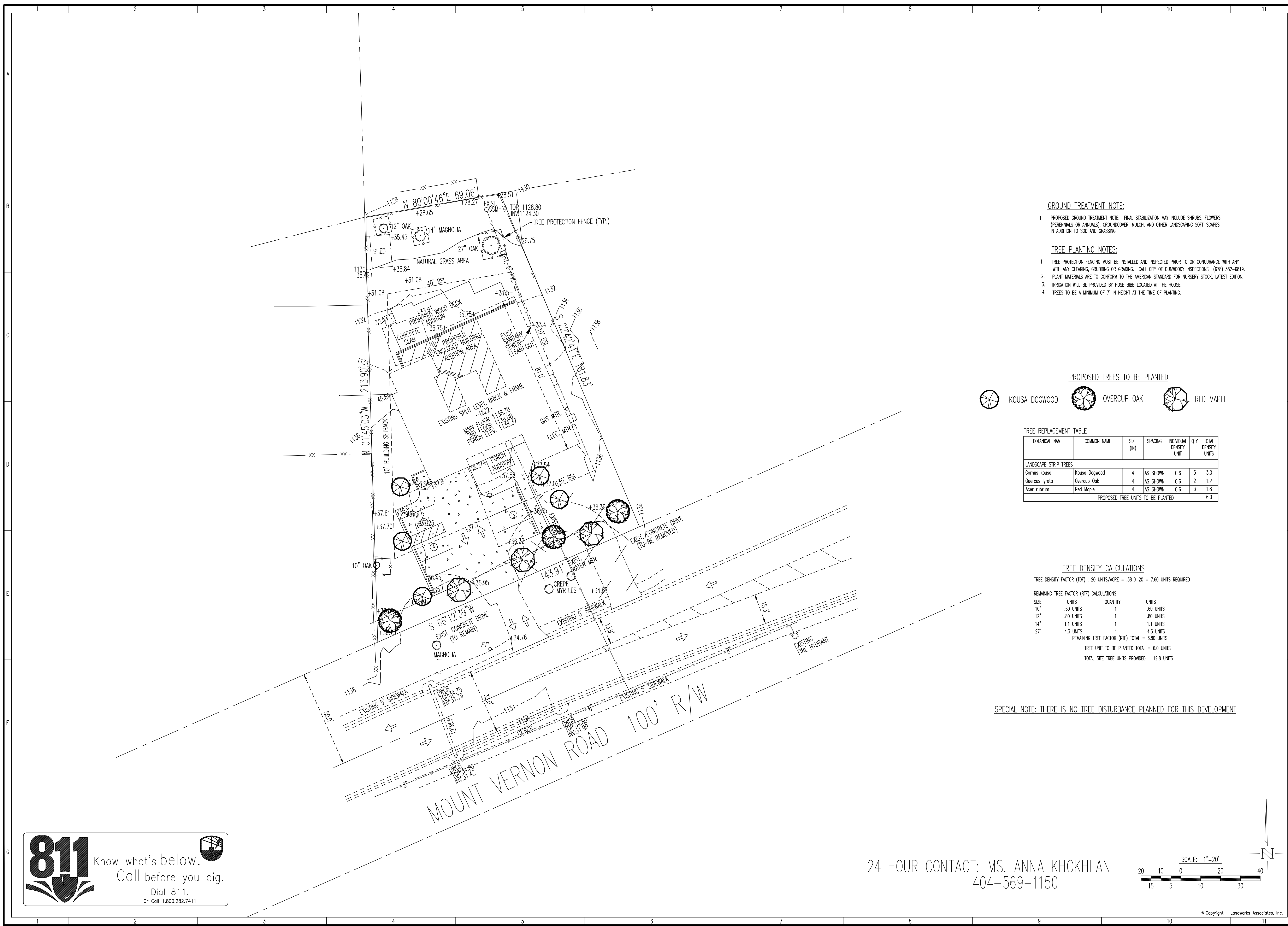
Respectfully submitted this 13<sup>th</sup> day of December 2022.

**ANDERSEN, TATE & CARR, P.C.**

**Anre' D. Washington**

Anre' D. Washington, Esq.

Enclosures



GROUND TREATMENT NOTE:

1. PROPOSED GROUND TREATMENT NOTE: FINAL STABILIZATION MAY INCLUDE SHRUBS, FLOWERS (PERENNIALS OR ANNUALS), GROUNDCOVER, MULCH, AND OTHER LANDSCAPING SOFT-SCAPES IN ADDITION TO SOO AND GRASSING.

TREE PLANTING NOTES:

1. TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO OR CONCURRENCE WITH ANY WITH ANY CLEARING, GRUBBING OR GRADING. CALL CITY OF DUNWOODY INSPECTIONS (678) 382-6819.
2. PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
3. IRRIGATION WILL BE PROVIDED BY HOSE BIBB LOCATED AT THE HOUSE.
4. TREES TO BE A MINIMUM OF 7' IN HEIGHT AT THE TIME OF PLANTING.

PROPOSED TREES TO BE PLANTED



TREE REPLACEMENT TABLE

BOTANICAL NAME	COMMON NAME	SIZE (IN)	SPACING	INDIVIDUAL DENSITY UNIT	QTY	TOTAL DENSITY UNITS
LANDSCAPE STRIP TREES						
Cornus kousa	Koussa Dogwood	4	AS SHOWN	0.6	5	3.0
Quercus lyrata	Overcup Oak	4	AS SHOWN	0.6	2	1.2
Acer rubrum	Red Maple	4	AS SHOWN	0.6	3	1.8
PROPOSED TREE UNITS TO BE PLANTED						6.0

TREE DENSITY CALCULATIONS

TREE DENSITY FACTOR (TDF) : 20 UNITS/ACRE = .38 X 20 = 7.60 UNITS REQUIRED

REMAINING TREE FACTOR (RTF) CALCULATIONS

SIZE	UNITS	QUANTITY	UNITS
10"	.60 UNITS	1	.60 UNITS
12"	.80 UNITS	1	.80 UNITS
14"	1.1 UNITS	1	1.1 UNITS
27"	4.3 UNITS	1	4.3 UNITS

REMAINING TREE FACTOR (RTF) TOTAL = 6.80 UNITS  
 TREE UNIT TO BE PLANTED TOTAL = 6.0 UNITS  
 TOTAL SITE TREE UNITS PROVIDED = 12.8 UNITS

SPECIAL NOTE: THERE IS NO TREE DISTURBANCE PLANNED FOR THIS DEVELOPMENT

REVISIONS	
1	12-01-22 CITY COMMENTS

GASWCC LEVEL II  
 CERTIFICATION #001389  
 ISSUED 11/22/2000  
 EXPIRATION 11/22/2023

**Landworks Associates, Inc.**  
 P.O. BOX 88834  
 ATLANTA, GEORGIA 30356  
 (770) 513-7100 environments2020@gmail.com  
 "Celebrating 30 Years Of Providing Dedicated Service To Our Clients"

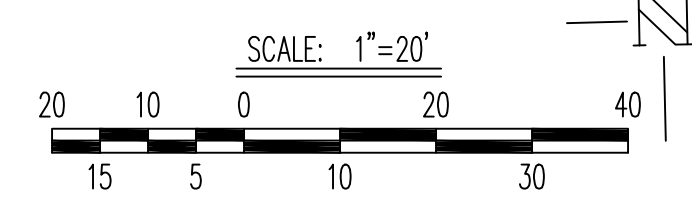
SITE DEVELOPMENT PLANS FOR:  
**LEGACY MANOR PERSONAL CARE**  
**HOME - 1822 MOUNT VERNON RD.**  
 LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
 CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE  
**TREE PROTECTION PLAN**

DATE: 12-01-22  
 JOB: 567-220202  
 DRW: WJC  
 CHK: JGA

SHEET NUMBER  
**C-8**

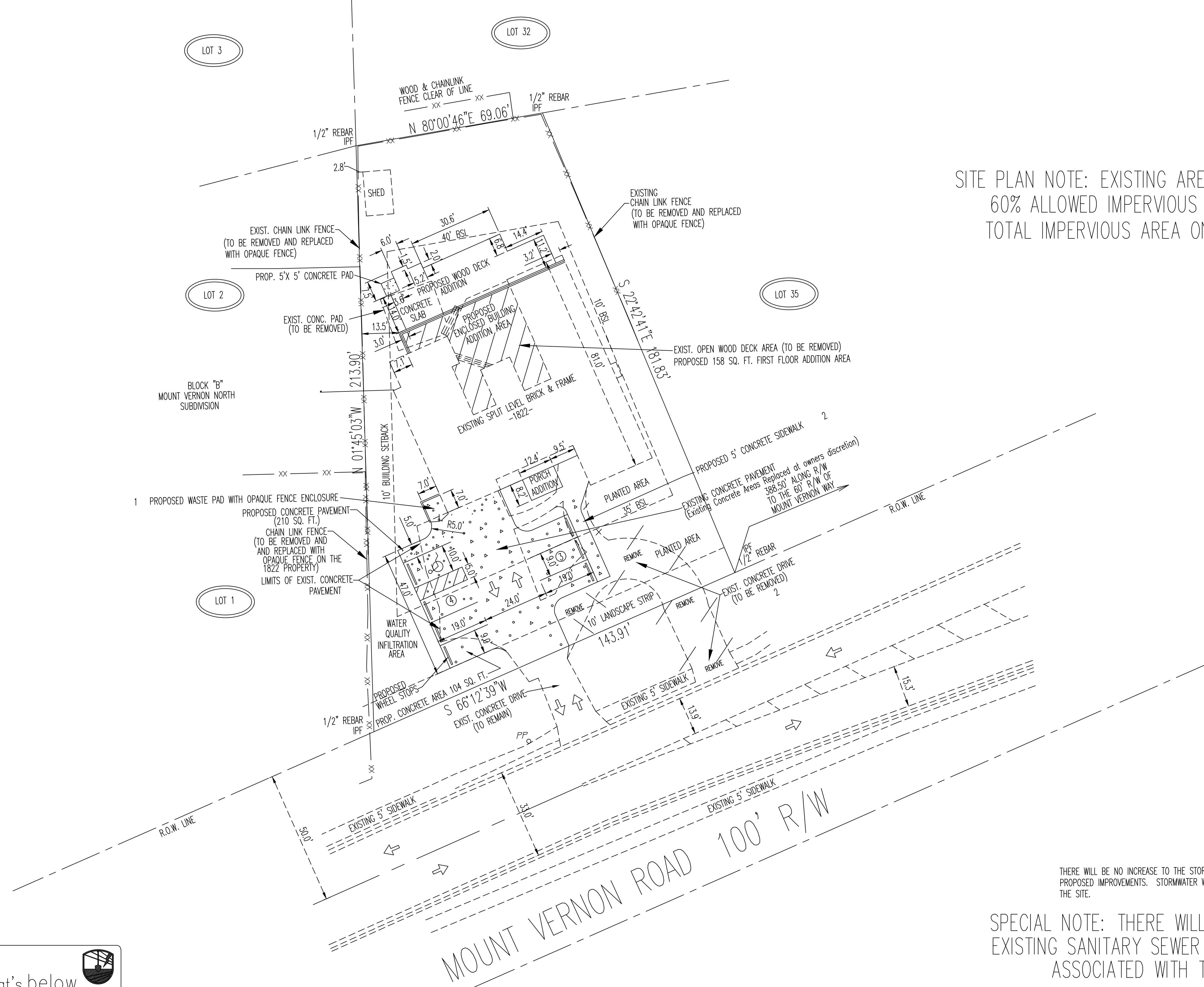
24 HOUR CONTACT: MS. ANNA KHOKHLAN  
 404-569-1150



APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

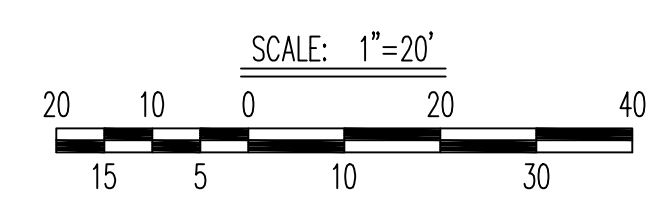
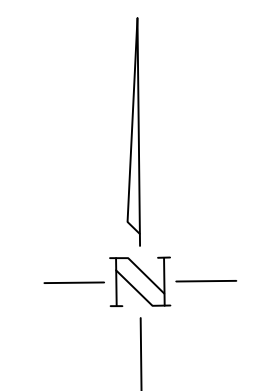
NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

SITE PLAN NOTE: EXISTING AREA OF LOT = .38 ACRES 16,552 SQ. FT.  
60% ALLOWED IMPERVIOUS AREA ON LOT = 9,931 SQ. FT.  
TOTAL IMPERVIOUS AREA ON LOT = 9,927 SQ. FT = 59.9%.



THERE WILL BE NO INCREASE TO THE STORMWATER RUN-OFF FROM THIS PROPERTY BASED ON THE PROPOSED IMPROVEMENTS. STORMWATER WILL INFILTRATE IN TO THE EXISTING PERVIOUS AREAS OF THE SITE.

SPECIAL NOTE: THERE WILL BE NO CHANGES TO THE EXISTING SANITARY SEWER AND WATER SERVICES ASSOCIATED WITH THIS PROPERTY.



24 HOUR CONTACT: MS. ANNA KHOKHLAN  
(404) 569-1150

**811** Know what's below.  
Call before you dig.  
Dial 811.  
Or Call 1.800.282.7411

REVISIONS	
1	10-20-22 CITY COMMENTS
2	12-01-22 CITY COMMENTS

GASMOG LEVEL II  
CERTIFICATION #001389  
ISSUED 11/22/2000  
EXPIRATION 11/22/2023

**Landworks Associates, Inc.**  
P.O. BOX 88834  
ATLANTA, GEORGIA 30356  
(770) 513-7100 environments2020@gmail.com  
"Celebrating 30 Years of Providing Dedicated Service To Our Clients!"

LEGACY MANOR PERSONAL CARE  
HOME-1822 MOUNT VERNON RD.  
LAND LOT 367, 18TH DISTRICT, PARCEL 048,  
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET TITLE	
SITE PLAN	
DATE:	12-01-22
JOB:	567-220202
DRW:	WJC
CHK:	JCA
SHEET NUMBER	





*"Bringing Nurse Practitioners and Physicians to Your Door"*  
2795 MAIN ST., W #27, SNELLVILLE, GA 30078  
P: 770.985.8001 F: 770.985.8028

*Patricia Gray-Smith, NP | Paul Allen, MD | Nicole Moncrieffe, NP | Maureen Kapatkin, NP*

22 December 2022

Re: Anna Khokhlan

To Whom It May Concern,

I am a nurse practitioner and have been servicing Anna Khokhlan's personal care homes for 15 years. Anna is an excellent caregiver. She is attentive and observant, understanding the nuances of delivering care to the geriatric and vulnerable populations. She has been essential in the care of my patients- communicating any issues or changes she has observed with her residents. She is a conscientious and dedicated caregiver, treating each of her residents as individuals and addressing their particular needs. I have often recommended Anna to my patients and their families when they are in need of personal care home placement. I would recommend her as a caregiver without hesitation. Additionally, Anna maintains excellent care of her homes and surrounding property.

Please feel free to contact me with any questions.

Sincerely,

Patricia Gray-Smith, APRN BC FNP/ANP

Jennifer and David Jones  
1830 Mount Vernon Road  
Dunwoody, GA 30338  
[REDACTED]

December 17, 2022

RE: LEGACY MANOR

To Whom it May Concern,

We live at the property adjacent to 1822 Mount Vernon Road, which we hope will become known as **Legacy Manor**. We have had many conversations with Anna Khokhlan and her family regarding their plans and application for the special-use permit. We feel that opening their home to seniors and/or memory care patients is a benefit to the community and support their efforts and permit application.

Some neighbors have voiced concerns about traffic on Mount Vernon Road being affected by Legacy Manor; however, we do not share these concerns based on our experience living here since 2015. The former owners of 1822 Mount Vernon Road were a multi-generational family with numerous cars as well as elderly parents. We are aware of the anticipated vehicles required for the family and staff at Legacy Manor and believe there will be fewer cars at the property than with the previous owner. Additionally, over the years we have seen several ambulances stopped at 1822 Mount Vernon Road for the elderly parents and witnessed that it generated little to no impact on traffic. The home has both a bike lane and sidewalk in front of it which allowed ambulances to park to the side of the travel lane and traffic could continue down Mount Vernon Road.

I met Anna Khokhlan and her family (son, daughter, son-in-law, and granddaughter) summer 2021 when they were viewing the next-door house for sale. I was immediately fond of the family. Sadly, I knew very little about the property and could not advise them of the construction nightmares their renovation was about to uncover. As the demolition began, so did my friendship with Anna and Roman. I was heartbroken for Anna and Roman as I learned about the condition of the house and watched as it was reduced to a few studs. Yet through this setback, they envisioned a new purpose for their home and our community's future. To share some my own experience, my husband's father passed away in 2017 from Multiple System Atrophy (MSA) or Shy-Drager syndrome. MSA is a degenerative disorder that ultimately left my father-in-law bed ridden. To keep him from living in a nursing facility, my mother-in-law became his fulltime care giver. We have witnessed firsthand trying to imperfectly convert your home for special needs, learning nursing skills as the situation dictates, and the physical and emotional toll to a caregiver. We feel this has given us a somewhat unique perspective regarding the need for alternatives to traditional nursing homes. As for my parents, I watch them agonize as their friends are rehomed to memory care facilities. They understand, but cannot change, that typically grown children are unable to quit their jobs/income, become fulltime care givers to aging parents, and remain as mothers and fathers to their own growing children. I view the proposal for Legacy Manor through the lens of how much compassion and grace the Khokhlans can provide our community. If someday my parents or mother-in-law need senior/memory care, Legacy Manor would be an answer to an unvoiced prayer.

Please contact me if you have any questions.

Sincerely,

*Jennifer Jones*

February 7, 2023

**RE: SLUP 22-03 Application**

Dunwoody City Council,

I write to vehemently oppose the special land use permit application for **1822 Mt. Vernon Road**. While any resident of the city of Dunwoody can voice concerns over the application, I write as a homeowner listed in the owners within 1000 feet of the property in question. I live at **1335 Vernon North Drive**. As a homeowner within proximity to the house in question, I write to voice my concerns and how they will not only impact the city as a whole, but my family and me directly.

First, Dunwoody is a residential area. There are clear areas in the city that are listed for commercial use only (i.e., Dunwoody Village, Jett Ferry Road Area, Perimeter Mall). The proposal here would be to approve commercial use outside of those already set commercial areas. The trickle-down impact should this proposal be approved would be drastic. If this is approved, more special lane use permit applications will undoubtedly be filed for similar operations within residential subdivisions. I am not against homes for the elderly. I am against homes used for commercial purposes within residential areas. Additionally, the individuals bringing the application have another home for the elderly in Gwinnett. A quick search of the location of this house finds it to be in an area with multiple other approved commercial properties, including a daycare, auto repair shop, roofing company and school. A house such as this could be appropriate for in Dunwoody, but not in the residential area proposed in the application.

