4800 Ashford Dunwoody Road Dunwoody, GA 30338 Phone: (678) 382-6800 dunwoodyga.gov



MEMORANDUM

To: Planning Commission

From: Madalyn Smith, Senior Planner

Date: February 14, 2023

Subject: SLUP 22-03 – 1822 Mount Vernon Road, Parcel ID#18 367 01 048

REOUEST

The property owners, Anna Khoklan and Roman Khoklan, request a Special Land Use Permit to allow a 7-resident personal care home. The property owners also request a concurrent variance from Sec. 27-202, to allow additional parking.

BACKGROUND & PROPOSED DEVELOPMENT



The subject property is located on Mount Vernon Road, approximately 1800 feet east of the intersection of Dunwoody Village Parkway. The .5 acre property was formerly a 5,000 SF residential home that was demolished in 2022 with only remnants of the foundation and walls remaining. It is zoned R-100 (Single-dwelling Residential-100) and abuts single-dwelling residences on all sides.

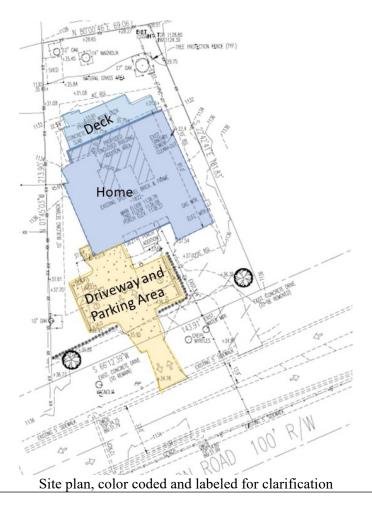
The applicant, who would also be the operator of the proposed establishment and reside at the location, seeks a Special Land Use Permit to allow the operation of a personal care home, providing services to a maximum of seven (7) senior residents.

In addition to the Special Land Use Permit request, the applicant also requests a concurrent variance to increase the maximum number of parking spaces from four (4) to six spaces (6).

An applicant-initiated meeting was held on October 8th, 2022. Twenty-three (23) community members were present.

Currently, there is no existing structure on the site, aside from the foundation and a wall from the previous structure. The applicant proposes a new 6,800 SF residential structure, within a similar footprint to the previous home.

The driveway will be significantly altered from the current horseshoe configuration. The eastern driveway entrance will be completely removed. Removing curb cuts on an arterial road such as Mount Vernon will support the transportation goals of the City and increase safety for all road users. The proposed driveway contains six parking spaces, with adequate room to accommodate emergency vehicles. Staff recommends that the parking be limited to the maximum 4 spaces, as prescribed by Sec. 27-202 of the Zoning Ordinance. Staff also recommends that the formal parking lot striping be removed, except for the required ADA space. The proposed hedges around the parking pad will also provide further screening. These limitations will aid in maintaining the residential character of the home.





Front elevation of the proposed home

The exterior of the building is designed to be residential and will meet all proper residential setbacks and height limitations. Staff recommends that 80% of front façade materials be limited to glass, brick, stone, and stucco to ensure a high-quality appearance with traditionally residential façade materials.

The interior of the home is also designed to be residential, with the necessary accommodations for meeting ADA standards and providing administrative space. The kitchen will be residential size and will not require a grease trap. There is no need for any dumpsters; the trash will be handled with typical size residential bins.

SURROUNDING LAND ANALYSIS

The table below summarizes all of the nearby zoning districts and land uses:

Direction	Zoning	Future Land Use	Current Land Use	
N	R-100	Single-dwelling residential	Single-dwelling residential	
S	R-100	Single-dwelling residential	Single-dwelling residential	
E	R-100	Single-dwelling residential	Single-dwelling residential	
W	R-100	Single-dwelling residential	Single-dwelling residential	

SPECIAL LAND USE PERMIT REVIEW AND APPROVAL CRITERIA

Chapter 27, Section 27-359 identifies criteria for evaluating applications for special land use permits. No application for special land use permit shall be granted by the City Council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application:

- (1) Whether the proposed use is consistent with the policies of the comprehensive plan;
- (2) Whether the proposed use complies with the requirements of this zoning ordinance;
- (3) Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district;
- (4) Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:
 - a. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated by the proposed use;
 - b. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;
 - c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;
 - d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;
 - e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and
 - f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.
- (5) Whether public services, public facilities and utilities—including motorized and nonmotorized transportation facilities—are adequate to serve the proposed use;
- (6) Whether adequate means of ingress and egress are proposed, with particular reference to nonmotorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access;
- (7) Whether adequate provision has been made for refuse and service areas; and
- (8) Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.

The personal care home is proposed on a property that is zoned R-100; a personal care home is allowed within the R-100 zoning district, provided a Special Land Use Permit is approved. Special review and consideration of the permit ensures that adequate conditions and considerations have been made to ensure the maintenance of the residential character and to prevent an institutional atmosphere.

Within the Suburban Neighborhood Character Area, the Comprehensive Plan (pg. 23) lists "aging in place appropriate residential" as a suitable use. The Community Policies provide "direction to local government officials for making decisions consistent with achieving the Community Goals" (pg. 14). The policies listed for making aging in place achievable states that Dunwoody should "Encourage the integration of senior appropriate housing, both active adult and assisted living, into the fabric of the community, thus offering multi-generational or lifelong housing opportunities," (pg. 17). The integration of a residential care home for senior citizens into a residential area is a step towards achieving a community where aging in place is possible.

The proposed new home is subject to all the requirements of the Zoning Ordinance. The applicant has requested a concurrent variance to increase the maximum parking from four spaces to six spaces. Staff does not support this request. It is possible for this use to be served adequately without the need for additional parking. In fact, the initially submitted letter of intent references only four parking spaces as sufficient. Outside of the request for relief, the property will comply with all other standards of the Zoning Ordinance and will meet the applicable requirements for setbacks and height. Additionally, the subject site is not historical and nor is staff aware of any archaeological resources.

Personal care homes, along with other uses such as churches and schools, are permitted additional lot coverage by the Zoning Ordinance and the proposed home and driveway meets this standard. The proposed site plan shows 55.5% lot coverage; single-family residential homes are permitted 35% lot coverage. The home is situated on the property without the need for any setback variances. Thus, the staff finds that the .5 acre site is adequately sized to accommodate this use.

The proposed personal care home will serve senior citizens who require assistance for their daily life. The provision of this care will not generate increased noise, smoke, odor, dust or vibration. In terms of hours of operation, the residents will receive around the clock care as needed. Visitors are allowed by appointment only and typically limited to one appointment a day, per the applicant.

Staff does not anticipate adverse impacts upon any adjoining land use; the purpose of the personal care home is to provide senior citizens with a residential home that provides them with additional support for daily living. Examples of this support include providing residents with meals, assistance with grooming and dressing, and transportation to appointments. The scale of the operation is residential; there is no need for industrial size kitchens, and thus no grease trap, or a dumpster (the standard residential bins are used). The proposed use is low-impact and will not adversely affect adjacent property.

The nature of this personal care home does not require extensive staff. Per the applicant, typically one additional staff member is present onsite. Visitors are limited. The operations of this care home will not produce adverse impacts due to traffic volume. The ingress and egress of this site will be served by a standard driveway entrance/exit, the same as other residential homes along Mount Vernon Road. As part of the new home construction, the applicant is required to remove the second entrance to the property that previously existed. This is consistent with Public Works' access management policy which seeks to reduce the number of "curb cuts" on major roads. Access to this property, for nonmotorized, motorized, and emergency vehicles is consistent with other homes along Mount Vernon Road and staff finds the standards enforced by the Zoning Ordinance and Public Works policies adequately account for traffic flow and safety.

The proposed home is \sim 6,800 SF. The previous home on the property was \sim 5,000 SF in area. The proposed home maintains a similar footprint, but adds a second floor, whereas the previous structure was a split level home. Overall, the scale and design of the building are consistent with residential homes and will not exceed the maximum height or encroach in any of the prescribed setbacks.

Overall, staff finds the proposed use to be compatible and appropriate for the subject site provided that satisfactory provisions and arrangements—i.e. conditions—are made

VARIANCE REVIEW AND APPROVAL CRITERIA

Chapter 27, §27-397 identifies the following criteria for evaluation that should be examined when determining the appropriateness of a variance:

- (1) The grant of the variance will not be detrimental to the public health, safety or welfare or injurious to property or improvements;
- (2) The variance request is based on conditions that (1) are unique to the subject property (2) are not generally applicable to other properties in the same zoning district and (3) were not created by the owner or applicant;
- (3) Because of the particular conditions, shape, size, orientation or topographic conditions, the strict application of the requirements of this zoning ordinance would deprive the property owner of rights and privileges enjoyed by other similarly situated property owners;
- (4) The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other similarly situated properties;
- (5) The literal interpretation and strict application of the applicable provisions or requirements of this zoning ordinance would cause undue hardship or practical difficulty, as distinguished from a mere inconvenience; and
- (6) The requested variance would be consistent with the spirit and purpose of this zoning ordinance and the comprehensive plan.

The applicant requests a variance from Sec. 27-202 to increase the maximum parking spaces from four spaces to six spaces.

The proposed personal care home is a residential use and should appear as residential; a larger parking area with six formal parking spaces does not support the residential character of the proposed use and of the surrounding area.

There is nothing about the size, shape, or topography of the lot that necessitates a need for parking relief. There are large driveways and parking pads along Mount Vernon Road, but cars are not parked in a formal parking lot, as the applicant's site plan shows. This is not typical of other homes in the area.

Staff recommends that the parking area remain unstriped, except for the ADA space, in order to maintain a residential appearance. Additionally, screening the large parking pad will further help to lessen any visual impacts.

COMMENTS FROM OTHER PARTIES

Correspondence Received: Staff has received multiple calls from community members in relation to the subject request. Two letters of support have been submitted. One letter in opposition has been submitted.

DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATION

Staff recommends denial of the requested concurrent variance from Sec. 27-202.

Staff finds that the proposed personal care home, serving a maximum of seven (7) senior citizens, to be consistent with the policies and intent of the Comprehensive Plan and finds that it meets the review and approval criteria necessary for approval.

Thus, staff recommends approval the Special Land Use Permit request, subject to the following exhibits and conditions:

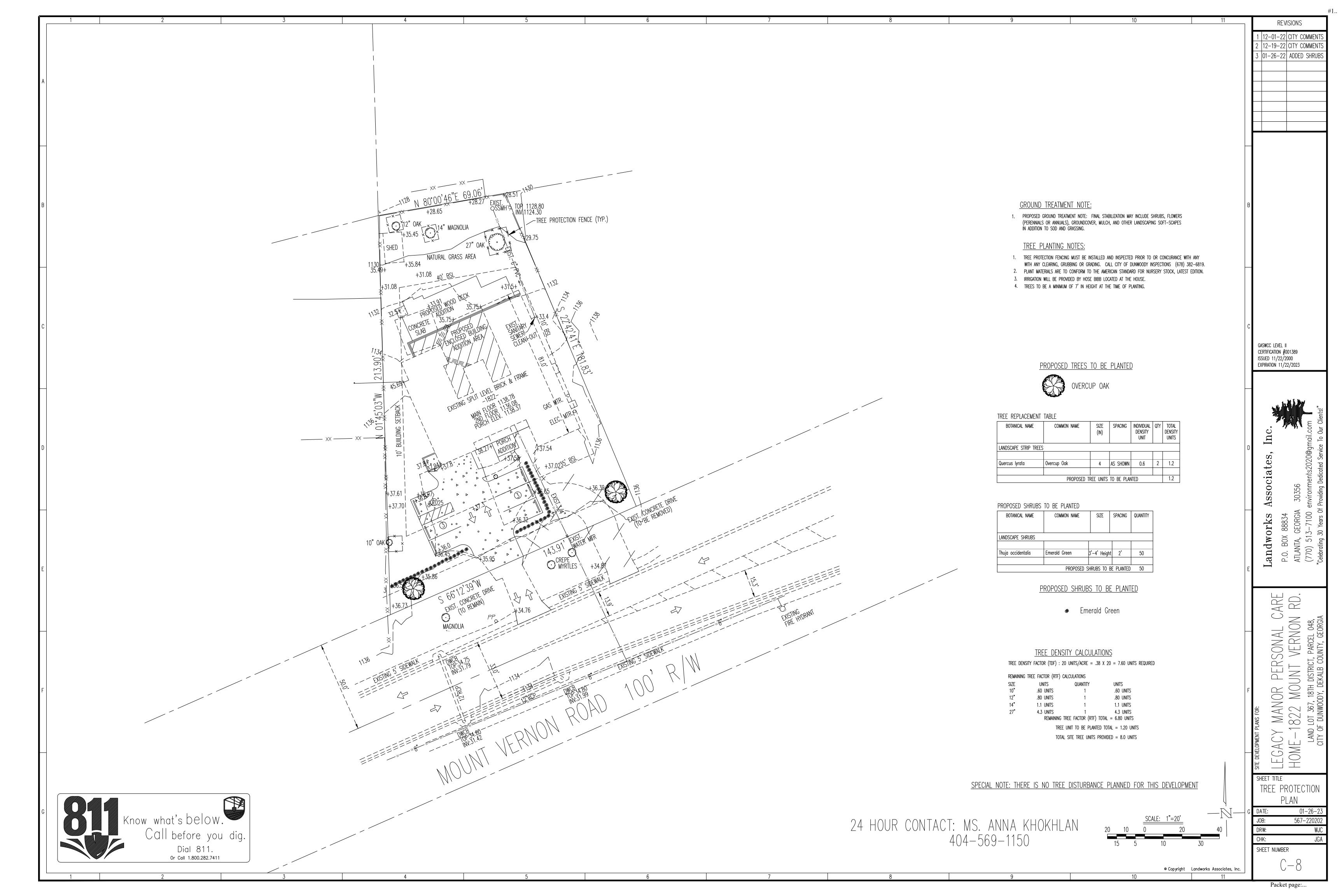
Exhibit A: Site Plan, prepared by Landworks Associated, Inc., and dated January 26, 2023 Exhibit B: Elevations, prepared by Design Today, and dated April 10, 2022

- 1. The owner shall develop the site in general conformity with "Exhibit A", with minor changes allowed as defined by Section 27-337(b) or necessary changes to meet conditions of zoning or land development requirements made necessary by actual field conditions at the time of development;
- 2. The owner shall construct the home in general conformity with "Exhibit B".
- 3. A minimum of 80 percent of the front house façade shall be finished with high quality, durable, materials, such as brick, stone, real stucco, and glass.
- 4. The parking area shall not be striped, except for the required ADA space.
- 5. The parking area shall have a vegetative screen, as provided on Exhibit A.
- 6. A "Transition Yard 2", as defined in Sec. 27-230 of the Zoning Ordinance, shall be provided along the side and rear property lines.
- 7. The personal care home shall be limited to residents 55 years or older.
- 8. Within 2 years of approval of the subject Special Land Use Permit, if a home is not under construction, the walls and foundation of the previously demolished home must be removed and the site permanently stabilized.
- 9. Streetscape improvements shall be installed in conjunction with the construction of the personal care home, according to the recommendations of the Public Works Director.

ATTACHMENTS

- Exhibit A: Site Plan, prepared by Landworks Associated, Inc., and dated January 26, 2023
- Exhibit B: Elevations, prepared by Design Today, and dated April 10, 2022
- Public Comments
- SLUP 22-03 Application Packet

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1822 MOUNT VERNON ROAD -.38 ACRE SITE, PARCEL 048, LAND LOT 367, 18TH DISTRICT, CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA 33.5654 N -84.1932 W

APPROXIMATE CONSTRUCTION SCHEDULE

	JAN	FEB	MAR	AP
INSTALLATION OF CONSTRUCTION EXIT, PERIMETER SILT FENCE, AND TREE PROTECTION FENCE				
CLEARING AND GRUBBING	-			
PRELIMINARY GRADING				
CONSTRUCTION OF SEDIMENT BASIN / STORMWATER MANAGEMENT SYSTEM	_			
INSTALLATION OF INTERMEDIATE PHASE EROSION CONTROL MEASURES				
INSTALLATION OF PAVEMENT BASE				
CONSTRUCTION OF BUILDING ADDITION				
FINAL GRADING		-		
FLAT CONCRETE WORK				
FINAL LANDSCAPING				
REMOVE TEMPORARY EROSION CONTROL MEASURES AND TREE PROTECTION FENCE				

THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

SCS PROJECT NARRATIVE:

1822 MOUNT VERNON ROAD - .38 ACRE PROPERTY PERSONAL CARE HOME PARCEL: 048 PARCEL G5 ZONING: R-100 SPECIAL USE PERMIT REQUIRED 18TH District.