The impact on that road specifically also would be drastic. Mt. Vernon Road is a very busy road. As a homeowner who uses this road multiple times per day, I can truly speak to the increase in cars as Dunwoody is such a sought-after location for families to move. Adding a home for the elderly, while not a super high capacity, will no doubt have an impact on traffic. To give an example, even in a commercial area, the addition of a Chipotle in the village has drastically impacted traffic for cars crossing the intersection at Chamblee Dunwoody Road to pass Chipotle. Adding more traffic to this area is downright shortsighted and a misjudgment of the impact on the local community.

Finally, this entire application process seems a bit odd. The buyers, also the persons who submitted the application for special land use, tore down the house first before filing this application for a special land use permit. This leaves a huge blemish on a main street in Dunwoody. Was this done so that community members would encourage a building of any kind be built to remove the eyesore that is currently present? Was the permit to tear down approved with an understanding that they would rebuild? And then they put in the special land use permit? That process appears backwards and a deliberate attempt to skirt the process laid out by the city.

Overall, I wish to convey my ardent opposition to this application. Should this be approved, the propensity for more similar applications to be approved in subdivisions is likely and traffic is likely to degrade in the area. I strongly encourage the members of the Planning Commission and City Council to consider the many community members in opposition for similar reasons. The city of Dunwoody is sought after by many, including my family, for its residential areas void of commercial businesses. I moved to Dunwoody for the vibrant and engaged community. I believe this application detracts from all the positives of Dunwoody and could lead to a degradation of solely residential areas.

I would be happy to speak directly to the Planning Commission should any of you have any additional questions.

Thank you for your time and consideration,



Colin Muething, PhD, BCBA-D  
Program Manager – Severe Behavior Intensive Outpatient Program  
Marcus Autism Center



Assistant Professor  
Emory School of Medicine

**Madalyn Smith**

---

**From:** courtney wargula [REDACTED] >  
**Sent:** Tuesday, January 17, 2023 4:37 PM  
**To:** Madalyn Smith  
**Subject:** Memory care facility on mt Vernon Road

Caution: External Message

Madalyn

I am emailing you to voice my concern regarding the proposed memory care facility that might be built on mt Vernon Road in a residential community. I have seen plans for the facility and to be honest that house is not suited for dunwoody the houses on mt Vernon are your basic home. That lot is too small for a house that size and wouldn't be suitable to handle a ton of cars on it and if that facility was built it would make the house values in Dunwoody increase significantly which isn't good. I work in the real estate industry and know how this facility would make a huge mess and I know the residents living on mt Vernon or that would back up to that facility are very unhappy. We don't need more traffic on mt Vernon especially during rush hour which is already a mess.

Courtney ,  
Sent from my iPhone

**Madalyn Smith**

---

**From:** Gina Paridy [REDACTED]  
**Sent:** Wednesday, February 8, 2023 1:18 PM  
**To:** Richard McLeod; Lynn Deutsch; Paul Leonhardt; Donnie Sullivan; Madalyn Smith  
**Cc:** Paul Paridy  
**Subject:** 1822 Mount Vernon Way

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Caution: External Message

Good Afternoon City of Dunwoody Planning Commission,

We are writing in regards to 1822 Mount Vernon Road Special Land Use Permit Request Case #22-03 and relief request from Sec 27-202. We have reviewed their application and given this a lot of thought given we border this property. While we find the idea to be nice in theory, there are many reasons why this SLUP should not be approved and strongly discourage the approval of these requests based on the following reasons:

1. The activities of this property and its owners to date give us no confidence in their ability or honesty around future use and actions on property. From changing plans, manually demolishing a house to what has been an eyesore for our community, and not being forthright about plans or communicating with neighbors.
2. The size of the building is much too large for the associated property.
  - Permeable Soil: We have already had water issues in our backyard due to lack of care and drainage on the 1822 Mount Vernon Road property. We've already spent thousands of dollars to remediate and will likely have to spend more.
  - Activity at the property: A 7 in home care residence will require lots of deliveries, likely a dumpster, and consistent visitors. Evidence in request for additional parking. It is well known how busy Mt. Vernon Road is, and this would add to traffic flow issues and noise levels.
3. The lack of privacy offered to our home, as they are requesting a large 2 story deck. The fence they installed isn't even a privacy fence, so it truly offers us no privacy at all.
4. Concern for future home values around the property, as these types of properties are proven to decrease value of other homes nearby.
5. The usage of a property as a retirement facility is a nice idea but limits its future use because it will be built specifically for that.

We hope that you will consider our concerns when deciding on approving/denying this SLUP and relief from Sec. 27-202. Thank you for your time and consideration when making this decision. We appreciate all you do to make Dunwoody the great city it is, and the reason we choose to raise our family here.

Sincerely,

Paul and Gina Paridy

1563 Vernon Way Ct. Property Owners

## Comments on SLUP Request #22-03 (the "Request") for 1822 Mount Vernon Road (the "Property")

Debbie Brown [REDACTED] >

Thu 2/9/2023 4:32 PM

To: Madalyn Smith <Madalyn.Smith@dunwoodyga.gov>

Caution: External Message

Hello. We are homeowners residing on Mount Vernon Way in Dunwoody. We are aware of the February 14th Planning Commission meeting at which the Request will be considered. We have read the application that was filed with the City of Dunwoody by the owners of the Property (the "Applicants"). We would like the Planning Commission to consider our comments concerning why the Request should be denied.

1. The line of demarcation between commercial and residential areas along Mount Vernon Road is clear and it should have been no surprise to the Applicants when they purchased the Property that it was designated as residential. To our knowledge neither Dunwoody nor Dekalb County (prior to the city's incorporation) has granted a commercial status that deviated from the well established border between residential and commercial properties along Mount Vernon Road. Our concern is simple: If this Request is granted, what type of other commercial SLUPs will be granted for properties along Mount Vernon Road? How will the Commission be able to deny others seeking to open commercial ventures in this residential area? If granted, this will simply be the proverbial "camel's nose under the tent" that will allow additional commercial creep into the residential areas of Dunwoody.

2. We firmly believe that there is no compelling reason presented by the Applicants that warrants granting the Request:

(i) The Applicants cite the City's Comprehensive Plan regarding senior living options as a reason why the Request should be granted. However, in reading the Comprehensive Plan, it is clear that this type of commercial business is not the solution the city has in mind. The Comprehensive Plan speaks to permanent living arrangements for seniors in the current residential areas where they may have family or have been a previous resident. It is not referring to a for-profit "Elder and Memory Care Facility" where individuals unrelated to the Applicants reside temporarily while they are in need of custodial care.

(ii) Dunwoody is not lacking in Elder and Memory care facilities. A simple Google search of "Elder and Memory Care Facilities" turns up at least five such facilities that are within a few miles (or less) of the Property. There is no community need for the proposed facility and there is no reason for granting the Request that outweighs the homeowners' rights to have their neighborhood remain residential in nature, as they expected when they purchased their homes.

3. If the Request is granted, traffic on Mount Vernon Road will be impacted and there will be adverse impacts upon the neighboring properties. It should be noted that the Applicants have already decided that the 4 parking spaces that would accompany the SLUP, if granted, are not sufficient since they have also requested a variance that would permit 7 parking spaces instead.

The Property is only .38 acres, yet the Applicants wish to add a 6895 square foot facility *and* 7 parking spaces in that small space. Not only would this be unappealing aesthetically, but it would create a slow down on Mount Vernon Road and adjoining streets as the owners of these cars attempt to enter and exit the Property. The Applicants state that all of those spaces would not be occupied at all times. But if that is so, why wouldn't four spaces be sufficient? It is our belief that there will be a high level of activity at this site that is inconsistent with the residential nature of the Property and the surrounding homes.

Thank you for considering these comments. We strongly encourage the Commission to deny the Request at the upcoming meeting.

Sincerely,  
Deborah and Richard Brown  
5019 Mount Vernon Way

Caution: External Message

Planning Commission, Mayor, and Council Members,

My name is Mike DiLoreti, and I am a homeowner in Dunwoody in close proximity to 1822 Mount Vernon Road (referenced on page 28 of the pdf). I am emailing to express my concerns and opposition to the SLUP applied for at 1822 Mount Vernon Road.

Caring for aging seniors is commendable for our community, but the applicant fails various SLUP tests required for approval of this specific project and location. Below, are 5 reasons I believe SLUP (22-03) should be denied:

1) **The proposal fails SLUP consideration requirement #3**, which states: "*Whether the proposed Site provides adequate land area for the proposed use, including provision of all required open space, off-street parking*". The proposed use of the development requires 4 parking spaces. But the application states additional parking spaces are required and includes a companion variance application to exceed the parking spaces considered by Dunwoody Code to be adequate for this specific use.

2) **The proposal fails SLUP consideration requirement #4**, which states: "Whether the proposed use is compatible with adjacent properties and land uses." The development to be constructed is not compatible with adjacent properties. At 6,895 heated square feet, the proposed development will be more than twice the size of any adjacent property. Further, granting this home a Variance to have off-street spaces for 6 vehicles (not the basic 4 spaces) for a Personal Care Home is inconsistent with parking areas for the adjacent single-family homes. Evidence of incompatibility with adjacent properties is below.

Side parcels to 1822 Mt. Vernon Rd

- 1830 Mt. Vernon Rd: 3,188 sf
- 5100 Mt. Vernon Way 3,590 sf
- 5101 Vernon Ridge Dr 2,325 sf
- 5109 Vernon Ridge Dr 3,305 sf

Rear parcels to 1822 Mt. Vernon Rd

- 5116 Mt Vernon Way 2,879 sf
- 1563 Vernon Way Court 2,825 sf
- 5115 Vernon Ridge Dr 2,400 sf

Across-the-street parcels from 1822 Mt. Vernon Rd

- 1805 Mt Vernon Rd 3,269 sf
- 1813 Mt. Vernon Rd 3,154 sf
- 1823 Mr. Vernon Rd 2,413 sf
- 5076 Mt. Vernon Way 3,174 sf

3) **The proposal violates the definition of Group Living (including a Personal Care Home) of Dunwoody's Code of Ordinances Sec. 27-112 (2): Group living. Residential occupancy of a dwelling by other than a "household"**. The codified reference to "other than a household" means the development cannot simultaneously serve as a primary residence household dwelling for the applicant's family while also serving as a Personal Care Home for others. The application states on PDF page 8 of the application that the applicant's family will reside here, as well. Additionally, PDF page 57 is the community meeting notice which states the applicant and her son will also live there. The Dunwoody Code is clear - either it's a Group Living dwelling OR it's a primary residence

Packet page:...



household dwelling, but it cannot be both simultaneously without City Council amending the Dunwoody Code.

4) **Potential 'eyesore' argument** - The new owner created the eyesore by premature demolition and should not be rewarded with a SLUP to do something different than a single-family home. A SLUP should have been obtained prior to creating any potential eyesore. Personally, I do not believe the premature demolition/actions by the owner to create an eyesore should influence the decision making process.

5) **The SLUP application fails honest representations and/or inconsistencies** - In the PDF on page 8 of the SLUP application, it states "The Site will consist of four parking spaces accessed through a single entrance." PDF page 9 of the SLUP application states, "The Applicant is not requesting additional variances or waivers." Both applicant statements cannot be true, as the SLUP application also has a variance application to expand parking area from 4 spaces to 6 spaces to make the new development work.

Please consider the concerns of the neighbors in the immediate area and do not approve the SLUP for this property.

Respectfully,  
Mike DiLoreti

Planning Commission and Council Members,

My name is Luke Gaines, and I am a homeowner in Dunwoody in close proximity to 1822 Mount Vernon Road. I am emailing to express my concerns and opposition to the SLUP applied for at 1822 Mount Vernon Road.

While the purpose of the building is a good cause, the location is not appropriate. Placing a commercial building in the middle of residential homes is not a good look for our community and takes away from the neighborhood feel. The location is also on a very congested road without turn lanes. This commercial building will have higher traffic flow than a residential home, creating even more congestion on Mount Vernon Road. There is no reason to disrupt the continuity of the neighborhood by placing a commercial building in the middle of a neighborhood. There is a commercial development less than a mile away at Dunwoody Village. If the applicant likes the Dunwoody area they should look there. Allowing commercial buildings to spread into the residential homes will set a bad precedent and disrupt the amazing neighborhood feel that currently exists.

On the more technical side, the applicant fails various SLUP tests required for approval of this specific project and location. Below, are 5 reasons I believe SLUP (22-03) should be denied:

1) **The proposal fails SLUP consideration requirement #3**, which states: "*Whether the proposed Site provides adequate land area for the proposed use, including provision of all required open space, off-street parking*". The proposed use of the development requires 4 parking spaces. But the application states additional parking spaces are required and includes a companion variance application to exceed the parking spaces considered by Dunwoody Code to be adequate for this specific use.

2) **The proposal fails SLUP consideration requirement #4**, which states: "Whether the proposed use is compatible with adjacent properties and land uses." The development to be constructed is not compatible with adjacent properties. At 6,895 heated square feet, the proposed development will be more than twice the size of any adjacent property. Further, granting this home a Variance to have off-street spaces for 6 vehicles (not the basic 4 spaces) for a Personal Care Home is inconsistent with parking areas for the adjacent single-family homes. Evidence of incompatibility with adjacent properties is below.

Side parcels to 1822 Mt. Vernon Rd

- 1830 Mt. Vernon Rd: 3,188 sf
- 5100 Mt. Vernon Way 3,590 sf
- 5101 Vernon Ridge Dr 2,325 sf
- 5109 Vernon Ridge Dr 3,305 sf

Rear parcels to 1822 Mt. Vernon Rd

- 5116 Mt Vernon Way 2,879 sf
- 1563 Vernon Way Court 2,825 sf
- 5115 Vernon Ridge Dr 2,400 sf

Across-the-street parcels from 1822 Mt. Vernon Rd

- 1805 Mt Vernon Rd 3,269 sf

- 1813 Mt. Vernon Rd 3,154 sf
- 1823 Mr. Vernon Rd 2,413 sf
- 5076 Mt. Vernon Way 3,174 sf

3) **The proposal violates the definition of Group Living (including a Personal Care Home) of Dunwoody's Code of Ordinances Sec. 27-112 (2): Group living. Residential occupancy of a dwelling by other than a "household"**. The codified reference to "other than a household" means the development cannot simultaneously serve as a primary residence household dwelling for the applicant's family while also serving as a Personal Care Home for others. The application states on PDF page 8 of the application that the applicant's family will reside here, as well. Additionally, PDF page 57 is the community meeting notice which states the applicant and her son will also live there. The Dunwoody Code is clear - either it's a Group Living dwelling OR it's a primary residence household dwelling, but it cannot be both simultaneously without City Council amending the Dunwoody Code.

4) **Potential 'eyesore' argument** - The new owner created the eyesore by premature demolition and should not be rewarded with a SLUP to do something different than a single-family home. A SLUP should have been obtained prior to creating any potential eyesore. Personally, I do not believe the premature demolition/actions by the owner to create an eyesore should influence the decision making process.

5) **The SLUP application fails honest representations and/or inconsistencies** - In the SLUP application, it states "The Site will consist of four parking spaces accessed through a single entrance." However, later the SLUP application states, "The Applicant is not requesting additional variances or waivers." Both applicant statements cannot be true, as the SLUP application also has a variance application to expand parking area from 4 spaces to 6 spaces to make the new development work.

Please consider the concerns of the neighbors in the immediate area and do not approve the SLUP for this property.

Respectfully,

Luke Gaines

Sent from my iPhone

Caution: External Message

Good morning:

Today is the meeting for the proposed Special Land Use Permit (SLUP 22-03) for 1822 Mount Vernon to allow a 7-resident personal care home in an R-100 zoning district.

**My husband and I would like to formally oppose this use.**

We live just down the road on Ashmont Court and battle the ever-increasing activity on Mt. Vernon Road.

**There are several reasons to reject this use and for ease of reference I will list them below:**

1. The use is commercial and this will be in the middle of residential. By allowing this use it opens the door for more commercial thus devaluing the homes in the area.
2. The proposed building and parking **are too large for the lot**. The rendering looks nice and spacious because it does not show the homes located next to it. It violates the setbacks and the neighbors who are long term owners will have a huge building right next to their homes.
3. The old home on the site already violated the parking codes and the new site wants to increase the parking. This will further lead to the commercial use and devalue of the homes in the neighborhood.
4. The person opening the home states they will live there full time. I asked a lot of questions about the business and they had a VERY hard time answering questions. They explained that the house was too expensive for them so they decided to open the care facility. **THIS IS NOT A BUSINESS PLAN**. This is a huge warning sign that this business is destined to fail and Dunwoody will be left with a structure that will likely go back to the bank and no one will want to live in it since it will be built as a group home.
5. If this is a home for memory care – what comes next? This is not a commercial area – so what happens when the building or business changes hands. This is not a residential home and will be commercial in use.
6. Mt. Vernon is BUSY – this will not only add to traffic but is in a horrible location for emergency services to get to the proposed business whose main objective is to provide health care.
7. The company proposing the group home had very little understanding of permitting and how to operate. They even stated that they will have a doctor visit the home once a week. I asked what are the chances that all the people use the same doctor. They actually shrugged their shoulders and could not answer. This is a half-baked business plan.

I hate that the owners bought a lot and then figured out they could not afford it so decided to open a business. This is almost as big of a red flag as the fact they that want to open a group home on a tiny lot with an oversized structure that will be abandoned in the near future.

Please oppose this use and preserve our residential Dunwoody neighborhood. We all bought homes here outside of the commercial district for a reason. Please protect us from this terrible business plan from an outsider..

Thank you,  
John & Kari Downing  
770-265-6278

**Site Visitor Name:** Elizabeth Taptich

**Site Visitor Email:** [REDACTED]

Dear City Council Members,  
I object to the proposal to turn 1822 Mt. Vernon Rd. into a residential personal care home.

Sincerely,  
Elizabeth Taptich

**Madalyn Smith**

---

**From:** Judy Landers [REDACTED]  
**Sent:** Wednesday, February 15, 2023 1:39 PM  
**To:** planningcommission@dunwoodyga.gov; Madalyn Smith; Lynn Deutsch  
**Cc:** Richard McLeod; Paul Leonhardt; Donnie Sullivan  
**Subject:** 1822 Mt Vernon Road + Planning Commission Meeting of 2/14/2023

**Importance:** High

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Caution: External Message

I spoke at the public meeting Feb 14, 2023. My hope was that all would listen to concerns, especially those of us who live adjacent to 1822 or see the property from our homes. In addition, what looked to be a compromise to reduce the size of the dwelling to care for four adults vs seven, quickly derailed into comments from commissioners that were not appropriate for public officials in a public meeting.

1) After the home was vacated by the renters, it stayed empty for many months. Concerns begin late August/early September 2022 with the arrival of the required letter sent to homeowners from Anna and Roman Khokhlan. I attended the October 8, 2022 public meeting held by the Khokhlan. Given the size and scope of their project, I could not imagine approval from the City Of Dunwoody. In fact, I'm still in disbelief that Legacy Manor is still on the table. I'm not in opposition to an elder/memory care facility in a residential neighborhood. My opposition is the location, size and scope of the building, along with the immediate razing of the previous home to the eyesore that it is present day. This happened without prior knowledge, neighbors felt helpless. Where were our elected officials?

2) Before the property changed hands, neighbors endured loud noise at all hours, garbage that could not be contained in County provided containers, rats, and more.

3) The new owners built a fence during the time of demolition. The fence is metal vertical bars supported by concrete pillars. It is not attractive and looks like a fence for a commercial facility. The property is visible - the fence is not a screen. Several of you mentioned a screen with a fence and/or vegetation for the property. Are you not aware that a new fence has been installed? How did that happen before the public meeting Oct 8, 2022? Will the Khokhlans be required to remove the current fence for one that provides more than a boundary line?

4) Much has happened since the rental property was vacated. And what has happened has never made sense. For those who live adjacent to 1822 or see the property from our own property, the demolition, and the new fence happened without notice of a zone change request. Last night after the meeting ended, some of us were told the neighbor adjacent to the property, the neighbor who spoke in support of the Khokhlans, will be receiving a new concrete driveway courtesy of the Khokhlans.

5) The attorney representing the Khokhlans opened his presentation with plus/minus 0.38 acres. Where did that number come from? I was astonished the attorney did not have correct information at this late date and in a public meeting. Although the City quickly verified 0.47 acres, the lack of professionalism is yet another "head scratching" moment for truth and openness that has yet to be displayed.

When was the property last surveyed? Wouldn't it be in the best interest of all stake holders to require a new survey? Where did 0.38 come from? As far as I know, DeKalb County does not require a property survey for a R-1 real estate purchase. I have lived in 8 other states, deed transfers and property descriptions at the local level are not always accurate. Is the City of Dunwoody willing to proceed with 0.38 or 0.47 or 0.50 without verification? A new property survey seems like a no brainer to me.

6) Personal comments made by commissioners towards the end of the public meeting were inappropriate and arrogant. Walking in The Branches and noticing tear downs for very large homes, sitting in traffic on Mt Vernon Road for long periods of time, remarks on children and the number of cars personally owned, and finally a commissioner stated she wanted to place her Mother on the wait list at the Khoklan's facility, surely this remark must be a conflict of interest. These comments by public officials before the vote, left those of us in opposition dumbfounded, how is this happening. As far as I know, none of you live within sight of 1822 - as if to say, "not my problem, not in my backyard." I had confidence before 6pm a compromise could and would be made, a smaller home was my hope. However, I have no confidence in this group to make decisions based on common sense. How dare any of you bring up a need to end the meeting soon because it was Valentine's Day.

7) Traffic. Many who spoke in opposition, including myself, no longer have our parents or others from older generation family. We know well the difficulties of transition to a care facility. Whatever policy the Khokhlans have for visitors is not realistic. Decisions on the future impact of quality of life in the immediate vicinity cannot be made regarding an appointment policy for loved ones and families. Some of you made good points regarding additional Khoklan family members living on site. I'm sure that was a consideration when 1822 was a rental. Neighbors know how that turned out. As for Legacy Manor, at best 3 cars/day.

Suppose a visit by a medical professional, doctor, nurse, OT or PT professional is required. Suppose at the same time a delivery such as pharmacy, package delivery, home maintenance such as HVAC, plumbers, etc and on top of that a 911 call is required. Yes, not likely, but possible. Consider parking for emergency vehicles plus entrance to and from 1822.

And the worst case scenario, an additional 911 call from my neighborhood. Mt Vernon Road is a two lane. Although highly unlikely, it is possible, and that is my point. Your responses and body language with the unlikely to happen, only adds to my concerns: additional emergency vehicles maneuvering past 1822 via Mt Vernon Road. It is your job to consider all possibilities, not dismiss the unlikely possibilities. From my home, EMS units or other emergency vehicles are seen routinely on Mt Vernon Way.

Their facility in Lawrenceville is lovely, but is not in a R-1 neighborhood. It is close to a hospital and plenty of parking on public streets.

8) I was shocked at the lack of knowledge of impervious services and runoff water from this group. A remark from a commissioner to the entire Planning Commission was made towards the end of the hearing, if this request had been for a private home of 6900 sq ft, the request would have been passed without opposition. Who is looking out for citizens of Dunwoody? Do you understand the long-term damage of runoff water with no place to go? Will Dunwoody continue to build, and as the gentleman stated, large footprint homes without opposition? A storm water culvert on Vernon Way Court between my property and 1559 carries runoff water to a natural created stream bed that runs along rear property lines. How will it take for the City of Dunwoody to recognize the domino effect of unmanaged runoff water? The increase of impervious surfaces taking place near and on 1822 is of concern for our neighborhood and its natural stream beds. Down the road, as more and more large homes are built, what are future plans for runoff water created by impervious surfaces?

9) Is it realistic for one owner and one support staff member to care for 7 adults with memory care diagnosis? Bathroom cleaning alone along with clean bedding are not weekly chores, often daily chores. The idealist description of daily life at Legacy Manor is beautiful, but reality for those of us who know what it takes for elder/memory care adults 55+, makes us question the proposed parking vision. May I remind all, it is your job to consider the "what ifs," to consider the impact on all state holders.

Judy Landers  
1564 Vernon Way Court  
Dunwoody GA, 30338

**Madalyn Smith**

---

**From:** Gina Paridy [REDACTED] >  
**Sent:** Wednesday, February 15, 2023 1:05 PM  
**To:** planningcommission@dunwoodyga.gov; Madalyn Smith  
**Cc:** Richard McLeod; Paul Leonhardt; Donnie Sullivan; Paul Paridy; Lynn Deutsch  
**Subject:** Re: 1822 Mount Vernon Way

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Caution: External Message

Planning Commission,

I spoke at last night's meeting, and I was extremely disheartened at the end result. I feel that many of you did not listen to the concerns of the attendees who spoke against this project. The overwhelming majority of the public comment was against this SLUP proposal.

Let me state, this has been a nightmare from the beginning, and will continue to be an issue in my backyard. The owners of this property have been dishonest and non-neighborly from the start, and I have no confidence that they will change their ways. They took down a fence without telling us, and our dog ended up almost getting hit on Mt. Vernon Road. That was just the beginning. Piece by piece they dismantled their home into all hours of the night. My husband went over to speak to them, and they made no mention of their plans to build a personal care facility.

While we understand the need to support aging Dunwoody residents and appreciate the concept, this property and the size they are proposing makes no sense. Approving this project now allows for facilities (in their lawyers words) to operate in Dunwoody.

There were many inappropriate and unprofessional comments made by members of the Commission that made me feel that a majority of you do not have the community's best interest at heart. This is not just a McMansion down the street in the Branches, and to be clear I would have similar concerns about the water runoff on my property if that was being built. I hope in the future you all will listen to your community when making decisions that impact the homes around them. We feel ignored. I know there were countless letters written in opposition to this SLUP, and the numerous Dunwoody residents who spoke out against this last night.

We purchased a home in Dunwoody because of the careful planning that goes into growth and changes in the city. With that being said, I do not feel that you served the community in that manner last night and appreciate the three of you who voted against approving the SLUP.

Thank you,  
 Gina Paridy  
 1563 Vernon Way Court Property Owner

On Sun, Feb 12, 2023 at 4:12 PM Lynn Deutsch <[Lynn.Deutsch@dunwoodyga.gov](mailto:Lynn.Deutsch@dunwoodyga.gov)> wrote:



Good evening Mr. and Ms. Paridy,

Before Dunwoody City Council hears this case, it will be reviewed by the Dunwoody Planning Commission. If you have not yet sent your note to this Commission, you can do so by emailing [planningcommission@dunwoodyga.gov](mailto:planningcommission@dunwoodyga.gov).

There is a public hearing on this application on Tuesday, February 14, 2023, at 6 PM at Dunwoody City Hall, 4800 Ashford Dunwoody Road Dunwoody 30338. You are welcome to both send an email and attend the hearing, if you desire.

Have a nice evening.

Thanks,

Lynn Deutsch  
Mayor  
City of Dunwoody  
404-271-9962

**Please Note: I am sending this message at a time that works well for me. I don't expect a response outside of your working hours.**

---

**From:** Gina Paridy [REDACTED] >  
**Sent:** Wednesday, February 8, 2023 1:17 PM  
**To:** Richard McLeod <[Richard.McLeod@dunwoodyga.gov](mailto:Richard.McLeod@dunwoodyga.gov)>; Lynn Deutsch <[Lynn.Deutsch@dunwoodyga.gov](mailto:Lynn.Deutsch@dunwoodyga.gov)>; Paul Leonhardt <[Paul.Leonhardt@dunwoodyga.gov](mailto:Paul.Leonhardt@dunwoodyga.gov)>; Donnie Sullivan <[Donnie.Sullivan@dunwoodyga.gov](mailto:Donnie.Sullivan@dunwoodyga.gov)>; Madalyn Smith <[Madalyn.Smith@dunwoodyga.gov](mailto:Madalyn.Smith@dunwoodyga.gov)>  
**Cc:** Paul Paridy [REDACTED]  
**Subject:** 1822 Mount Vernon Way

Caution: External Message

Good Afternoon City of Dunwoody Planning Commission,

We are writing in regards to 1822 Mount Vernon Road Special Land Use Permit Request Case #22-03 and relief request from Sec 27-202. We have reviewed their application and given this a lot of thought given we border this property. While we find the idea to be nice in theory, there are many reasons why this SLUP should not be approved and strongly discourage the approval of these requests based on the following reasons:

1. The activities of this property and its owners to date give us no confidence in their ability or honesty around future use and actions on property. From changing plans, manually demolishing a house to what has been an eyesore for our community, and not being forthright about plans or communicating with neighbors.
2. The size of the building is much too large for the associated property.
  - o Permeable Soil: We have already had water issues in our backyard due to lack of care and drainage on the 1822 Mount Vernon Road property. We've already spent thousands of dollars to remediate and will likely have to spend more.
  - o Activity at the property: A 7 in home care residence will require lots of deliveries, likely a dumpster, and consistent visitors. Evidence in request for additional parking. It is well known how busy Mt. Vernon Road is, and this would add to traffic flow issues and noise levels.

3. The lack of privacy offered to our home, as they are requesting a large 2 story deck. The fence they installed isn't even a privacy fence, so it truly offers us no privacy at all.
4. Concern for future home values around the property, as these types of properties are proven to decrease value of other homes nearby.
5. The usage of a property as a retirement facility is a nice idea but limits its future use because it will be built specifically for that.

We hope that you will consider our concerns when deciding on approving/denying this SLUP and relief from Sec. 27-202. Thank you for your time and consideration when making this decision. We appreciate all you do to make Dunwoody the great city it is, and the reason we choose to raise our family here.

Sincerely,

Paul and Gina Paridy

1563 Vernon Way Ct. Property Owners

**Madalyn Smith**

---

**From:** susanedmonson [REDACTED] >  
**Sent:** Tuesday, February 14, 2023 12:54 PM  
**To:** Madalyn Smith  
**Subject:** Objection to Khoklan special use permit

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Caution: External Message

I have no quarrel with what the Khoklans' stated objective is, just where they want to do it. And I strenuously object to the way they have gone about it, and the implications for the area.

When the subject first came up I did a bit of research. The property in question was purchased for about \$500,000 AND THE HOUSE TORN DOWN. (What a lovely eyesore for the neighborhood all this time.)

I assume that such a personal care facility would have to meet certain standards of safety which would include such things as strong out door lighting 24 hours a day, an alarm system rather louder than in a typical residence, etc. In addition they are requesting permission for additional parking. I have looked at the lot and frankly do not see how they would be able to manage all that in that space. It certainly would not blend in with the rest of the neighborhood.

Please do not hasten the demise of residential Dunwoody by granting this special land use permit!

Susan Edmonson  
5052 Mt. Vernon Way  
Dunwoody GA 30338  
residing here since 1984

Caution: External Message

Dear council members,

I, Minh Tran, am writing to bring to your attention a critical error made by the city staff in the recent passing of the Special land use permit at 1822 Mount Vernon Road. While the permit was granted, the city staff had mistakenly violated the city's zoning requirements, which directly contradicts Section 27-58 of the Code of Ordinances.

As per the city zoning requirements, the single dwelling district zone R-100 only allows a maximum lot coverage of 40% for lot areas less than 19,999 sqft. However, the application listed the total impervious area on the lot as 9,927 sq ft on 0.38 acres (16,552 sq ft), which exceeds the allowed coverage by 3,307 sq ft. It is evident that the city staff incorrectly applied the 60% coverage for institutional uses exception to this residential application, leading to incomplete and inaccurate information presented to the public and the commission.

I have attached supporting documents below to show further the error made by the city staff. Given this information, I respectfully request the council not to hold a meeting on this application until the city staff has conducted a more detailed review in accordance with Dunwoody zoning requirements.

It is imperative that we ensure the city's zoning requirements are strictly followed and any exceptions or variances are made only after a thorough and complete review. We should not hold a meeting based on incorrect and conflicting information that violates the city's zoning requirements.

I live at 5109 Vernon Ridge and I am deeply concerned about this issue. I appreciate your attention to this matter and look forward to hearing back from you.

Thank you for your time.

Sincerely,

RESIDENTIAL		
<b>Household Living</b>		
Detached house	P	P
Attached house	-	P
Multi-unit building	-	-
<b>Group Living</b>		
Convent or monastery	S	S
Fraternity or sorority	-	-
Nursing home	-	-
Personal care home, family (1—4 persons)	S	S
Personal care home, group (5—7 persons)	S	S
Personal care home, community (8+ persons)	-	-
Child caring institution (1—6 persons)	-	-
Community living arrangement (1—4 persons)	P	P
Shelter, homeless		

**QUASI-PUBLIC AND INSTITUTIONAL**

**Day Care**

Day care facility, adult (6 or fewer persons)	S	S
Day care facility, adult (7 or more)	-	-
Day care facility, child (6 or fewer persons)	S	S
Day care facility, child (7 or more)	-	-

**Educational Services**

Kindergarten	-	-
Schools, private elementary, middle or senior high	S	S
<b>Place of Worship</b>	S	S
<b>Utility Facility, Essential</b>	E	E

# Proposal

- Setbacks
  - Front: Contextual
  - Side: 10 feet
  - Rear: 40 feet
  - *Proposed structure meets the setbacks*
- Height
  - Maximum height: 35 feet
  - *Proposed structure is under the maximum*
- Lot Coverage
  - Maximum lot coverage is 60% for institutional uses
  - *Proposed site plan meets this requirement. Stormwater mitigation will be required. An example of mitigation would be infiltration trenches or flow wells.*



C	<b>Maximum Lot Coverage</b> (percent) [8]			
	Lot area = 43,560 sq. ft. or more	25	25	25
	Lot area = 30,000 to 43,559 sq. ft.	30	30	30
	Lot area = 20,000 to 29,999 sq. ft.	35	35	35
	Lot area = 19,999 sq. ft. or less	40	40	40
	<b>Maximum Building Height</b> (ft.)			
	Principal Building	35	35	35
	Accessory Buildings/Structures	20	20	20

[1] Detached houses in RA-5 and RA-8 districts are subject to the lot and building regulations of the R-50 district.

[2] Minimum lot frontage on cul-de-sac lots is 35 feet. Minimum lot width at the required street setback must equal the required in R-100).

[3] Minimum lot frontage applies to attached house projects, not individual dwelling units within the project.

[4] Corner lots are subject to street setbacks along all street frontages. The rear setback is measured from the property line para are applicable along all other lot lines.

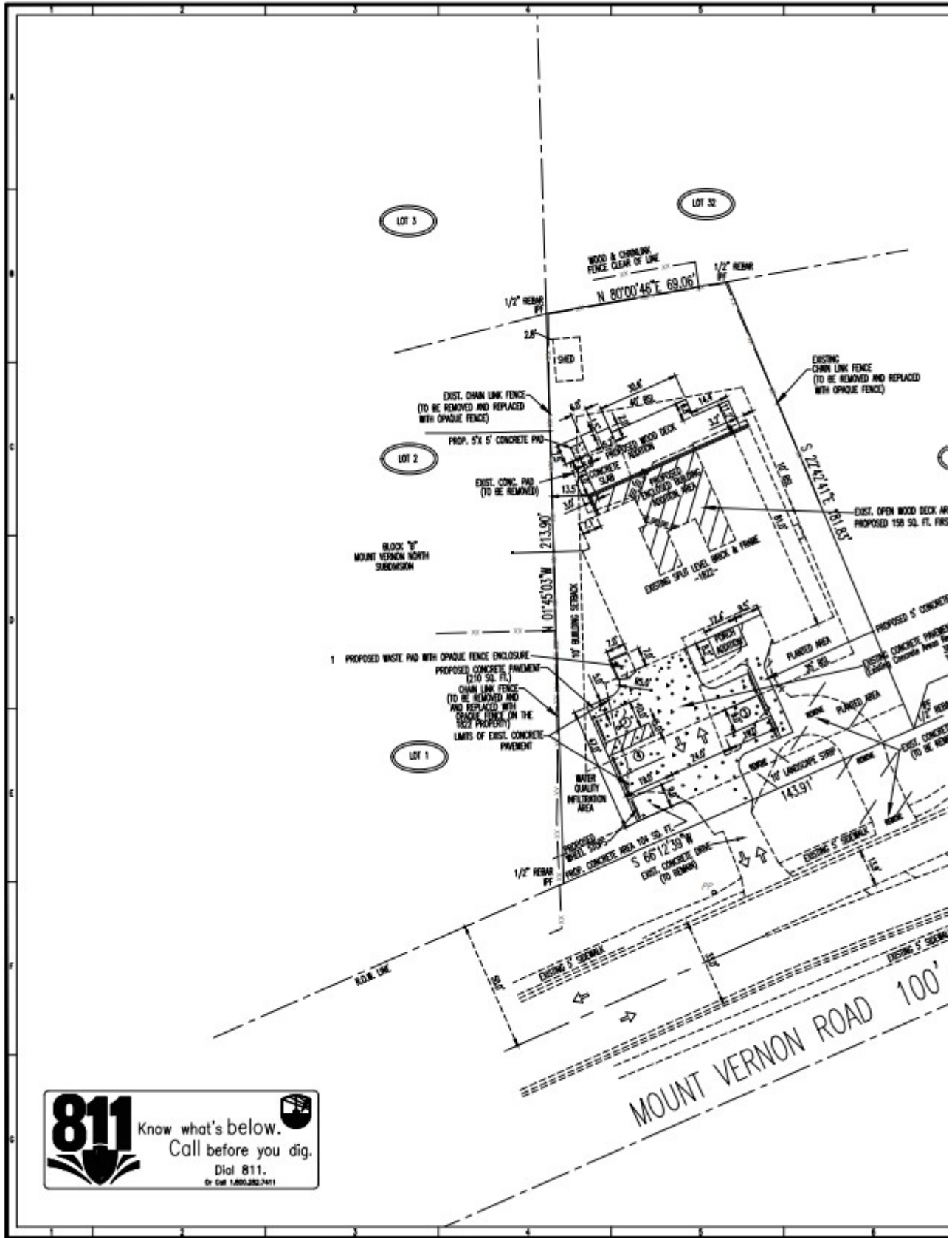
[5] Add five feet for minimum setbacks from arterial streets.

[6] Street-facing garage façades must be setback at least 20 feet from back of curb or back of sidewalk, whichever is greater.

[7] Interior side setback applies only to end units in attached house projects. No interior side setback required for units in attach house building separation requirements of [section 27-132](#).