City of Dunwoody, Dekalb County, Georgia

The existing use of this property is a single family house. The total area of the site is .38 acres and the planned land disturbance involves .12 acres. Earthwork totals for the proposed project is approximately 300 cu. yds. The zoning of the subject property is R-100.

The existing site topography slopes from the south to the north with gradients of 2-3 percent. The existing condition on site is a previously constructed split level brick and frame home structure with a concrete parking area and patio. There are existing trees present around the perimeter of the subject property. Offsite areas consist of developed residential homes/lands to the west, east and north. The Mount Vernon public R.O.W. makes up the south property line of the site. There are no known wetlands on site. We have designed various erosion control measures at each of the locations where stormwater run-off has been directed or naturally leaves the property.

This Personal Care Home renovation will only increase the impervious surface area by 314 sf on this property. Therefore, no increase to the existing stormwater run-off will be created from this planned house renovation. The existing stormwater from this small watershed outlets into an un-named tributary to Ball Mill Creek.

Silt fence barriers are to be installed at the toe of all fill slopes on the downstream side around the perimeter of the planned land disturbances. A construction exit consisting of crushed stone is to be provided at the project exit/entrance for the removal of mud from the construction vehicles leaving the property. Disturbed areas of the site are to be stabilized and grassed as soon as construction phases permit.

The site work construction is to be completed in strict accordance with the "Manual For Erosion and Sedimentation Control in Georgia." Permanent stabilization will be accomplished by planting common bermuda. Permanent stabilization is to be achieved in accordance with Chapter 6, Section III "Vegetative Practices" of the Manual for Erosion and Sedimentation Control in Georgia. Erosion control devices will be routinely inspected and maintained throughout the duration of construction.

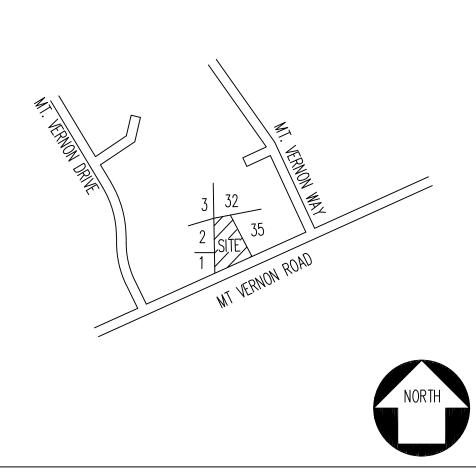
All erosion control devices shall be cleaned out before achieving a level of 1/3 full.

STANDARD GRADING & DRAINAGE NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY TOPOGRAPHIC INFORMATION AS PROVIDED PRIOR TO ANY
- 2. MAXIMUM CUT OR FILL SLOPES IS 2H:1V, UNLESS GOVERNING AGENCY IS MORE RESTRICTIVE.
- MAXIMUM CUT SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL. CONTINUOUS FILL SLOPES TEN (10) FEET IN HEIGHT OR LESS MAY BE 2 HORIZONTAL TO 1 VERTICAL, ALL CONTINUOUS FILL SLOPES THAT EXCEED TEN (10) FEET IN HEIGHT MUST BE 3 HORIZONTAL TO 1 VERTICAL UNLESS: A MECHANICALLY ENGINEERED STABILIZATION SLOPE IS APPROVED BY A REGISTERED ENGINEER EXPERIENCED IN GEOTECHNICAL ENGINEERING AND LICENSED IN THE STATE OF GEORGIA.
- 4. FILL PLACEMENT TO BE PERFORMED IN ACCORDANCE WITH PROFESSIONAL GEOTECHNICAL ENGINEERING MONITORING AND FIELD RECOMMENDATIONS.
- 5. TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- 6. ALL DRAINAGE RELEASE AREAS MUST BE GRASSED AND PLACED WITH RIP-RAP AS NECESSARY TO
- 7. CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN DRY EXTENDED DETENTION BASIN, AND STORM PIPE(S) AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- 8. CONTRACTOR AND CONSTRUCTION STAKING COMPANY ARE SPECIFICALLY RESPONSIBLE FOR STORM STRUCTURE LOCATIONS AND LENGTH OF PIPE BETWEEN THEM BASED ON COORDINATION WITH FIELD INSPECTOR AND DETAILS CONTAINED WITHIN THESE PLANS.
- 9. ALUMINUM COATED TYPE 2 STEEL PIPE (ACSP) SHALL COMPLY WITH AASHTO M-274 FOR THE COATING, AND AASHTO M-36 FOR THE PIPE FABRICATION. ALL ACSP PIPE JOINTS SHALL BE JOINED WITH A COUPLING BAND FABRICATED FROM THE SAME MATERIAL AS THE PIPE. MINIMUM BAND GAUGES SHALL BE PER AASHTO M-196, SECTION 19. IF REQUIRED, GASKETS TO BE EITHER SLEEVE OR O-RING TYPE, AND SHALL CONFORM TO AASHTO M-36, SECTION 9.3. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND
- 10. REINFORCED CONCRETE PIPE (RCP) SHALL BE IN NOT LESS THAN 8 FOOT JOINT LENGTHS. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1030-D, GEORGIA D.O.T. SPECIFICATION, TABLE NO.1. PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH A RUBBER GASKET CONFORMING TO ASTM C-443. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA D.O.T. STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
- 11. SMOOTH WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-294 AND AASHTO MP7, TYPE S & D. CONNECTIONS SHALL AT A MINIMUM USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-477. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, AASHTO SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.
- 12. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25' OR 50' UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTLED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

FIRE DEPARTMENT NOTES:

- 1. FIRE HYDRANT(S) SHALL BE PROVIDED WITHIN 500 FEET OF THE MOST REMOTE EXTERIOR PORTIONS OF ALL NEW BUILDINGS ON SITE. (OR HYDRANT AND ALTERNATIVE FIRE PROTECTION WATER SUPPLY APPROVED BY DEKALB COUNTY FIRE MARSHALL SHALL BE INSTALLED PRIOR TO CONSTRUCTION.)
- 2. FIRE HYDRANT SHALL BE SUPPLIED BY NOT LESS THAN AN 8" NOMINAL MAIN (THE TAP FROM THE MAIN TO THE HYDRANT SHALL BE NOT LESS THAN 6").
- 3. FIRE HYDRANT(S) SHALL BE INSTALLED WITHIN 6 FEET OF THE CURB LINE WITH THE LARGER STEAMER PORT FACING THE ROADWAY OR DRIVEWAY.
- 4. THE FIRE DEPARTMENT CONNECTION FOR THE SPRINKLER SYSTEM SHALL BE WITHIN 100 FEET OF A FIRE HYDRANT. IF THE BUILDING IS SPRINKLED.
- 5. ALL NEW DRIVEWAYS, ROADWAYS, AND PARKING LOT LANES SHALL NOT BE LESS THAN 24 FEET CLEAR WIDTH FOR FIRE APPARATUS ACCESS.
- 6. ALL FIRE ACCESS ROADWAYS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 13'-6".
- 7. ALL FIRE DEPARTMENT ACCESS ROADWAYS SHALL BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
- 8. THE FIRE PROTECTION WATER SUPPLY SYSTEM INCLUDING FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION.
- 9. PLEASE CONTACT DEKALB COUNTY FIRE MARSHAL'S OFFICE PRIOR TO ANY COMBUSTIBLE CONSTRUCTION FOR AN INSPECTION OF THE HYDRANT(S). (678) 406-7731



SITE LOCATION MAP

NAME: MS. ANNA KHOKHLAN PHONE: 404-569-1150 SITE ACREAGE: .38 ACRES

LAND SURVEYOR: RINGO ABERNATHY 7 ASSOCIATES 174 DACULA ROAD DACULA, GEORGIA 30019 CONTACT: MR. KEITH DUDLEY

PHONE: 770-962-8456 DISTURBED ACREAGE: .12 ACRES
TOTAL SQUARE FOOTAGE OF BUILDING ADDITION: 1,250 S IMPERVIOUS AREA: .26 ACRES

ZONING DISTRICT: R-100 TAX MAP AND PARCEL IDENTIFICATION: 048

PROJECT_NARRATIVE:

SANITARY SEWER SERVICES TO THIS EXISTING HOUSE LOCATION.

DOMESTIC WATER IS SUPPLIED BY DEKALB COUNTY

ON-SITE SANITARY SEWER DISPOSAL IS PROVIDED BY DEKALB COUNTY

ALL STRUCTURES WILL COMPLY WITH THE FIRE SEPARATION DISTANCE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED AND AMENDED BY THE GA DEPARTMENT OF COMMUNITY AFFAIRS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION FROM THE REQUIRED FIRE SEPARATION DISTANCES

PROPOSED IN THIS EXPANSION PROJECT.

PROJECT INFORMATION

EMAIL: kevinr@ringoabernathy.com

BUFFERED AREA: N/A

LEGACY MANOR PERSONAL CARE HOME 1 PERMIT #20220894 ZONING: R-100 REQUIRING A SPECIAL USE PERMIT FOR PERSONAL CARE HOME (4 TO 6 PERSONS) NO OUTSIDE STORAGE IS PROPOSED IN THIS DEVELOPMENT

THIS PROPOSED DEVELOPMENT DOES NOT REQUIRE ANY CHANGES TO THE EXISTING WATER AND

THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

CONSTRUCTION WASTE AND/OR VEGETATIVE MATERIAL MAY NOT BE BURNED OR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.

OUTSIDE CONSTRUCTION SHALL BE LIMITED TO THE HOURS OF 7:00 AM TO 7:00 PM MONDAY TO FRIDAY; 8:00 AM TO 6:00 PM SATURDAY; AND THERE WILL BE NO OUTSIDE CONSTRUCTION ON SUNDAY.

ALL UTILITY LINES HAVE BEEN PREVIOUSLY INSTALLED UNDERGROUND. NO NEW UTILITIES ARE

SPECIAL NOTE: "PRIOR TO BEGINNING CONSTRUCTION, CONTACT LIA FABIAN (lia.fabian@dunwoodyga.gov) AND KEVIN MOORE (kevin.moore@dunwoodyga.gov) TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO MAY RESULT IN A STOP WORK ORDER."

PARKING SPACE CALCULATIONS SITE NOTES:

REQUIRED SPACES: PERSONAL CARE HOME GROUP (4-6 PERSONS) = 4 SPACES REQUIRED 1. OWNER/DEVELOPER: . BUILDING SETBACKS FRONT = 35'PROPOSED SPACES = 6 SPACES - VAN ACCESSIBLE H/C SPACE 1 TO 50 SPACES = 1 HANDICAP SPACES REQUIRED SIDE = 10' REGULAR H/C SPACE PROVIDED = 1 REAR = 40'**BUFFERS:** - REGULAR SPACES PROVIDED = 5