[8] **Maximum lot coverage** for institutional uses; including, but not limited to, educational services, places of worship, and neigh





	Regulation	S
		F
L1	Minimum Lot Area (sq. ft.)	4
L2	Minimum Lot Frontage (ft.) [2]	1
	Maximum Density (dwelling units per acre)	1
	Minimum Building/Structure Setbacks (ft.) [4]	
S1	Street, Front and Side	4
S2	Side, Interior	2
S3	Side, Interior (accessory buildings/structures)	1
S4	Rear	4
S5	Rear (accessory buildings/structures)	1
C	Maximum Lot Coverage (percent) [8]	
	Lot area = 43,560 sq. ft. or more	2
	Lot area = 30,000 to 43,559 sq. ft.	3
	Lot area = 20,000 to 29,999 sq. ft.	3
	Lot area = 19,999 sq. ft. or less	4
	Maximum Building Height (ft.)	

**Madalyn Smith**

---

**From:** Richard McLeod  
**Sent:** Wednesday, March 1, 2023 10:24 AM  
**To:** Madalyn Smith; Paul Leonhardt  
**Subject:** FW: Legacy Manor

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

See below.



**Richard McLeod, MPA**  
 Director of Community Development

**City of Dunwoody**  
 4800 Ashford Dunwoody Road  
 Dunwoody, Georgia 30338  
 P 678.382.6802  
[richard.mcleod@dunwoodyga.gov](mailto:richard.mcleod@dunwoodyga.gov)

---

**From:** Su Ellis <[REDACTED]>  
**Sent:** Tuesday, February 28, 2023 6:11 PM  
**To:** Richard McLeod <Richard.McLeod@dunwoodyga.gov>  
**Cc:** suellis@bellsouth.net  
**Subject:** Legacy Manor

Caution: External Message

*Richard,*

*I tried talking with the mayor about this and she told me that she could not discuss it. So, I contacted my 2 council persons, and they said the same thing. So, OK, I understand. (well, not really, but that is a discussion for another day.) I will give you a few more recent thoughts.*

- You've already heard me talking about parking. We are at the point where this is so unrealistic that it boggles the mind. 4 parking spaces will not be sufficient. Anna told us that she only needed 4 and then filed for a variance. It was denied. Think about it. I brought up the red flag at the Planning Commission meeting concerning family members seeing their loved ones. Anna's attorney said that scheduling visits was during COVID. So, presumably, after COVID, that scheduling will be done away with. According*

*to all the literature about checking on loved ones in nursing facilities, you should visit at all hours and days of the week. So, let's figure that one family member needs a parking space nearly everyday of the week. Then you have Roman and/or Anna. I have heard that Roman is married. Could that be another car? I asked about their LPN help and Anna said they would UBER in and out. That's utter nonsense. During shift changes, there would be 2 LPN cars. Do we really think they'll not drive a car? Add just one delivery and you've maxed out.*

- *I will not bring this up on March 13<sup>th</sup>, because it is not verified, but we have a neighbor who was told by the neighbor who is in favor, that Anna promised to pour them a new driveway. If you drive by, you'll see that it is in very bad condition and should be replaced. However, they have 2 parking pads off the driveway. Could these be extra parking for Legacy? It surely could.*
- *The city staff keeps referring to the Comprehensive Plan when they say that we need these facilities. Agreed. But, do you really think the city fathers envisioned people tearing down a single family home to build what approximates a commercial building, 7000 sq. ft, 35' high with no garage, to manage 7 people?*

*Thank you for listening and perhaps considering these points. I think this is a needed facility but not on ½ acre on Mt. Vernon as a new build that will not be consistent with the neighborhood and the homes around it. Su*



**From:** Tina Walden [REDACTED] >  
**Sent:** Monday, March 13, 2023 11:02 AM  
**To:** Joe Secorder <[Joe.Secorder@dunwoodyga.gov](mailto:Joe.Secorder@dunwoodyga.gov)>  
**Subject:** SLUP

Caution: External Message

Hello Joe,

Unfortunately I will not be able to make it tonight to speak before City Council but I wanted you to know that I am in full support of the SLUP for a personal care facility. I understood the neighbors had taken issue with a large amount of parking spaces but since that has been resolved, I am frankly disgusted with their continued effort to block this SLUP. I understand the most recent complaint is the size of the facility which is not particularly larger than any other new build in a 3 mile radius so that is not a valid complaint. I also understand that the business has planned for appropriate vegetation while a resident building in that space could clear cut the entire property so, again, this is not a valid complaint.

Dunwoody is woefully lacking age in place options. In my mind, we should be thanking this company for considering to build in our city. Unfortunately I believe what we are witnessing is ageism by the neighbors trying to stop this SLUP. The City Council cannot allow ageism to drive decisions. If anything, City Council should be doing everything in its power to attract companies who address the needs of aging in place and serving all ages of our community that need help to live WITHIN the community. Just because somebody is older or has physical or mental disabilities should not mean that they have to locate services and living situations elsewhere. Our city should aim to be INCLUSIVE and approving this SLUP would be a very positive move towards that goal.

Thank you for all that you do for our city!!!

Best,

Tina Walden  
30 Year Resident of Dunwoody

## Madalyn Smith

---

**From:** [REDACTED]  
 [REDACTED] Friday, March 10, 2023 2:02 PM  
**To:** Lynn Deutsch; Council Members; Catherine Lautenbacher; Paul Leonhardt; Richard McLeod; Madalyn Smith  
**Cc:** 'John Downing'  
**Subject:** SLUP for 1822 Mt. Vernon Road - Opposition  
**Attachments:** Presentation.pdf

Caution: External Message

Dear Dunwoody City Council:

Thank you again for careful consideration regarding the SLUP for 1822 Mt. Vernon Road. Please note, we do not have a problem with the use, we believe the proposed structure violates several portions of the code for Dunwoody. Our reasons are listed below in bullet form for ease of reference. We appreciate your consideration regarding this matter.

**We oppose the development of this oversized facility for the following reasons:**

- **Lot coverage** - The applicant and planning dept are applying the wrong max lot coverage percentage (page 8 of presentation attached). The applicant claims that max lot coverage should be 60% for 'institutional uses' but Sec. 27-57, personal care home is an **allowable use under section for residential not institutional**. True lot coverage should be 35% and therefore the 55% coverage for this project is a wide variance from surrounding properties.
- **Facility vs Home:** The applicant states they are building a residential home. However this structure will be built specific to an institutional use and would likely not have a future use as a private home. This could lead to a variety of commercial uses since the home will have 9 plus bedrooms and 11 bathrooms. There is no garage and will have a parking lot with a handicap parking space. With the high lot coverage, there will be limited green space.
- **Setbacks:** With the size of the proposed facility, it is likely that the structure will cross setbacks and encroach on the neighboring properties.
- **Sewer Capacity:** The proposed facility has 11 bathrooms, plus kitchen, laundry and fire sprinklers (the facility may also need to be sprinklered for fire code). This would be a heavy use on water & sewer capacity and is not a typical residential use.
- **Water runoff:** The applicants engineer has not addressed water runoff. I would ask the council to state that the facility is responsible for retaining all the water on the property and not allow runoff to surrounding properties who have mature yards that the resident/tax payers have cared and nurtured for years.
- **Safety:** If this is memory care, the property may need a gate to keep residents in who may wonder onto Mt. Vernon Road.
- **Fire Life Safety:** With the proposed lot coverage – where would emergency vehicles park in the event of an emergency? If on Mt. Vernon Road, we know this will only make the “Mt. Vernon crawl” at rush hour turn to a stop. And would prevent a timely response by emergency vehicles.

- **Errors in current plans:** There have been several errors in the applicants plans, etc that were submitted. I would ask that council have error free documents and a verified site plan and signed CD's for the facility so that the dimensions and all construction is clear and disclosed.
- **Existing Structure vs New Facility:** The intent of the code was for existing homes. It appears that the applicant has demoed the existing structure and is building around the vague code and is picking and choosing what and how to apply. If this is going to follow the institutional use they should be subject to the allowable exterior materials like Dunwoody Village – brick instead of the material they show in the rendering.
- **SLUP for Applicant Only:** The SLUP if granted should inly be for the applicant and if the facility is sold or the owner is not living at the property – it should be revoked.
- **Public Safety:** This is on a street close to the Village so on a “live, work, play” corridor. This location should NEVER house or treat people with substance abuse or be a halfway house for formally incarcerated people. Without exaggerating – hundreds of families walk or bike this sidewalk daily. This use should be an exclusion.
- **Number of Patients:** Why 7? Because it comes in just under needing 25 acres. A lower number – maybe 4 would help get the use to what they say they are trying to develop. The size of the proposed facility and the interior construction is for a nursing home. Limiting the structure to 4 and adding a garage and other components of a livable home would be more in line.
- **Sec. 27-145. - Personal care homes.** Below is the section of code that needs review (below the table). The code exempts the personal care home for home based use since it falls into both type A&B category. **However, the code is clear that congregate personal care homes are to be on R districts on 25 acres of land.** It is assumed that 8 or more patients meet the definition of congregate care. So they are applying for only 1 less than what would put them over into the congregate care and would render the site unusable for this business. If you take into account that there will be a family living there plus staff – the occupants will be well over 8 people.

Below is a table showing how many acres per patient. The code does not address how large a personal care home should be for the homebased use. I used .5 acres in the chart below for sake of argument since that is the size of the site.

The drastic difference in land size needed is in red. The jump from 3.13 acres per person for 8 patients to 0.07 acres per person for 7 patients is huge. This also does not take into account that there will be a family on the property as well as well as various care givers.

I think the exemption for personal care homes in the home based business use code did not anticipate that a home would be tounr down and re-bult in a manner to skirt the code. I live across the road from an in-home day care – this is what the code was meant for. It was not meant as an opening to create a business corridor down Mt. Vernon.

# Patients	Acres Per Code	Acres Per Person
4	0.5	0.13
5	0.5	0.10
6	0.5	0.08
7	0.5	<b>0.07</b>
8	25	<b>3.13</b>
9	25	2.78

*\* code does not mention size needed. Used .5 for assumed lot size*

Kari & John Downing



• **Sec. 27-145. - Personal care homes.**

[SHARE LINK TO SECTIONPRINT SECTIONDOWNLOAD \(DOCX\) OF SECTIONEMAIL SECTIONCOMPARE VERSIONS](#)

Congregate **personal care homes** may be approved in **R districts only** when located on a campus with a land area of at least 25 acres.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-9.150), 10-14-2013)

**Sec. 27-112. - Residential use category.**

[SHARE LINK TO SECTIONPRINT SECTIONDOWNLOAD \(DOCX\) OF SECTIONEMAIL SECTIONCOMPARE VERSIONS](#)

The residential use category includes uses that provide living accommodations to one or more persons.

(1)

*Household living category.* Residential occupancy of a dwelling unit by a household. When dwelling units are rented, tenancy is arranged on a month-to-month or longer basis. Dwelling units rented whole or in part for periods of less than one calendar month are not included in the household living category. They are considered a form of lodging (subsection [27-114](#)(10).

a.

*Detached house.* A principal residential building containing one dwelling unit located on a single lot with private yards on all sides.

b.

*Attached house.* A residential building containing two or more dwelling units, each located on its own lot with a common or abutting wall along shared lot lines. Each dwelling unit has its own external entrance.

c.

*Multi-unit building.* A residential building, other than an attached house building, containing two or more dwelling units that share common walls and/or common floors/ceilings.

d.

*Mixed-use building, vertical.* A building in which commercial uses occupy the ground floor and dwelling units occupy one or more upper floors.

(2)

*Group living.* Residential occupancy of a dwelling by other than a "household," typically providing communal kitchen/dining facilities. Examples of group living uses include but are not limited to fraternities, sororities, convents, monasteries, nursing homes and the following specific use types:

a.

*Nursing home.* An establishment providing inpatient, skilled nursing and rehabilitative services to patients who require health care but not hospital services. Care is ordered by and under the direction of a physician.

b.

*Personal care home.* Any dwelling, whether operated for profit or not, which undertakes through its ownership or management to provide or arrange for the provision of housing, food service, and one or more personal services, including watchful oversight, for two or more adults who are not related to the owner or administrator by blood or marriage. "Personal services" includes, but is not limited to, individual assistance with or supervision of self-administered medication and essential activities of daily living such as eating, bathing, grooming, dressing, and toileting. Personal care homes cannot provide nursing or other medical services, with the exception that those services defined specifically as "personal services" may be conducted by nurses or other appropriate medical personnel, or admit and retain residents who need continuous medical or nursing care.

1.

*Personal care home—Family.* A personal care home that offers care to at least one but not more than four persons.

2.



**Personal care home—Group.** A personal care home that offers care to at least five but not more than seven persons. Note that with the staff needed this puts the total number of people well over 8

3.

**Personal care home—Community.** A personal care home that offers care to eight or more persons.

• **Sec. 27-168. - Home occupations.**

[SHARE LINK TO SECTION](#)[PRINT SECTION](#)[DOWNLOAD \(DOCX\) OF SECTION](#)[EMAIL SECTION](#)[COMPARE VERSIONS](#)

(a)

**Purpose.** The home occupation regulations of this section are intended to allow Dunwoody residents to engage in customary home-based work activities, while also helping to ensure that neighboring residents are not subjected to adverse operational and land use impacts (e.g., excessive noise or traffic or public safety hazards) that are not typical of residential neighborhoods.

(b)

**Type A and Type B home occupations.** Two types of home occupations are defined and regulated under this section: Type A and Type B.

(1)

**Type A home occupations.** Type A home occupations are those in which household residents use their home as a place of work, with no employees, customers or clients coming to the site. Typical examples include telecommuting office workers, writers, consultants, artists and crafts people. In this case, this use is both since the owner or relative will live or work at this location.

(2)

**Type B home occupations.** Type B home occupation are those in which household residents use their home as a place of work and either one non-resident employee or customers come to the site. Typical examples include tutors, teachers, photographers and licensed therapists or counselors. This is technically a Type A & Occupation.

(c)

**Exemptions.**

(1)

**Personal care homes.** Personal care homes are not regulated as home occupations and are exempt from the home occupation regulations of this section. Personal care homes are allowed as indicated in the use tables of sections [27-57](#) and [27-72](#). Supplemental regulations applicable to some personal care homes can be found in [section 27-145](#).

(2)

**Day care.** Day care uses are not regulated as home occupations and are exempt from the home occupation regulations of this section. Day care uses are allowed as indicated in the use tables of sections [27-57](#) and [27-72](#). Supplemental regulations applicable to some day care uses can be found in [section 27-137](#).

(3)

**Bed and breakfast.** Bed and breakfasts are not regulated as home occupations and are exempt from the home occupation regulations of this section. Bed and breakfasts are allowed as indicated in the use tables of sections [27-57](#) and [27-72](#). Supplemental regulations applicable to bed and breakfasts can be found in [section 27-133](#).

(d)

**Prohibited home occupations.** The following uses are expressly prohibited as home occupations:

(1)

Any type of assembly, cleaning, maintenance or repair of vehicles or equipment with internal combustion engines or of large appliances (such as washing machines, clothes dryers or refrigerators);

(2)

Dispatch centers or other businesses where employees come to the site and are dispatched to other locations;

(3)

Equipment or supply rental businesses;

(4)

Taxi, limo, van or bus services;

(5)

Tow truck services;

(6)

Taxidermists;

(7)

Restaurants;

(8)

Funeral or interment services;

(9)

Animal care, grooming or boarding businesses; and

(10)

Any use involving the use or storage of vehicles, products, parts, machinery or similar materials or equipment outside of a completely enclosed building.

(e)

*Where allowed.*

(1)

*Type A home occupations.* Type A home occupations are permitted as of right as an accessory use to a principal use in the household living use category. Type A home occupations are subject to the general regulations of subsection (f) and all other applicable regulations of this section. More than one Type A home occupation is allowed as an accessory use, but the general regulations of subsection (f) apply to the combined home occupation uses.

(2)

*Type B Home occupations.* Type B home occupations may be approved as an accessory use to a principal use in the household living use category only as expressly stated in subsection (g). Type B home occupations are subject to the general regulations of subsection (f), the supplemental regulations of subsection (g) and all other applicable regulations of this section. Multiple Type B home occupations are prohibited as an accessory use to a household living use, and a Type A home occupation may not be conducted with a Type B home occupation.

(f)

*General regulations.* All Type A and Type B home occupations are subject to the following general regulations.

(1)

Home occupations must be accessory and secondary to the use of a dwelling unit for residential purposes. They may not change the character of the residential building they occupy or adversely affect the character of the surrounding neighborhood. Home occupations may not, for example, produce light, noise, vibration, odor, parking demand, or traffic impacts to that are not typical of a residential neighborhood in Dunwoody. Home occupations must be operated so as not to create or cause a nuisance.

(2)

Any tools or equipment used as part of a home occupation must be operated in a manner or sound-proofed so as not to be audible beyond the lot lines of the subject property.

(3)

External structural alterations or site improvements that change the residential character of the lot upon which a home occupation is located are prohibited. Examples of such prohibited alterations include construction of parking lots, the addition of commercial-like exterior lighting or the addition of a separate building entrance that is visible from abutting streets.

(4)

Signs that directly or indirectly, name, advertise, or call attention to a business, product, service or other commercial activity occurring on the subject property are prohibited.

(5)

Home occupations and all related activities, including storage (other than the lawful parking or storage of vehicles), must be conducted entirely within the dwelling unit.

(6)

The area devoted to the conduct of all home occupations present on the property is limited to 25 percent of the dwelling unit's floor area or 500 square feet, whichever is less.

(7)

No window display or other public display of any material or merchandise is allowed.

(8)

The use or storage of hazardous substances is prohibited, except at the "consumer commodity" level, as that term is defined in 49 C.F.R. Section 171.8.

(9)

Only passenger automobiles, passenger vans and passenger trucks may be used in the conduct of a home occupation. No other types of vehicles may be parked or stored on the premises.

(10)

The provisions of subsection (9) (above) are not intended to prohibit deliveries and pickups by common carrier delivery vehicles (e.g., postal service, united parcel service, Fed Ex, et al.) of the type typically used in residential neighborhoods.

(g)

*Use permits and supplemental regulations for Type B home occupations.*

(1)

*Special land use permit approval required.* Type B home occupations are allowed only if reviewed and approved in accordance with the special land use permit procedures of article V, division 3, provided that teaching-related home occupations conducted entirely within the principal dwelling are not subject to the special land use permit procedures, but instead require review and approval in accordance with the administrative permit procedures of article V, division 7.

(2)

*Supplemental regulations.* All Type B home occupations are, at a minimum, subject to the following regulations in addition to the general regulations of subsection (f).

a.

Customers or clients may visit the site only from 9:00 a.m. to 7:00 p.m. Monday through Saturday. No more than two clients or customers may be present at any one time, except that up to three students may be present at one time in a teaching-related home occupation (e.g., tutor or music/dance instructor).

b.

Resident and customer parking shall be provided within a garage and/or driveway on-site. While conducting the home occupation no resident or customer vehicles shall be parked on the street.

c.

The home occupation shall not create any noise, noxious smell or odor, vibration or other adverse impact upon adjacent property.

d.

One nonresident employee is allowed with a Type B home occupation if no customers come to the site at any time. Home occupations that have clients, customers or students coming to the site at any time may not have nonresident employees. For the purpose of this provision, the term "nonresident employee" includes an employee, business partner, co-owner or any other person affiliated with the home occupation, who does not live at the site, but who visits the site as part of the home occupation.

e.