- TOTAL PARKING SPACES PROVIDED = 6 SPACES 2

ZONING = N/ABUILDING COVERAGE PERCENTAGE = 38%

STREAM = N/A

- GROUND MOUNTED EQUIPMENT SUCH AS POWER TRANSFORMERS AND AIR-CONDITIONING UNITS SHALL BE SCREENED FROM VIEW FROM PUBLIC RIGHT-OF-WAYS BY FENCING OR LANDSCAPING.
- ALL GARBAGE DUMPSTERS AND OTHER SIMILAR AREAS DEVOTED TO THE STORAGE OF WASTE MATERIALS SHALL BE SCREENED ON THREE (3) SIDES OF SAID DUMPSTER AN AREA WITH A MINIMUM SIX (6) FOOT HIGH SOLID WOODEN FENCE. OR A WALLED CONSTRUCTED OF MATERIALS SUBSTANTIALLY SIMILAR IN APPEARANCE TO THE BUILDING ON SITE THAT COMPLIES WITH THE ARCHITECTURAL REQUIREMENTS OF GWINNETT COUNTY. IN ADDITION, SAID DUMPSTER AREAS SHALL BE GATED ON THE FORTH SIDE, AND THE GATE SHALL BE ARCHITECTUALLY FINISHED.
- STREET ENTRANCE MONUMENTS, IF PROVIDED, MUST BE IN PLACE PRIOR TO THE APPROVAL OF AN AS-BUILT, MONUMENTS MUST BE SETBACK 10' FROM THE RIGHT-OF-WAY. (ALL MONUMENT SIGNS MUST BE PERMITTED SEPARATELY)
- OUTDOOR LIGHTING IS NOT PERMITTED UNDER THESE CONSTRUCTION PLANS.
- ALL IMPROVEMENTS MUST CONFORM TO THE CITY OF DUNWOODY CONSTRUCTION STANDARDS AND
- NO STRUCTURES, FENCES OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE OR ACCESS
- EASEMENT WITHOUT PRIOR APPROVAL BY THE CITY OF DUNWOODY... APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL OF CITY OF DUNWOODY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER

TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA

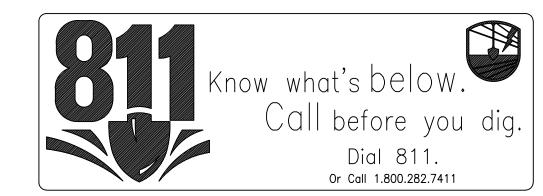
- 9. THIS PROPERTY IS NOT WITHIN A 100-YR FLOOD ZONE AS PER THE FEMA FIRM COMMUNITY PANEL NO. 13089C0005K, DATED 08/15/2019.
- 10. NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 592-6036 AND DEKALB COUNTY FIRE MARSHAL OFFICE (678) 406-7731.
- 11. APPROVAL OF THESE PLANS BY THE CITY OF DUNWOODY IS SUBJECT TO, AND CONTINGENT UPON THE APPLICANT OBTAINING ANY AND ALL NECESSARY APPROVALS FROM ANY AND ALL APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO THE UNITED STATES ARMY CORPS OF ENGINEERS, THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, THE USDA-NRCS, GEORGIA DEPARTMENT OF NATURAL RESOURCES. GEORGIA ENVIRONMENTAL PROTECTION DIVISION. AND THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION.
- 12. MAXIMUM CUT OR FILL SLOPES ARE 2 HORIZONTAL TO 1 VERTICAL.
- 13. THE EXISTING DRIVEWAY, SIDEWALKS AND IMPROVEMENTS WILL REMAIN IN THEIR EXISTING CONDITION. ANY DAMAGE ASSOCIATED WITH THIS PROJECT TO THE EXISTING IMPROVEMENTS WILL BE THE SOLE RESPONSIBILIY OF THE CONTRACTOR TO RESTORE/REPLACE SUCH IMPROVEMENTS TO THE CITY OF DUNWOODY REQUIREMENTS AND STANDARDS PRIOR TO ANY FINAL APPROVALS.
- 14. THERE ARE NO KNOWN WETLANDS ON THIS SITE.

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF DUNWOODY FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

> NOTIFY THE CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819

NOTIFY THE DEKALB COUNTY FIRE DEPARTMENT 24 HOURS BEFORE THE BEGINNING OF ANY CONSTRUCTION (678) 406-7731

24 HOUR CONTACT (404) 569-1150 MS. ANNA KHOKHLAN



STANDARD SITE NOTES:

MS. ANNA KHOKHLAN 1822 MOUNT VERNON ROAD DUNWOODY, GEORGIA 30339 CONTACT: MS. ANNA KHOKHLAN PHONE: (404) 569-1150 khokhlanpch@yahoo.com

- 2. THE ENGINEER SHALL BE UNDERSTOOD TO MEAN LANDWORKS ASSOCIATES, INC., P.O. BOX 88834, ATLANTA, GA 30356, PHONE/FAX: (770) 513-7100, WHO IS THE AUTHORIZED REPRESENTATIVE OF THE OWNER. CONTACT: WILLIAM CRIPPS
- 3. BOUNDARY INFORMATION IS BASED UPON THE SURVEY PERFORMED BY RINGO ABERNATHY &
- 4. TOPOGRAPHIC INFORMATION IS BASED UPON THE SURVEY PERFORMED BY RINGO ABERNATHY & ASSOCIATES. DATED JANUARY 27, 2022.
- 5. PROPERTY IS CURRENTLY ZONED R-100

ASSOCIATES, DATED JANUARY 27, 2022.