No stock in trade may be displayed or kept for sale on the premises and no on-premises sales may be conducted. (Ord. No. 2013-10-15, § 1(Exh. A § 27-10.30), 10-14-2013; Ord. No. 2017-04-07, § 2, 4-11-2017)

**Madalyn Smith**

---

**From:** Judy Landers <[REDACTED]>  
**Sent:** Tuesday, March 7, 2023 1:56 PM  
**To:** Lynn Deutsch; Council Members; Catherine Lautenbacher; Paul Leonhardt; Richard McLeod; Madalyn Smith  
**Cc:** Judy Landers  
**Subject:** 1822 Mt Vernon road SLUP

**Importance:** High

Caution: External Message

To all!

Thank you for your time and thank you for your service and commitment to the City of Dunwoody. My property is not adjacent to 1822, however it is visible. I'm opposed to this SLUP, and will not compromise on a smaller facility. The possible commercial development on a small lot of a massive structure, both square footage and height, does not reflect the character of the surrounding quiet residential neighborhoods.

### **Traffic and Parking concerns 1822 Mt Vernon Road, Dunwoody GA 30338**

- (1) 1822 is a *commercial development*, money paid in exchange for services. *Location plus size* of Legacy Manor *does not* fit our residential neighborhoods. A short distance west, businesses provide parking for customers, clients, service calls, employees, police, fire, EMS units and more.
- (2) Khokhlans are dishonest about 1822 parking needs, as evident by the Letter of Withdrawal for the Variance request 3/2/2023. Consider the number of residents, the owner and family, employees, family visitors for residents, medical personnel making routine visits, deliveries, everyday maintenance/service calls, and more. We are no longer in a Covid environment with restricted access. The owner's public statements on her established policy *of one and only one visitor each day* is not standard practice. This is her solution for limited parking.
- (3) Have Dunwoody Police, the local fire department and paramedic units been made aware of the 1822 plans? Is it feasible for 911 calls to enter the property with limited parking on a busy two-lane road?
- (4) Mt Vernon Road is at times very congested, and can be unsafe in the best of conditions. The bike accident 3/4/2023 Manhasset Road/Vermack Road has traffic signals, pedestrian signals, turning lanes, and an unobstructed view. Walkers, bikers, runners, pedestrians, kids, and families use Mt Vernon Road sidewalks every day. Does the City plan to install a light for traffic entering and leaving 1822?
- (5) This is a quality-of-life matter for immediate neighbors. For more than a year since demolition of the previous structure, we have endured noise, an eye-sore, and runoff water.
- (6) Is this the future of Dunwoody, tear down properties for commercial development? I purchased my home for location, walkable to the Village, and the quiet residential streets my neighborhood offers.

(7) **Impervious Surface** is a hard area that doesn't allow water to seep into the ground. A load of gravel for future parking needs beyond the 4 spaces requested does not meet the definition of impervious surface. Where will the water go on a 7000 square foot facility with concrete driveway, parking pad, sidewalk entrances, patio, and decks? From the Updated Site Plan 2/18/2023:

*General Notes:*

- 1. There will be no increase to the storm water run-off from this property based on the proposed improvements. Stormwater will infiltrate into the existing pervious areas of the site.*
- 2. Stormwater migration run-off reduction and water quality measures beyond grass infiltration are not required on this property with only 1,619 sq ft of improvement being proposed.*

This is **not true**. I have spent several thousand dollars on a dry creek bed in my rear yard due to run-off water.

Sincerely

Judy Landers, property owner, 1564 Vernon Way Court

## Madalyn Smith

---

**From:** Gina Paridy [REDACTED]  
**Sent:** Tuesday, March 7, 2023 10:33 AM  
**To:** Lynn Deutsch; Council Members; Catherine Lautenbacher; Paul Leonhardt; Richard McLeod; Madalyn Smith; Paul Paridy  
**Subject:** 1822 Mt Vernon Road SLUP

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Caution: External Message

Dear Dunwoody City Council,

The Paridy family and our neighbors appreciate your careful consideration regarding the SLUP for 1822 Mt Vernon Road. As adjacent property owners, my husband Paul and I are vehemently opposed to this project that is a gross misuse of this property in a quiet single family neighborhood.

An approximate 7000 sq foot facility on approximately 1/2 acre will potentially cause severe drainage and erosion issues for surrounding downhill properties potentially undermining home foundations and city streets. We hope that the Khokhlan have provided a detailed study of this excess water runoff created by impermeable structure and parking and their plans to manage this problem. Of grave concern is increase in the velocity and mass of storm water runoff from all the paved and hard surfaces. Water and silt have continually drained downstream from the beginnings of the current excavation process on to the adjoining residential homeowners.

Are they planning to install catch basins and required underground runoff drainage at the lower end of their property? If retention basins are required, what is their detailed landscape plan to protect the neighbors from this attractive nuisance? What are their fencing requirements for any ponds, large storm sewer openings or basins to protect our young children from this new danger?

The size of the proposed property of 6,895 heated sq ft facility, and a 660 sq ft deck, does not meet SLUP requirement #4 e, which states ...Whether the proposed use is compatible with adjacent properties and land uses, including consideration of: e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings. The 11 surrounding property square footages are averaged to be 2,956 sqf.

Another consideration is the commercial nature of the property in a residential area. Children, cyclists and pedestrians use is very common to our streets. The increased traffic of renters, visitors, service professionals, vendors and emergency vehicles and staff becomes a safety of life issue that our residential neighborhood streets already have difficulty managing.

Any potential increase in tax revenue from this commercial property will certainly be offset by the decrease in tax revenue from the neighboring homes decrease in appraised property values. As you are all personally aware, if five homes in a neighborhood are valued at a lower appraised value, it has a tremendous negative effect on all homes for the entire area when appraisers use comparable homes in the area for each appraisal.

Other items for consideration:

- 1- The term of construction will without a doubt be much more disruptive than someone building a home for personal occupancy.
- 2- This commercial development does not fit in a residential development.
- 3- Our children and the quiet enjoyment of our neighborhood by each resident is at risk and endangered by this commercial development.
- 4- We would ask the fire Marshall for a review of the status of existing water supplies and main fire suppression capabilities and the impact this will have on our residential neighborhood.

We purchased a home in Dunwoody because of the careful planning that goes into the community. For a single family home to be torn down and turned into a commercial property does not fit with Dunwoody's master plan or vision. When the city had the initiative of supporting our aging Dunwoody population, I do not think the intention was that single family homes in residential neighborhoods would be torn down and turned into commercial facilities.

We are asking that you consider this project as if it were in your very own back yard. We have been looking at the eyesore created by the Khokhlan's since summer of 2022. Based upon the quality of life, safety of life, potential damages to surrounding properties both physical and financial, we your constituents are now counting on you to deny the SLUP requested for 1822 Mt. Vernon Road.

Thank you,

Gina and Paul Paridy

1563 Vernon Way Ct. Property Owners

**Madalyn Smith**

---

**From:** Mike DiLoreti [REDACTED]  
**Sent:** Friday, March 17, 2023 12:44 PM  
**To:** Council Members  
**Cc:** Madalyn Smith; Paul Leonhardt; Richard McLeod  
**Subject:** Follow up - 1822 Mt. Vernon Road SLUP

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Caution: External Message  
City Council Members,

First, I acknowledge there was a lot to digest from Monday's meeting. To make sure the record is clear, I want to reiterate the most important points.

**Impervious Surface 35% threshold**

- First, this clearly doesn't qualify for institutional use, and the 35% threshold cannot be exceeded.
- Second, if council were to consider approving, it sets a clear precedent that all future SLUP applications can be up to 60%. Keep in mind, anyone could apply for a SLUP to develop and/or expand an existing home footprint without the intent to utilize the SLUP. Once future applications are approved by the city, the owner could develop up to 60% coverage on their lot. The city would not have a defensible position to deny future applications with 60% lot coverage.

**Comparability**

- Misapplication of the requirements - A structure previously on the land is not mentioned, and therefore should not be used in the assessment. The requirements specifically state adjacent properties. However, city staff has routinely mentioned the previous structure. Even if the previous structure was used, this is a ~40% increase from the previous structure. I do not believe any home owner that expands their square footage by ~40% would say the before and after footprint are compatible.
- Size/Beds & Baths/Garage/Look and Feel - The massive structure is clearly not compatible with existing properties. Also, even if the application came in line with the code and a reduced size structure was proposed, it must still clear the compatibility threshold. Point being, just because code may allow for a structure to be built, it also needs to be compatible with adjacent properties.

**Parking**

- In no way shape or form is there anything close to sufficient parking for 1822 Mt Vernon. To be clear, this would require a significant reduction to the size. Most likely, this would mean reducing down to a 3-person care facility in order to provide adequate parking for worker(s) and guests.

**Residential Use Code Violation**



- Residential Use - In my comments, I discussed Section 27-112. In reading the code, it is very clear what it says. When we met with the city staff last week, this point was also raised. The staff stated "a lot of the code is open to interpretation and it is our interpretation". I strongly disagree with that because the code could not be clearer in what it says. City staff has separately mentioned Miriam Webster definitions in other emails sent on the SLUP. If the staff applied the same diligence here, the definition of 'other than' is abundantly clear. Now, a separate issue could be at hand on what we (Dunwoody residents and elected officials) want the code to say. However, that is a completely different issue which can be addressed in due course.

Finally, as I mentioned in my public comments, my opposition should not be viewed as me being against the idea altogether. I am open to something like this. However, the applicant first needs to come in line with the code. Second, the massive size/scale needs to be significantly reduced because the size and location create too many issues for this to proceed any further.

Respectfully,  
Mike DiLoreti

**Madalyn Smith**

---

**From:** Gina Paridy <[REDACTED]>  
**Sent:** Monday, March 20, 2023 7:36 AM  
**To:** Council Members; Madalyn Smith; Paul Paridy; Richard McLeod  
**Cc:** Nila Abubakar; Mike DiLoreti; Kari downing; Minh Tran  
**Subject:** 1822 Mt. Vernon- Opposition Executive Summary  
**Attachments:** 1822 Mt Vernon SLUP - Executive summary.pptx

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Caution: External Message

Dunwoody City Council Members and Department of Community Development,

Thank you for hearing our concerns regarding the 1822 Mt Vernon Road SLUP on Monday 3/13, and for reading the numerous emails we have sent. We are grateful for your careful consideration in this matter. As a collective group, we have attached the presentation from last Monday evening which now includes an Executive Summary, along with additional slides showing scaled renderings of 1822 Mt Vernon vs. 1823 Mt Vernon.

We hope the council heard our concerns, and is giving thought to what approving this SLUP in its current state will mean to our great City of Dunwoody. As we mentioned, this project, its current state, does not meet the criteria based on the following reasons:

- 1. Excess of impervious surface 35% threshold
- 2. Sufficient parking for 7 patients and the family residing in the home
- 3. Comparability to neighboring properties
- 4. The residential use as it relates to code 27-112

We are for personal care homes, as long as they meet the criteria set forth by the city. We can imagine if this SLUP does pass, many applications will follow with investors looking to take advantage of our city's leniency.

We appreciate all you do for our wonderful city,

Nila Abubakar, Mike DiLoreti, Kari Downing, Gina Paridy, and Minh Tran

# **1822 Mt. Vernon SLUP Opposition**

# Executive Summary

The Special Land Use Permit (SLUP) application submitted by the owners of 1822 Mount Vernon Road includes numerous code issues and fails to meet SLUP requirements. Therefore, Dunwoody residents that live in adjacent properties or close proximity recommend Dunwoody City Council deny the application.

## Non-compliance with Dunwoody Code & GA Code

- Residential vs. Institutional Use: Application does not qualify for Institutional use definition and the additional lot coverage exemption. The application is in violation of Maximum Lot Coverage (Section 27-58).
- Residential Use (Section 27-112): Codified reference of "other than a household" means the development cannot simultaneously serve as a primary residence household dwelling for the applicant's family while also serving as a Personal Care Home for others
- GA state code 111-8-62-.25: Prohibits the facility from limiting the number and frequencies of visitation by anyone

## Failure to Meet SLUP Requirements

- Requirement 3 (Adequate land for use / parking): Proposed site does not provide sufficient parking to accommodate residential living, visitors to the residence, workers for the personal care facility and guests visiting family/friends at the personal care facility
- Requirement 4 (compatibility with adjacent properties): Proposed development is not compatible with adjacent properties due to size, number of beds/baths, lack of garage, and look/design

## Other Considerations

- Inconsistent Application of the Dunwoody's Comprehensive Master Plan
- Personal care exemption in the home-based use code did not anticipate a tear down and rebuild to circumvent code
- ADA Parking will change the Residential character

# Comprehensive Plan for Residential District



## MAINTAIN AND ENHANCE RESIDENTIAL AMENITIES AND HOUSING TYPES WITHIN NEIGHBORHOODS

- Through careful planning, the City of Dunwoody seeks to ensure that population growth will not **exceed infrastructure investment**.
- The City will promote ways to achieve a greater level of **owner-occupied housing**.
- The City will regularly communicate with the **local school board** on decisions concerning new housing, and it is recommended that residential developers meet with local school board officials to discuss and mitigate any potential adverse impacts on local schools.
- New housing infill into existing neighborhoods will be **compatible with surrounding properties**.
- Preserve the character of **existing residential neighborhoods**.
- **Protect properties** located on borders of Suburban Residential Neighborhoods Character Area with compatible height, building placement, densities, massing and scale, buffers, tree protection and other associated site development and building regulations.
- Land use decisions will concurrently consider implications for **transportation and open space**.
- Promote small scale, conscientious redevelopment of our neighborhood commercial nodes designed to enhance the quality of life of our residential neighborhoods.

Residential options for seniors remain paramount as well. Dunwoody has a population that has strong roots and connections to the broader community. Unfortunately, most of the City's housing stock is single-family residential, designed for traditional, younger families with children. As a result, housing stock and other factors that make aging in place easy, are not present to meet the changing needs of this growing portion of the population. To retain and serve long-time residents, Dunwoody must work to provide better options for older adults to stay in their neighborhood or the wider community as they age. Tools can include **regulatory changes such as allowing accessory dwelling units in certain areas**, which

make it easier for older adults to move in with family or family to move in with them; and **permitting smaller, lower maintenance senior-accessible housing in reasonable proximity to the traditional single-family residential neighborhoods** that older adults are departing, to maintain their connection to familiar surroundings. Besides housing, other assets that make aging in place a reality include convenient access to transportation options, cultural and recreational amenities, quality health care facilities, and supportive social networks. A comprehensive strategy will be necessary to retain aging residents of Dunwoody who have contributed so much to its sense of community.

**"In plain English, aging-in-place means living in one's home safely, independently and comfortably, regardless of age, income or ability level."** -National Association of Home Builders (NAHB)

The NAHB further explains that aging-in-place "means the pleasure of remaining in a familiar environment throughout one's maturing years, and the ability to enjoy the familiar daily rituals and the special events that enrich all our lives. It means the reassurance of being able to call a house a home for a lifetime."

# Conflicting Interpretation From The City Presentation

- **Whether the proposed use is consistent with the policies of the comprehensive plan:**

- “Aging in place **appropriate residential**” is a **suitable use within the Suburban Neighborhood Character Area** (p. 23)

- **Lot Coverage**

- **Maximum lot coverage is 60% for institutional uses**

*Proposed lot coverage: 43.3%  
Stormwater mitigation will be required. An example of mitigation would be infiltration trenches or flow wells.*

c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use:

- **The proposed use is residential in nature and operations.**
- No need for industrial size kitchens, and thus no grease trap, or a dumpster
- Proposed use is low-impact and staff does not anticipate adverse impacts from the operations.

**Personal care homes, along with other uses such as churches and schools, are permitted additional lot coverage by the Zoning Ordinance and the proposed home and driveway meets this standard. The proposed site plan shows 43.3% lot coverage; single-family residential homes are permitted 35% lot coverage. The home is situated on the property without the need for any setback variances. Thus, the staff finds that the .47 acre site is adequately sized to accommodate this use.**

# Residential or Institutional use

- The applicant is seeking Sulp under the Residential category of **Sec. 27.57**.
- This application does not qualify for Institutional use definition and the additional lot coverage exemption.
  - *“Institutional category included educational, **medical**, religious, and other quasi-public use.” (Section 27-113)*
  - Staff Interpretation of Personal Care Home as a **medical facility** is prohibited by zoning ordinances **Sec 27-112.2.b** and **Sec 27-57**, as it becomes a **nursing home**.
  - Personal home care SLUP does not exist under the Institutional use table, and the application is void.

Sec. 27-57. - Uses allowed.

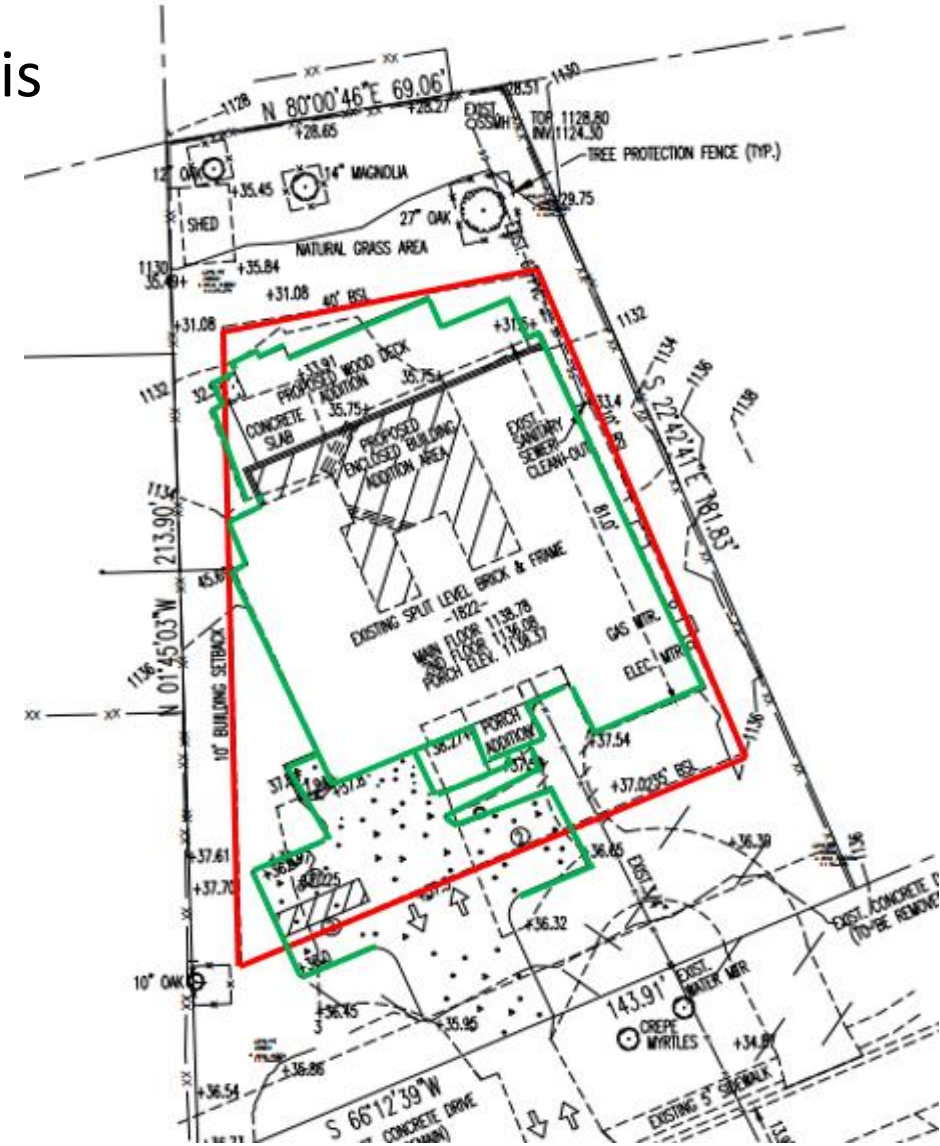
The following table identifies uses allowed in residential zoning districts. See subsection 27-111(4) for information about how to interpret th

USES	DISTRICTS					
	R-150	R-100	R-85	R-75	R-60	R-50
<i>P = use permitted as of right / A = administrative permit req'd / E = special exception req'd / S = special land use permit req'd</i>						
<b>RESIDENTIAL</b>						
Household Living						
Detached house	P					
Attached house	-					
Multi-unit building	-					
Group Living						
Convent or monastery	S					
Fraternity or sorority	-					
Nursing home	-					
Personal care home, family (1—4 persons)	S					
Personal care home, group (5—7 persons)	S					
Personal care home, community (8+ persons)	-					
Child caring institution (1—6 persons)	-					

[8] Maximum lot coverage for institutional uses; including, but not limited to, educational services, places of worship, and neighborhood recreation club shall not exceed 60 percent.

# Dunwoody Code – Maximum lot Coverage Violation (Section 27-58)

- Maximum lot coverage allowed for residential R-100 is 35% of lot area or **7,165 sqft.**
- Total impervious area of the proposal is **8,853 sqft.**
- In violation of **1,688 sqft.**
- There are no meaningful buffer zone to mitigate the impact of a 10+ person home on nearby residences.





# SLUP Proposal Fails Consideration Requirement #3

**Requirement 3 states:** "Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking".

## Facts:

- Proposed use of the development includes a total of 4 parking spaces with one of the 4 spots being ADA compliant
- Proposed development does not include a garage
- In addition to residential use which could include at least 3 bedrooms, the proposed facility contains 7 bedrooms for the personal care facility
- Proposed development will require parking for residential use, workers at the facility, guests visiting the residence, and guests visiting residents of the personal care facility
- Off-street parking is not an option given the location of the facility

## Summary:

The proposed site does **not** provide adequate land area for the proposed use, including provision of all required open space, off-street parking.

# SLUP Proposal Fails Consideration Requirement #4

**Requirement 4 states:** "Whether the proposed use is compatible with adjacent properties and land uses."

**Facts:** At 6,895 heated square feet, the proposed development will be 166% larger than the average size of the adjacent properties. See below for incompatibility with adjacent properties.

Location	Beds/Baths*	Attached Garage?	Square Footage*	Proposed Size Difference
<b>Side parcels to 1822 Mt. Vernon Rd</b>				
1830 Mt. Vernon Road	4 Beds/3.5 Baths	Yes	2,108	227%
5100 Mt. Vernon Way	4 Beds/2.5 Baths	Yes	2,470	179%
5101 Vernon Ridge Dr	4 Beds/2.5 Baths	Yes	2,325	197%
5109 Vernon Ridge Dr	4 Beds/3.0 Baths	Yes	2,290	201%
<b>Rear parcels to 1822 Mt. Vernon Rd</b>				
5116 Mt. Vernon Way	4 Beds/3.0 Baths	Yes	2,879	139%
1563 Vernon Way Ct	3 Beds/3.5 Baths	Yes	2,825	144%
5115 Vernon Ridge Dr	4 Beds/2.5 Baths	Yes	2,400	187%
<b>Across-the-street parcels from 1822 Mt. Vernon Rd</b>				
1805 Mt Vernon Rd	3 Beds/2.5 Baths	Yes	2,500	176%
1813 Mt. Vernon Rd	3 Beds/2.5 Baths	Yes	3,154	119%
1823 Mr. Vernon Rd	4 Beds/2.5 Baths	Yes	2,413	186%
5076 Mt. Vernon Way	4 Beds/2.5 Baths	Yes	3,174	117%
<b>Average Size of Adjacent Parcels</b>			2,594	166%

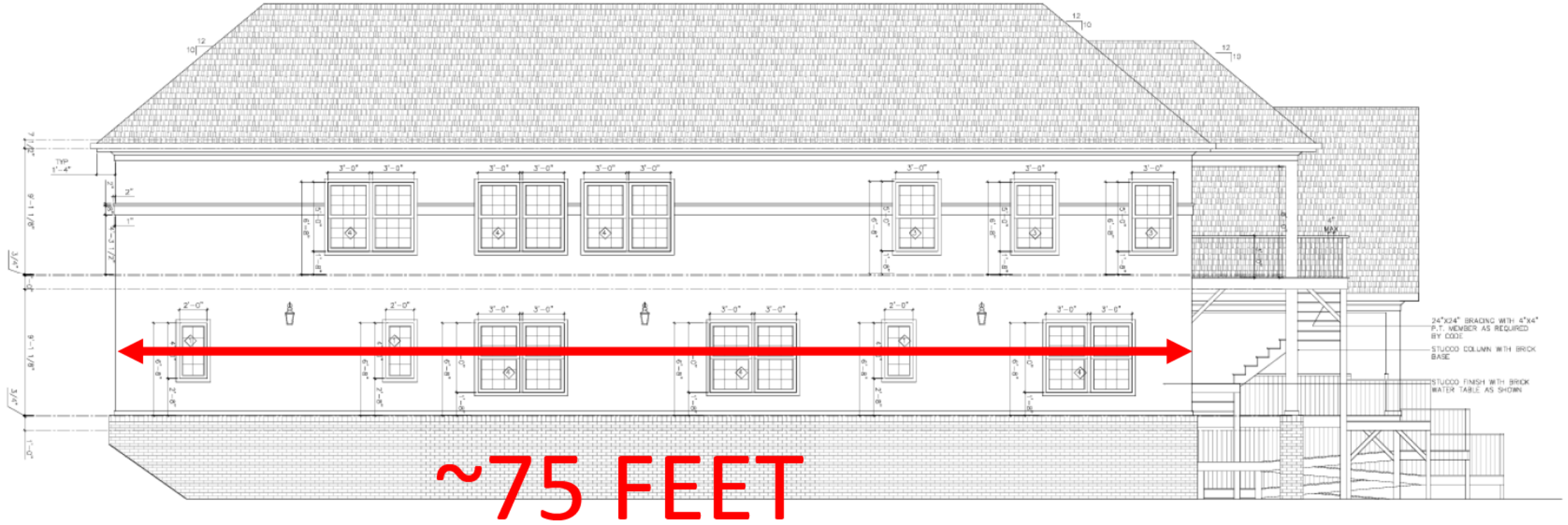
- Proposed size is **166%** larger than the average adjacent properties
- Proposed beds and baths are **2.5 to 3x** more than adjacent properties
- **All** adjacent properties have attached garage



The proposed development to be constructed is not compatible with adjacent properties.

\*Property information including bedrooms, baths, and square footage sourced from DeKalb County's Tax records: <https://propertyappraisal.dekalbcountyga.gov>

# SLUP Requirement #4 – Drawings from Application

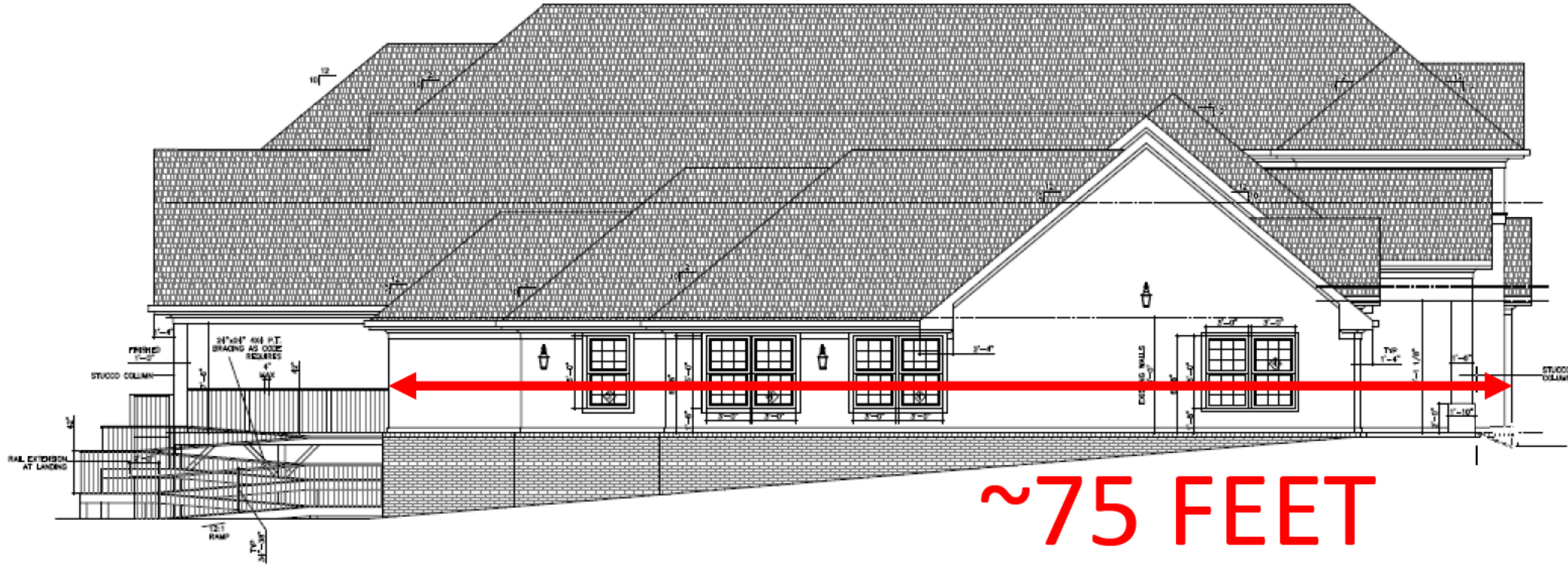


2 RIGHT HOUSE ELEVATION

SCALE: 1/4"=1'-0"

<30 Feet Typical adjacent homes

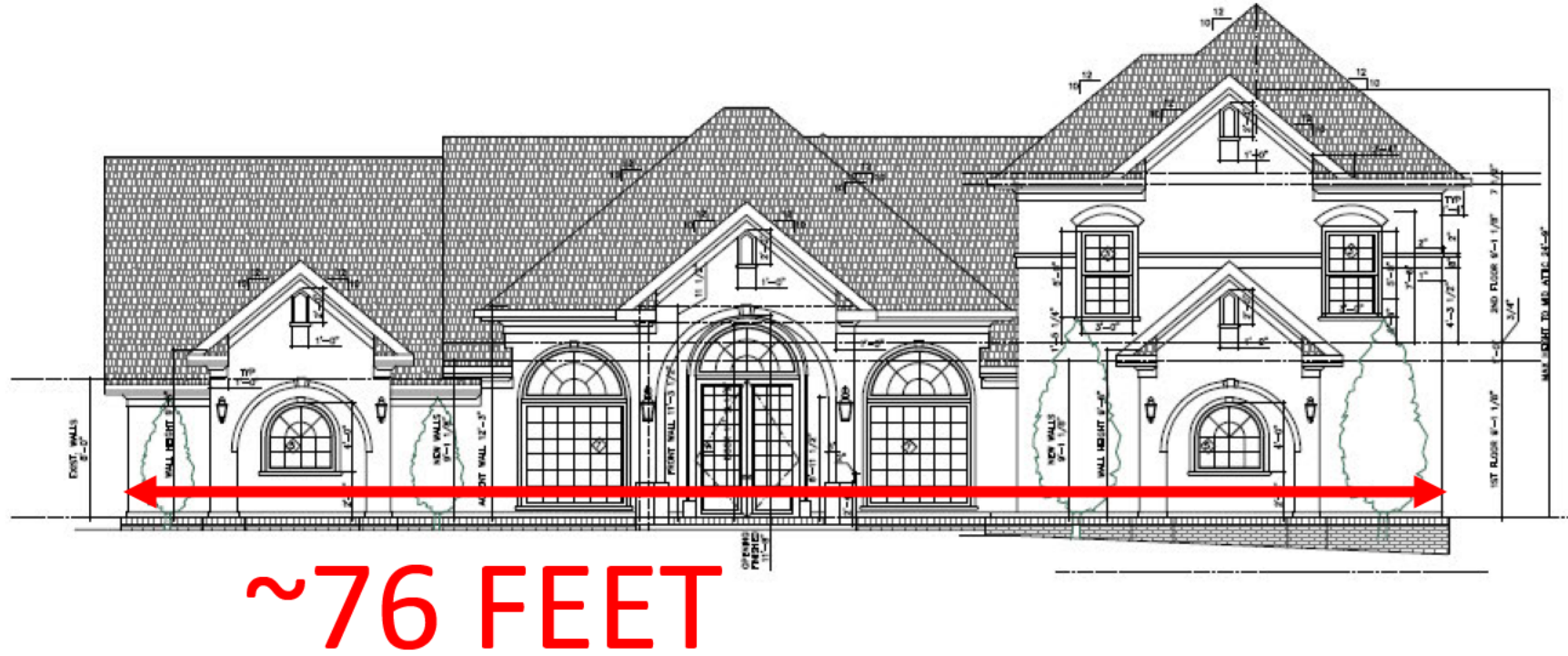
# SLUP Requirement #4 – Drawings from Application



2 LEFT HOUSE ELEVATION

SCALE: 1/4" = 1'-0"

# SLUP Requirement #4 – Drawings from Application



1 FRONT HOUSE ELEVATION

SCALE: 1/4"=1'-0"

# SLUP Requirement #4 – Rear Right Elevation scaled rendering

#10.



**1822 Mount Vernon**

**accessory structure**

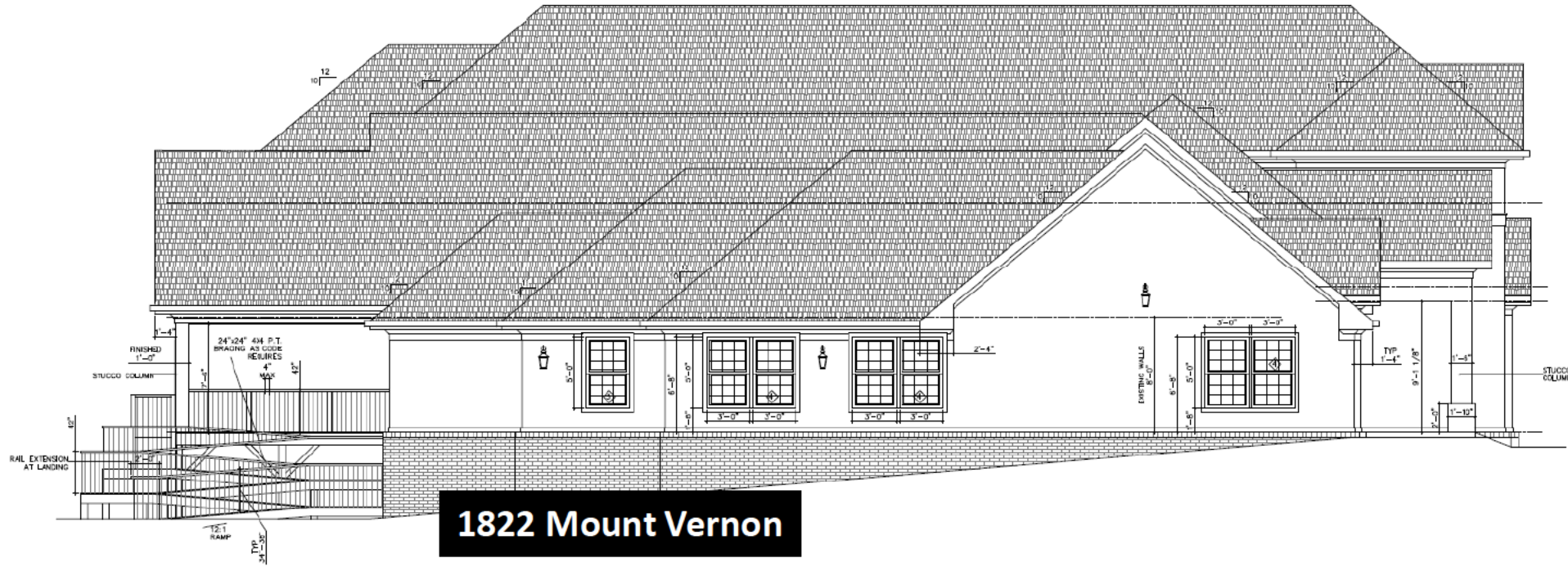


**1823 Mount Vernon**

# SLUP Requirement #4 – Front Elevation scaled rendering



# SLUP Requirement #4 – Left Elevation scaled renderings





# Dunwoody Code – Residential Use Violation (Section 27-112)

The proposal violates the definition of Group Living (including a Personal Care Home) of Dunwoody's Code of Ordinances Sec. 27-112 (2): **Group living. Residential occupancy of a dwelling by other than a "household"**. The codified reference to "other than a household" means the development cannot simultaneously serve as a primary residence household dwelling for the applicant's family while also serving as a Personal Care Home for others. The application states on PDF page 8 that the applicant's family will reside here. See below for code excerpt.

The residential use category includes uses that provide living accommodations to one or more persons.

- (1) *Household living category.* Residential occupancy of a dwelling unit by a household. When dwelling units are rented, tenancy is arranged on a month-to-month or longer basis. Dwelling units rented whole or in part for periods of less than one calendar month are not included in the household living category. They are considered a form of lodging (subsection 27-114(10)).
  - a. *Detached house.* A principal residential building containing one dwelling unit located on a single lot with private yards on all sides.
  - b. *Attached house.* A residential building containing two or more dwelling units, each located on its own lot with a common or abutting wall along shared lot lines. Each dwelling unit has its own external entrance.
  - c. *Multi-unit building.* A residential building, other than an attached house building, containing two or more dwelling units that share common walls and/or common floors/ceilings.
  - d. *Mixed-use building, vertical.* A building in which commercial uses occupy the ground floor and dwelling units occupy one or more upper floors.
- (2) *Group living.* Residential occupancy of a dwelling by other than a "household," typically providing communal kitchen/dining facilities. Examples of group living uses include but are not limited to fraternities, sororities, convents, monasteries, nursing homes and the following specific use types:
  - a. *Nursing home.* An establishment providing inpatient, skilled nursing and rehabilitative services to patients who require health care but not hospital services. Care is ordered by and under the direction of a physician.
  - b. *Personal care home.* Any dwelling, whether operated for profit or not, which undertakes through its ownership or management to provide or arrange for the provision of housing, food service, and one or more personal services, including watchful oversight, for two or more adults who are not related to the owner or administrator by blood or marriage. "Personal services" includes, but is not limited to, individual assistance with or supervision of self-administered medication and essential activities of daily living such as eating, bathing, grooming, dressing, and toileting. Personal care homes cannot provide nursing or other medical services, with the exception that those services defined specifically as "personal services" may be conducted by nurses or other appropriate medical personnel, or admit and retain residents who need continuous medical or nursing care.
    - 1. *Personal care home—Family.* A personal care home that offers care to at least one but not more than four persons.
    - 2. *Personal care home—Group.* A personal care home that offers care to at least five but not more than seven persons.
    - 3. *Personal care home—Community.* A personal care home that offers care to eight or more persons.