- 6. THE TOTAL PARCEL AREA IS .38 ACRES. DISTURBED AREA IS .12 ACRES
- 7. ON-SITE SANITARY SEWER DISPOSAL IS PROVIDED BY DEKALB COUNTY AND NO SERVICE LINE CHANGES ARE REQUIRED TO THE EXISTING BUILDING.
- 8. DOMESTIC WATER IS SUPPLIED BY DEKALB COUNTY AND NO SERVICE LINE CHANGES ARE REQUIRED TO
- 9. THE ENGINEER SHALL HAVE A MINIMUM OF 24 HOURS NOTICE PRIOR TO START-UP OF CONSTRUCTION. 10. NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION (678) 382-6819; AND DEKALB COUNTY FIRE DEPARTMENT PRIOR TO ANY CONSTRUCTION
- 11. ALL CONSTRUCTION MUST CONFORM TO THE CITY OF DUNWOODY STANDARDS AND REGULATIONS.
- 12. ALL DIMENSIONS SHOWN ARE MEASURED TO THE BACK OF CURB AND FACE OF BUILDING, UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- 13. THESE DOCUMENTS REPRESENT THE PROPOSED DEVELOPMENT REQUESTED BY THE INDICATED PROPERTY OWNER. LANDWORKS ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE IDENTIFICATION, LOCATION, AND/OR THE CLASSIFICATION OF ANY WATERS OF THE UNITED STATES AND/OR STATE WATERS LOCATED ON THIS SITE. IT IS THE RESPONSIBILITY OF THIS PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY(S) FOR APPROVAL OF ANY WORK ASSOCIATED WITH WATERS OF THE UNITED STATES AND/OR STATE WATERS.
- 14. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- 15. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
- 16. DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR CONSENT OF THE ENGINEER
- MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE TO THE ENGINEER. 17. THE CONTRACTOR SHALL WARRANT THAT HIS EMPLOYEES, AGENTS, AND SUBCONTRACTORS POSSESS THE EXPERIENCE. KNOWLEDGE AND CHARACTER NECESSARY TO QUALIFY THE INDIVIDUALS FOR THE PARTICULAR CONSTRUCTION TECHNIQUES THEY PERFORM IN CONNECTION WITH THE TASKS TO BE PERFORMED ON THIS PROJECT. THE CONTRACTOR SHALL INSURE THAT ALL CONSTRUCTION IS PERFORMED IN STRICT COMPLIANCE WITH ALL OSHA, STATE, AND LOCAL HEALTH AND SAFETY CODES.
- 18. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND EROSION. SUFFICIENT LIGHTS. SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- 19. THE CONTRACTOR IS TO FIELD VERIFY DIMENSIONS FOR ACCURACY PRIOR TO BEGINNING CONSTRUCTION. IF DISCREPANCIES EXIST, CALL ENGINEER IMMEDIATELY.

WETLAND CERTIFICATION

C-9

WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREIN, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND, 2) THE APPROPRIATE PLAN SHEET []DOES/[X] DOES NOT INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICITIONAL WETLANDS AS SHOWN ON THE MAPS; AND 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.

CERTIFICATION: THE PLAN PREPARER OR HIS DESIGNEE HAS VISITED THE SITE PRIOR TO THE CREATION "JON AMSBERRY, P.E. CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION"

JON AMSBERRY P.E.

TITLE: SHEET COVER SHEET EXISTING CONDITIONS SITE PLAN GRADING & DRAINAGE PLAN ES&PC NOTES INITIAL ES&PC PLAN INTERMEDIATE ES&PC PLAN FINAL FS&PS PLAN C-8 TREE PROTECTION PLAN

SHEET INDEX

CONSTRUCTION DETAILS CONSTRUCTION DETAILS

CONSTRUCTION DETAILS

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Packet page:...