**Definition of 'other than':**  
"differently or different from"

**Summary:**  
The Dunwoody Code is clear - either it's a Group Living dwelling OR it's a primary residence household dwelling, but it cannot simultaneously be both.

# Congregate personal care homes (Section 27-145)

**Congregate personal care homes may be approved in R districts only when located on a campus with a land area of at least 25 acres.**

- It is assumed that 8 or more patients meet the definition of congregate care. Applicant submitted for only 1 less than what would put them into the congregate care category and would render the site unusable for this business/facility. If you include the family living at the facility and staff for care, the occupants will be well over 8 people.
- Below is a table showing how many acres per patient. The code does not address how large a personal care home should be for the homebased. The chart below uses ~0.5 acres given the approximate the size of the site.
- The drastic difference in land size needed is in red. The jump to 3.13 acres per person for 8 patients versus 0.07 acres per person for 7 patients is drastic.
- The exemption for personal care homes in the home-based business use code did not anticipate that a home would be torn down and re-built in a manner to circumvent the code.

# Patients	Acres Per Code	Acres Per Person
4	0.5	0.13
5	0.5	0.10
6	0.5	0.08
7	0.5	<b>0.07</b>
8	25	<b>3.13</b>
9	25	2.78

*\* code does not mention size needed. Used .5 for assumed lot size*

# Complies with zoning ordinance?

- Allowing an ADA parking lot in residential zoning would change the residential character, which is protected under the purpose of the single-family residential district ordinance.
  - *The primary purpose of the R district is to help **protect the established character** of existing neighborhoods; to accommodate infill development that is **in keeping with the character of existing neighborhoods.** (Sec 27.56.)*
  - *External structural alterations or **site improvements that change the residential character** of the lot upon which a home occupation is located are prohibited. Examples of such prohibited alterations include **the construction of parking lots.** (Section 27-168.f.3)*
  - No variance can be granted for the construction of a parking structure in the residential area. (Sec 27-392)

# Impact on nearby properties?

- The design of this operation is not small. There are a total of seven residents and two staff members, not including any family member who may also be living there.
  - Dekalb County, City of Brookhaven, City of Decatur have prohibited personal care home of 7 people from operating in single-family residential districts.
- The impact statement regarding the parking issue is unfounded. The city's opinion on parking demand is based on the facility's policy of limiting visitors, which is illegal.
  - GA state code 111-8-62-.25 prohibited this facility from limiting the number and frequencies of visitation by anyone.

**AN ORDINANCE TO AMEND THE CITY OF DUNWOODY ZONING MAP FOR ZONING CONDITIONS OF LOT PARCEL NUMBER 18 367 01 048, IN CONSIDERATION OF SPECIAL LAND USE PERMIT CASE SLUP 22-03 (1822 MOUNT VERNON ROAD, DUNWOODY, GA 30338);**

**WHEREAS,** property owners Anna Khoklan and Roman Khoklan propose to operate a 7-resident personal care home and thus seek a Special Land Use Permit to operate the described use within the R-100 zoning district; and

**WHEREAS,** the Mayor and City Council find that the proposed use aligns with the Dunwoody Comprehensive Plan; and

**WHEREAS,** notice to the public regarding said modification to conditions of zoning has been published in *The Dunwoody Crier*, the Official News Organ of the City of Dunwoody; and

**WHEREAS,** a public hearing was held by the Mayor and City Council of the City of Dunwoody as required by the Zoning Procedures Act.

**NOW THEREFORE,** THE MAYOR AND CITY COUNCIL OF THE CITY OF DUNWOODY, GEORGIA HEREBY **ORDAIN AND APPROVE** the Special Land Use Permit 22-03 subject to the following conditions:

Exhibit A: Site Plan, prepared by Landworks Associated, Inc., and dated March 30, 2023

Exhibit B: Elevations, prepared by Design Today, and dated April 10, 2022

1. The owner shall develop the site in general conformity with "Exhibit A", with minor changes allowed as defined by Section 27-337(b) or necessary changes to meet conditions of zoning or land development requirements made necessary by actual field conditions at the time of development;
2. The owner shall construct the home in general conformity with "Exhibit B".
3. A minimum of 80 percent of the front house façade shall be finished with high quality, durable, materials, such as brick, stone, real stucco, and glass.
4. The parking area shall not be striped, except for the required ADA space.
5. The parking area shall have a vegetative screen, as provided on Exhibit A.
6. A "Transition Yard 2", as defined in Sec. 27-230 of the Zoning Ordinance, shall be provided along the side and rear property lines.
7. The personal care home shall be limited to residents 55 years or older.
8. Redevelopment of this property will require stormwater management in the form of runoff reduction and/or water quality. The property owner shall provide a runoff reduction and/or water quality design which meets

**STATE OF GEORGIA  
CITY OF DUNWOODY**

**ORDINANCE 2023-XXXX**

\_\_\_\_-

the criteria outlined in the 2016 Edition of the Georgia Stormwater Management Manual (Blue Book) for all onsite impervious surfaces.

- 9. Within 1 year of approval of the subject Special Land Use Permit, if a home is not under construction, the walls and foundation of the previously demolished home must be removed and the site permanently stabilized.
- 10. Streetscape improvements shall be installed in conjunction with the construction of the personal care home, according to the requirements of the Public Works Department.

**SO ORDAINED AND EFFECTIVE**, this the \_\_\_\_ day of \_\_\_\_\_, 2023.

Approved by:

Approved as to Form and Content

\_\_\_\_\_  
Lynn P. Deutsch, Mayor

\_\_\_\_\_  
City Attorney

Attest:

\_\_\_\_\_  
Sharon Lowery, City Clerk

SEAL



# *City of* **Dunwoody** *Georgia*

## Mayor and City Council

April 10, 2023

Packet page:...

# SLUP 22-03: 1822 Mount Vernon

The property owners, Anna Khoklan and Roman Khoklan, request a Special Land Use Permit to allow a 7-resident personal care home.



# Background

- Purpose of a Special Land Use Permit:
  - Short list of uses that are considered generally compatible in single-dwelling neighborhoods, but require special review and consideration to mitigate negative impacts
  - Approval of a Special Land Use Permit is for a specific use only – does not open avenue for other uses
  - Special Uses:
    - Convent/Monastery
    - Personal care home (maximum 7 residents)
    - Daycare (maximum 6 children or adults)
    - Private Schools
    - Place of Worship
    - Cemetery
    - Bed and Breakfast
    - Neighborhood Recreation Club
    - Home Occupations (i.e. tutoring or music lessons)
    - *No other uses can ask for a Special Land Use Permit*

# Background

- The property previously was developed with a 5,000 SF, split level home constructed in 1970
- A demolition permit was issued in 2022
- Zoning: R-100
- Character Area: Suburban Neighborhood

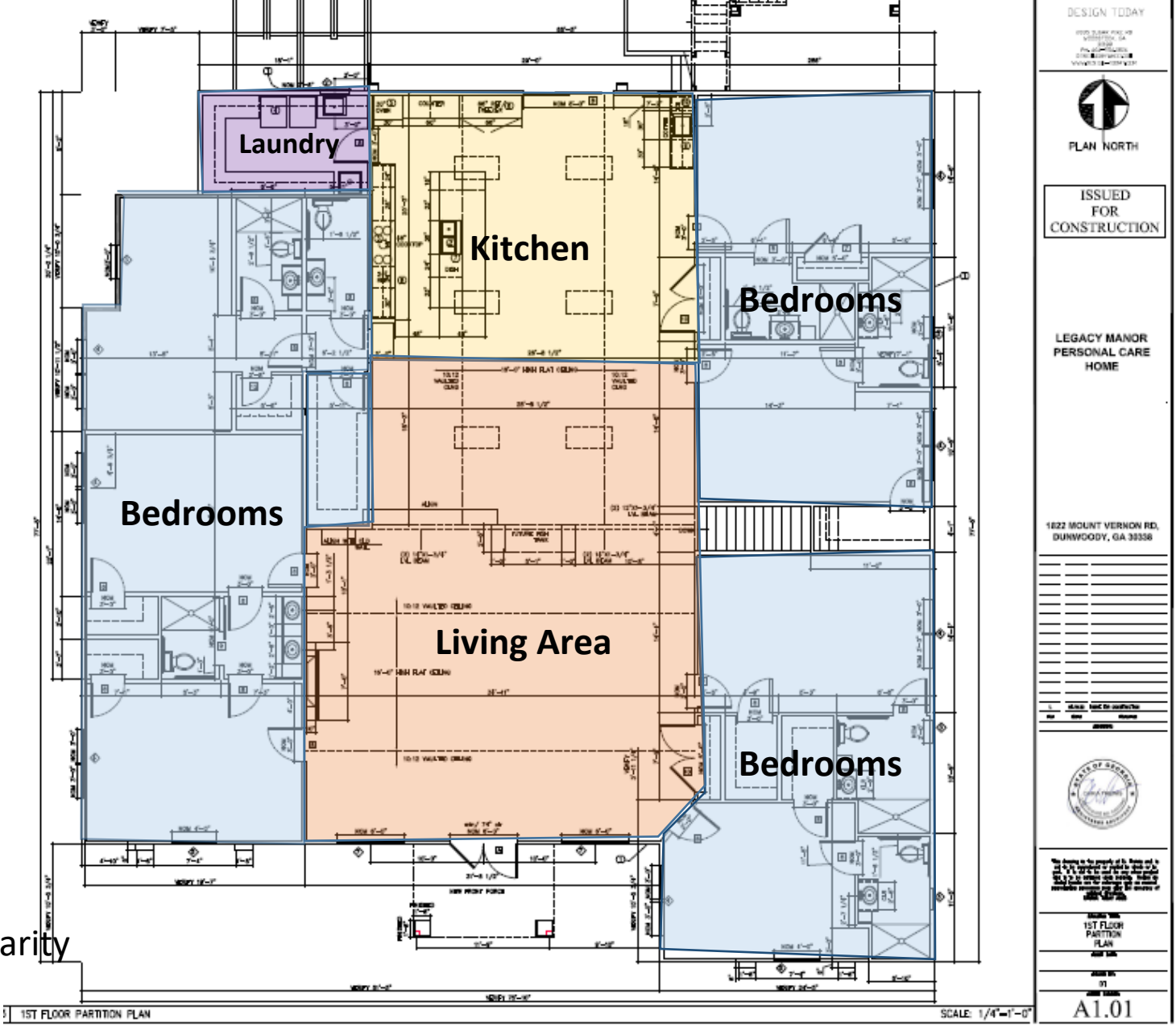


# Proposal

- The applicant proposes a Personal Care Home that would care for up to 7 senior citizens
- Will be operated by the applicants, Anna and Roman Khoklan
- 6,800 SF residential structure, with 7 bedrooms



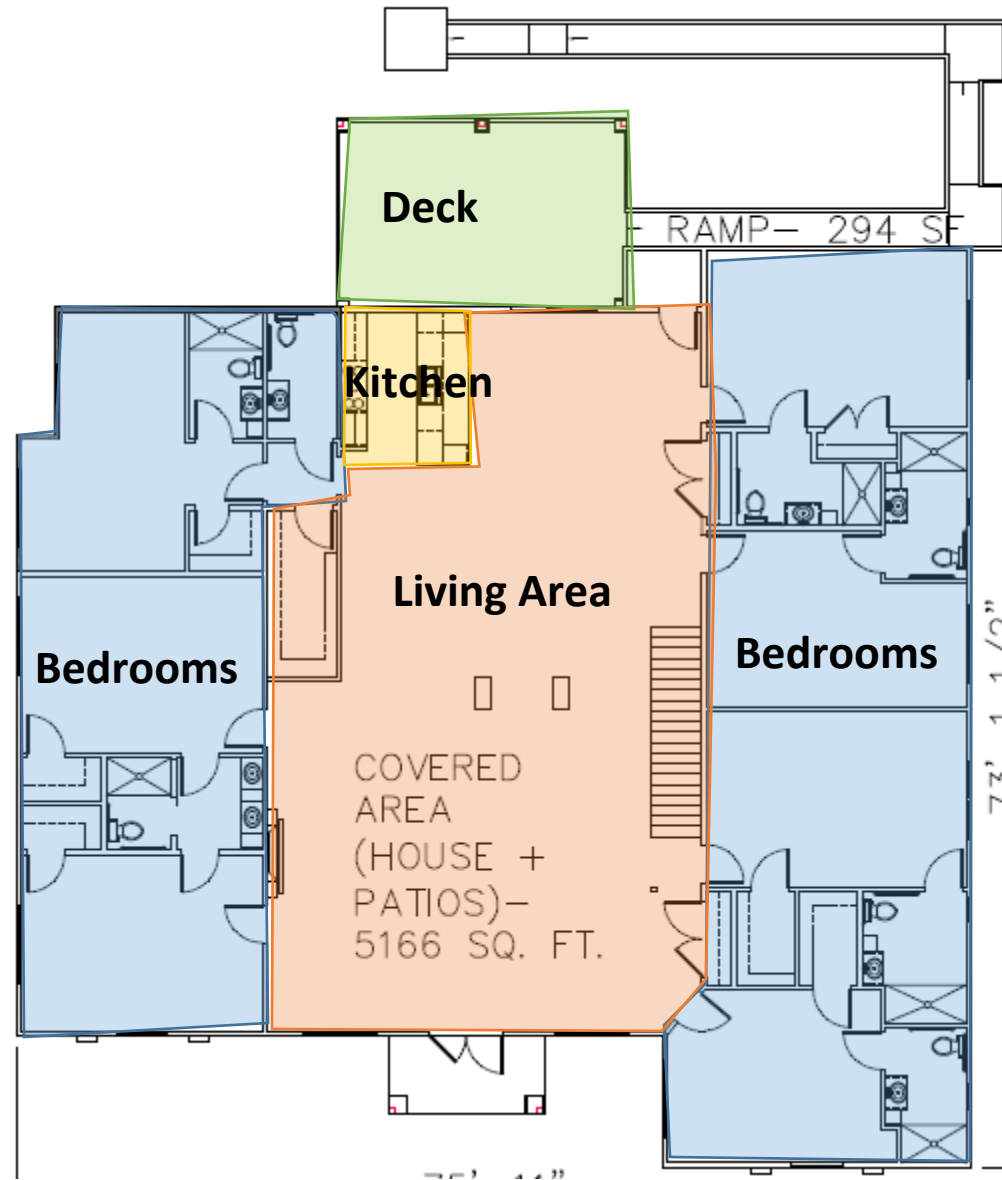
# Previous Proposal



Floor Plan, first floor\*

\*Color coded and labelled for clarity

# Current Proposal

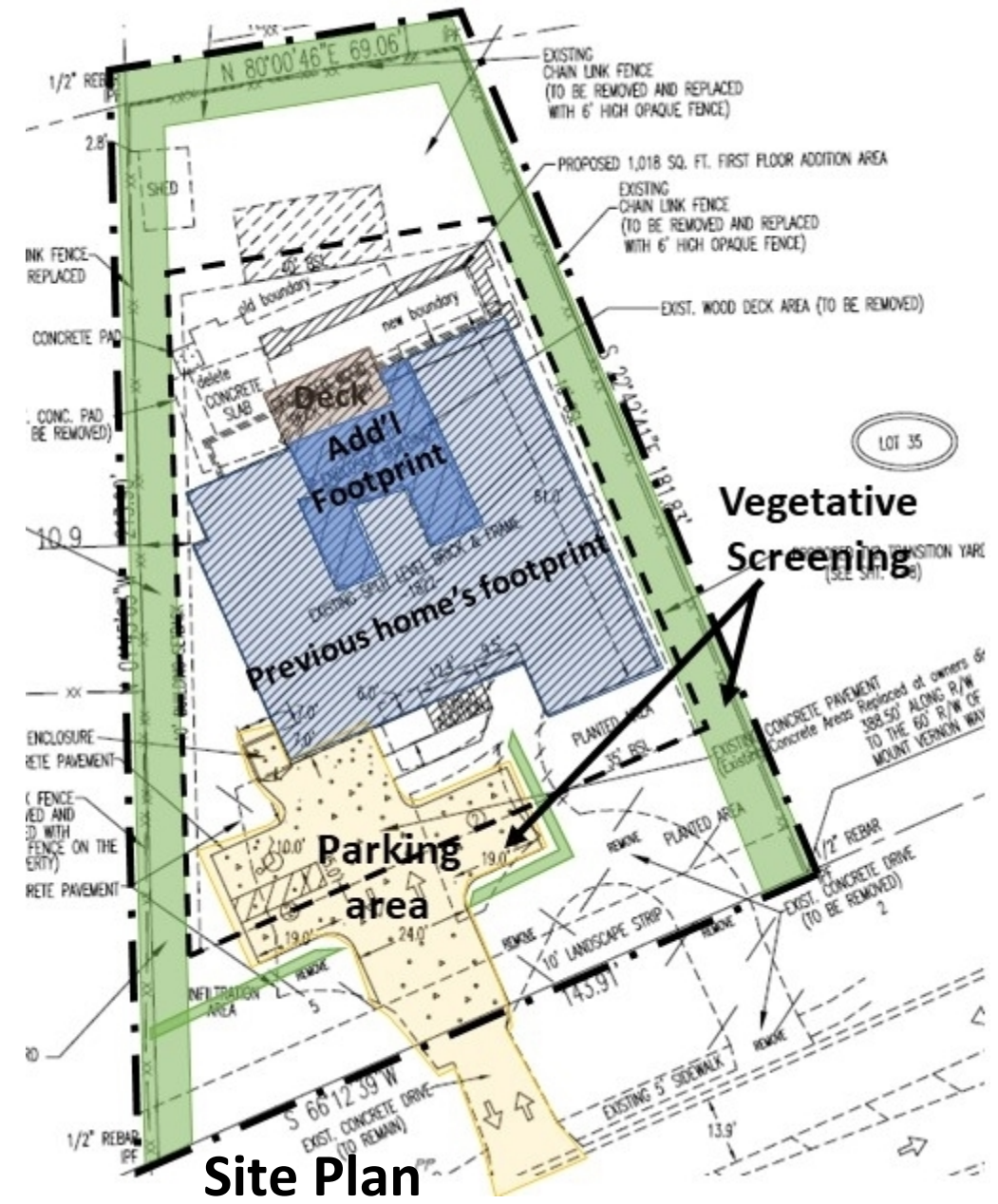


Floor Plan, first floor\*

\*Color coded and labelled for clarity

# Proposal

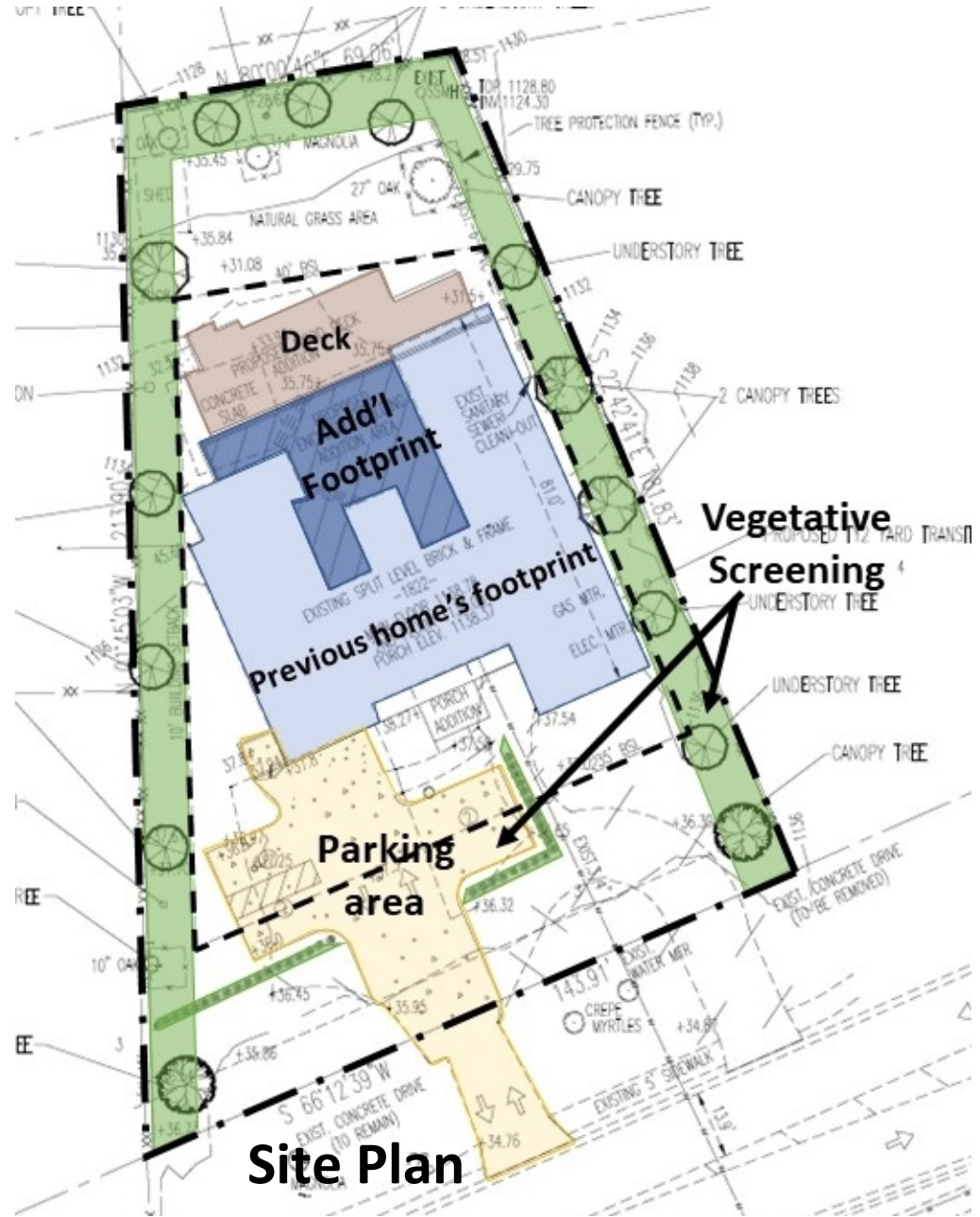
- New home will be constructed generally within the same footprint of the previous home
- Driveway is reconfigured
  - Horseshoe driveway was removed, in compliance with Public Works' policy
- Parking area will be screened with shrubbery



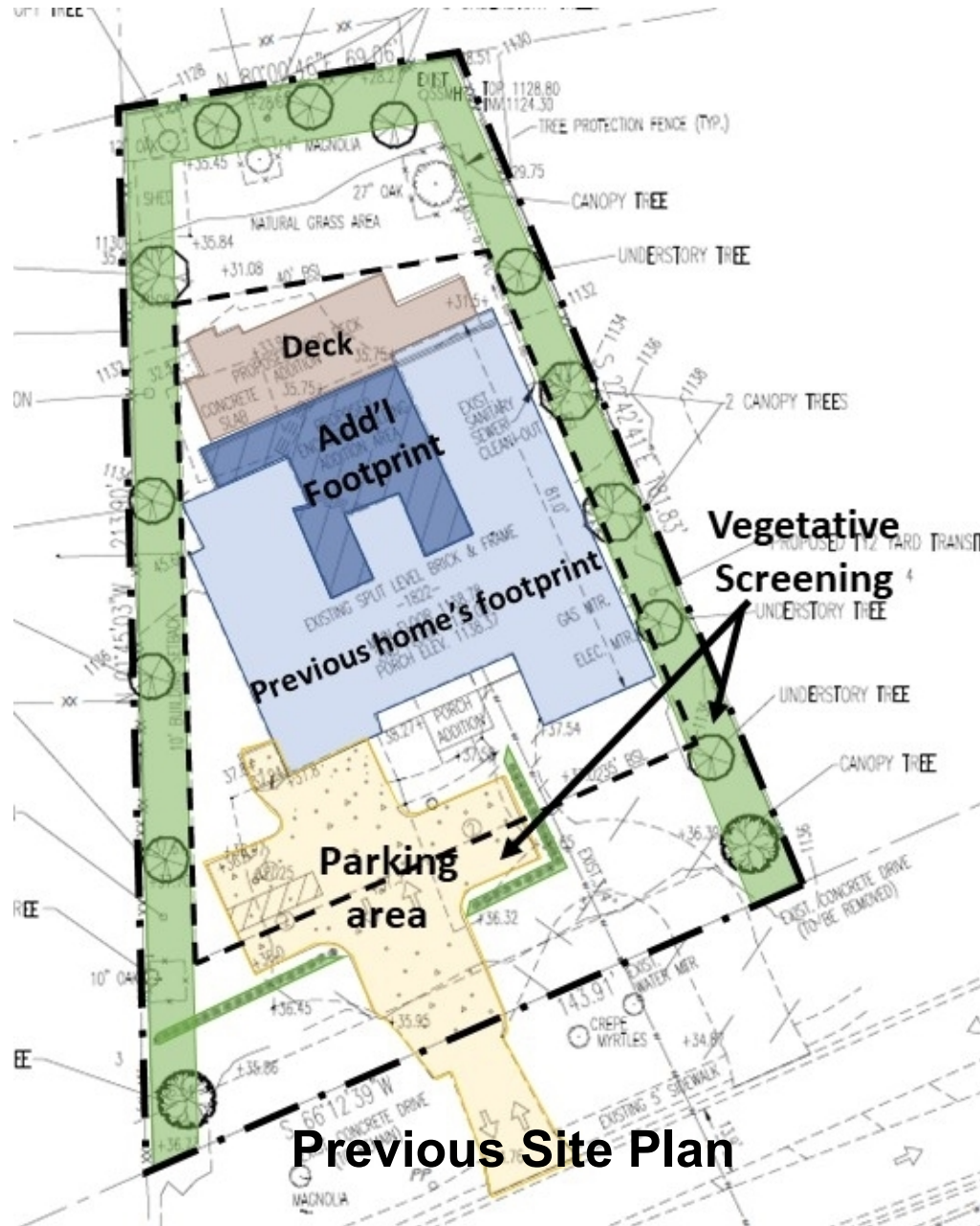
Site Plan

# Proposal

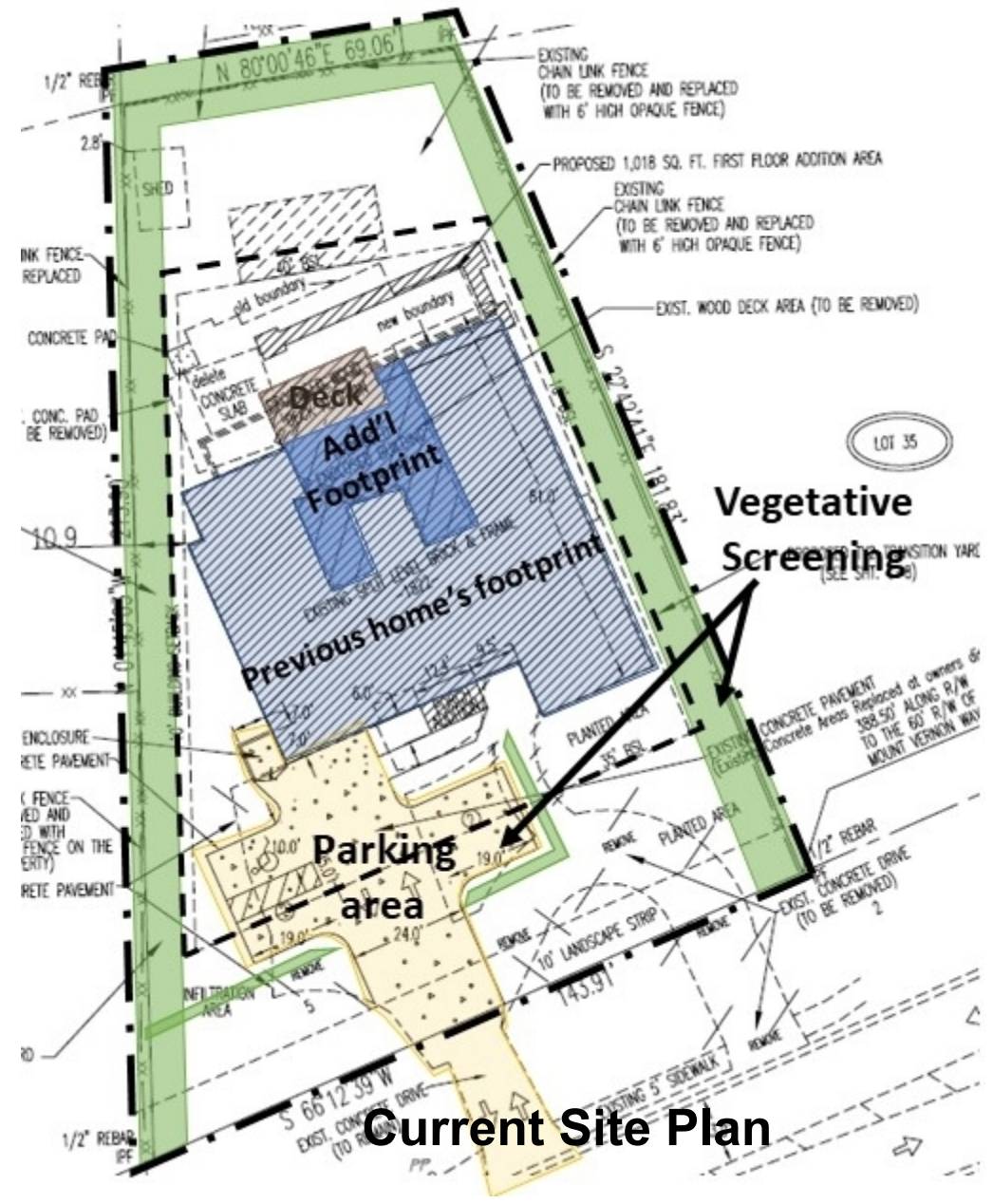
- **Setbacks**
  - Front: Contextual
  - Side: 10 feet
  - Rear: 40 feet
  - *Proposed structure meets the setbacks*
- **Height**
  - Maximum height: 35 feet
  - *Proposed structure is under the maximum*
- **Lot Coverage**
  - *Proposed lot coverage: 38.5%*
  - *Stormwater mitigation will be required. An example of mitigation would be infiltration trenches or flow wells.*



Site Plan



Previous Site Plan



Current Site Plan





# Recommendation

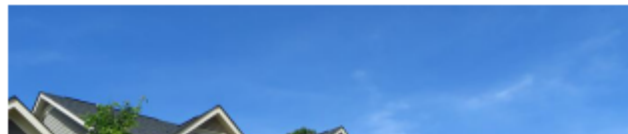
## Approval Criteria:

- **Whether the proposed use is consistent with the policies of the comprehensive plan:**
  - “Aging in place appropriate residential” is a **suitable use within the Suburban Neighborhood Character Area** (p. 23)
  - Dunwoody should “Encourage the **integration of senior appropriate housing**, both active adult and assisted living, **into the fabric of the community**, thus offering multi-generational or lifelong housing opportunities,” (p 17)
  - Staff conclusion: The integration of a residential care home for senior citizens into a residential area is a step towards achieving a community where aging in place is possible.

# Recommendation

## Approval Criteria:

- **Whether the proposed use is consistent with the policies of the comprehensive plan**
- **Pg. 17**



### EXPAND HOUSING CHOICE AND MAKE AGING IN PLACE AN ACHIEVABLE REALITY FOR RESIDENTS

- The City of Dunwoody seeks to promote a strong quality of life by fostering active civic engagement by **all ages and demographic groups** and by celebrating the diversity of the community. Furthermore, City planning and programming will aim to make Dunwoody a **“lifelong community:”** that is, a place where individuals can live throughout their lifetime and which provides a full range of options for residents, including:
  - Transportation options: allow ways to remain mobile and retain independence.
  - Healthy lifestyles: create environments that promote physical activity, the production of local food, and social interaction.
  - Expanded information and access to services:
    - Provide housing options near services for the continuum of care needed through aging years.
    - Modernize and extend network of community information available to all residents .
  - Utilize universal design as a component of all residential development where senior appropriate housing has been required, particularly within the Dunwoody Village, Georgetown, and Winters Chapel Character Areas
- Encourage the integration of senior appropriate housing, both active adult and assisted living, into the fabric of the community, thus offering multi-generational or lifelong housing opportunities.
- Remove barriers to the development of “missing middle” and workforce housing options.

# Recommendation

## Approval Criteria:

- **Whether the proposed use is consistent with the policies of the comprehensive plan**
- **Pg. 23**

### SUBURBAN NEIGHBORHOOD

#### *Vision/Intent*

Stable, owner-occupied single-family residential area with accessible sidewalks, extensive landscaping, and access to parks and functional greenspace, places of worship and schools.

#### *Future Development*

*Form:* Traditional homes with quality design and long lasting building materials, such as stone or brick, streetscaping, and pedestrian and bicycle amenities.

*Use (See Future Land Use Map):* Single-family residential, public gathering spaces, places of worship, aging in place appropriate residential.

#### *Action Items*

- Encourage paths, connectivity, and sidewalks.
- Identify potential trail easements.

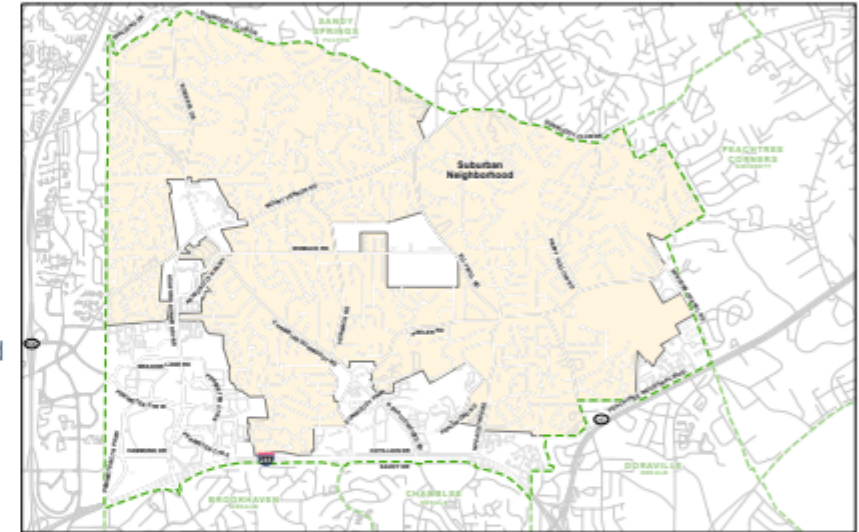


FIGURE 5: Suburban Neighborhood Character Area Map



# Recommendation

## Approval Criteria (cont.):

- **Whether the proposed use complies with the requirements of this zoning ordinance:**
  - Proposed site plan and elevations demonstrate compliance with the zoning regulations
    - Setbacks, maximum height
- **Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district**
  - The lot accommodates all the proposed improvements, without encroaching into the setbacks or exceeding maximum height

# Recommendation

## Approval Criteria (cont.):

- Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:
  - a. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated by the proposed use;
    - Use is residential in nature and will not produce additional noise, smoke, odor, dust, or vibration.
  - b. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;
    - In terms of hours of operation, the residents will receive around the clock care as needed. Visitors are allowed by appointment only and typically limited to one appointment a day, per the applicant.
  - c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;
    - The proposed use is residential in nature and operations.
    - No need for industrial size kitchens, and thus no grease trap, or a dumpster
    - Proposed use is low-impact and staff does not anticipate adverse impacts from the operations.

# Recommendation

## Approval Criteria (cont.):

- **Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:**
  - d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;
    - The proposed use has very limited staffing, typically two staff members are onsite
    - Visitation is limited by appointment only
    - The scale of the operation is very small scale and few of the residents drive
    - The ingress and egress of this site will be served by a standard driveway entrance/exit, the same as other residential homes along Mount Vernon Road
    - Use will not produce adverse impacts on traffic
  - e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and
    - Proposed home is ~6,800 SF.
    - Previous home on the property was ~5,000 SF in area.
    - Proposed home maintains a similar footprint, but adds a second floor
    - Overall, the scale and design of the building is consistent with residential homes
    - Will not exceed the maximum height or encroach in any of the prescribed setbacks.
  - f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.
    - None found.

# Conditions

Staff recommends approval the Special Land Use Permit request, subject to the following exhibits and conditions:

Exhibit A: Site Plan, prepared by Landworks Associated, Inc., and dated February 18, 2023

Exhibit B: Elevations, prepared by Design Today, and dated April 10, 2022

1. The owner shall develop the site in general conformity with “Exhibit A”, with minor changes allowed as defined by Section 27-337(b) or necessary changes to meet conditions of zoning or land development requirements made necessary by actual field conditions at the time of development;
2. The owner shall construct the home in general conformity with “Exhibit B”.
3. A minimum of 80 percent of the front house façade shall be finished with high quality, durable, materials, such as brick, stone, real stucco, and glass. **[Ensure high quality design along Mount Vernon Road, a major street in Dunwoody.]**
4. The parking area shall not be striped, except for the required ADA space. **[Ensures driveway will be generally consistent with others along Mount Vernon Road]**
5. The parking area shall have a vegetative screen, as provided on Exhibit A. **[Provides screening for the parking area]**



# Conditions

6. A “Transition Yard 2”, as defined in Sec. 27-230 of the Zoning Ordinance, shall be provided along the side and rear property lines. **[Provides screening of the structure and use from the neighbors]**
7. The personal care home shall be limited to residents 55 years or older. **[Ensures that the home will serve the aging population]**
8. Redevelopment of this property will require stormwater management in the form of runoff reduction and/or water quality. The property owner shall provide a runoff reduction and/or water quality design which meets the criteria outlined in the 2016 Edition of the Georgia Stormwater Management Manual (Blue Book) for all onsite impervious surfaces.
9. Within 1 year of approval of the subject Special Land Use Permit, if a home is not under construction, the walls and foundation of the previously demolished home must be removed and the site permanently stabilized. **[Current state of the property is considered an eyesore. This ensures that it will not exist in the current state indefinitely]**
10. Streetscape improvements shall be installed in conjunction with the construction of the personal care home, according to the requirements of the Public Works Department.