REVISIONS

07-14-22 CITY COMMENT |12-19-22|CITY COMMENT

GASWCC LEVEL II CERTIFICATION #001389

ISSUED 11/22/2000

EXPIRATION 11/22/2023

cia

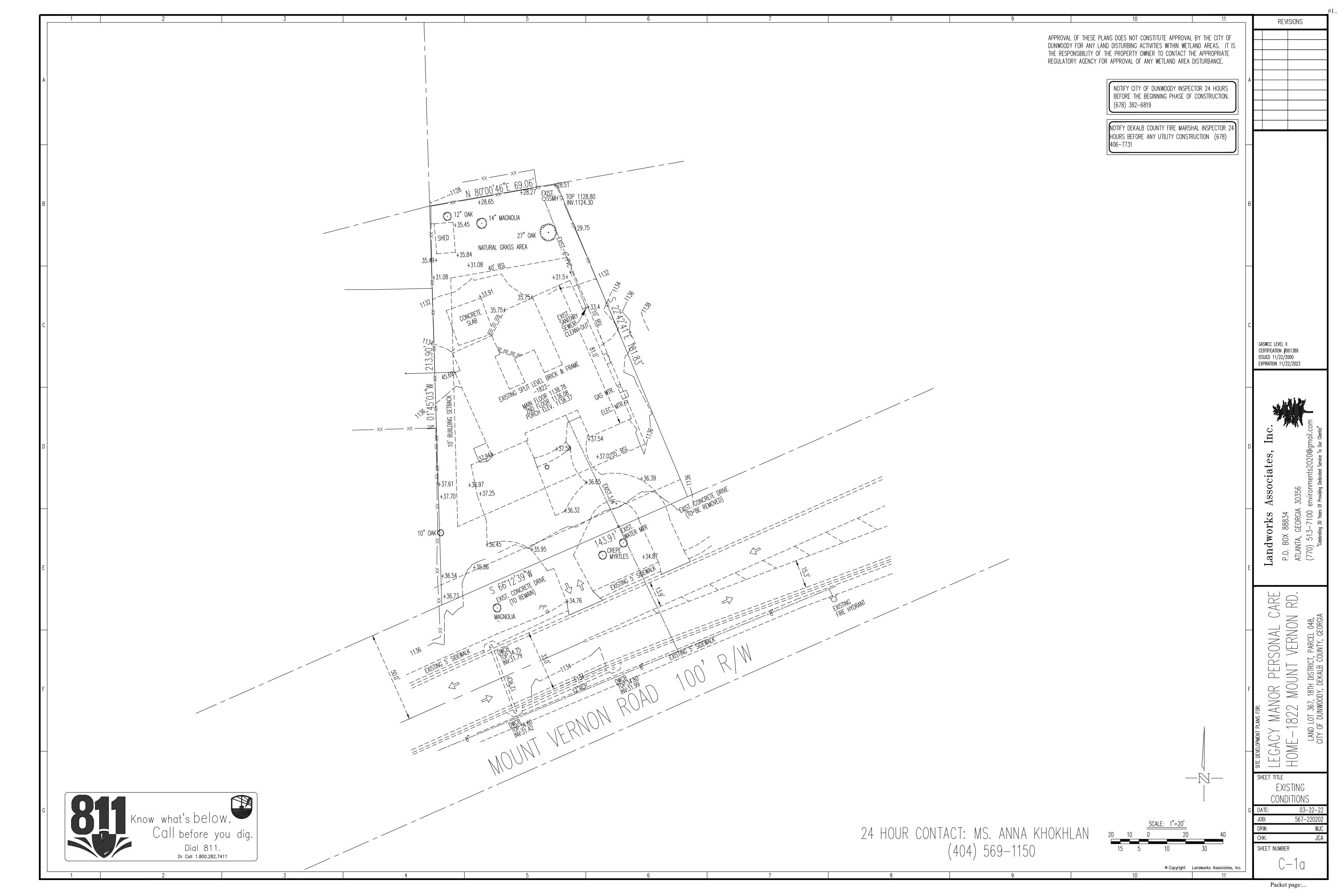
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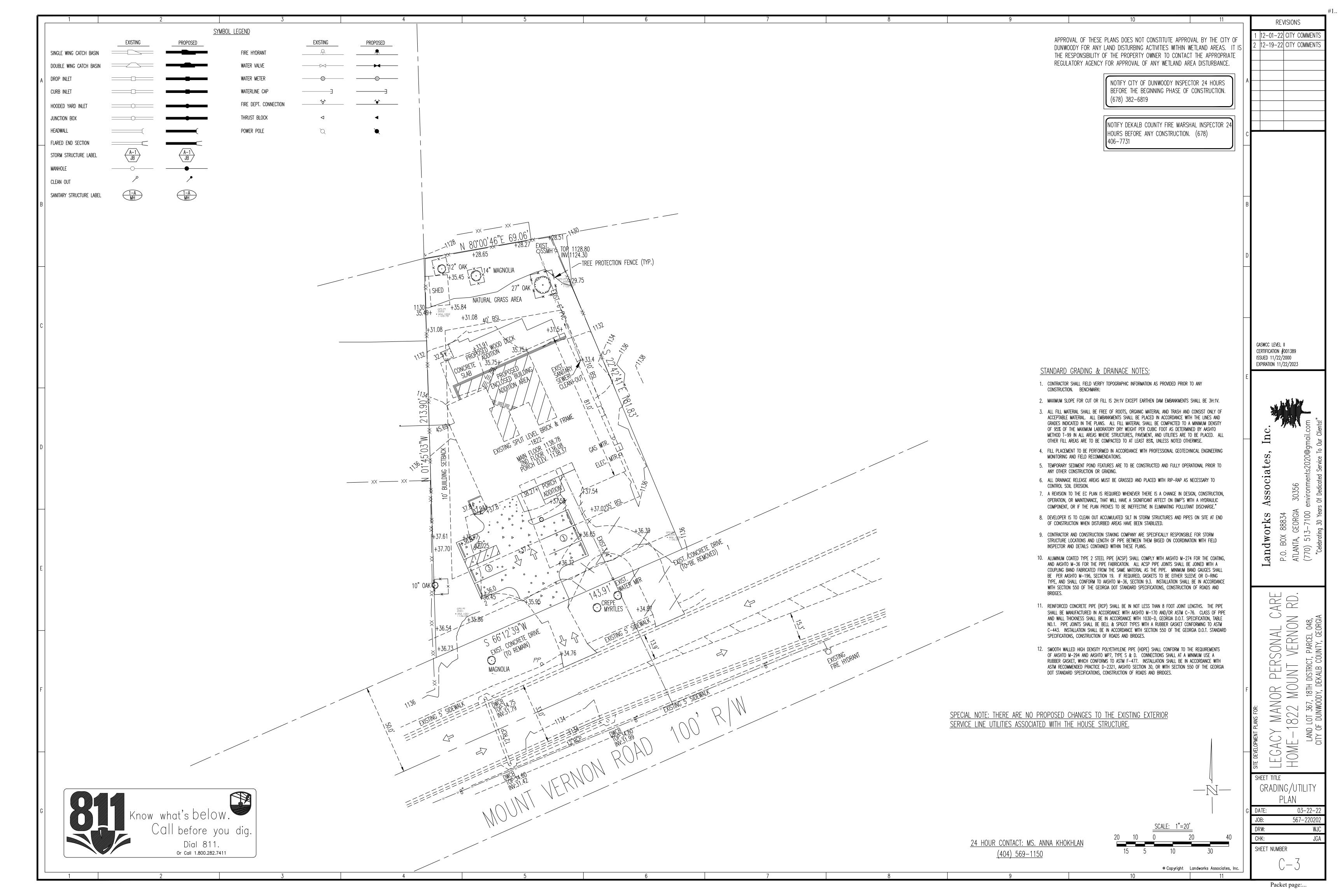
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SHEET TITLE COVFR 03-22-567-22020

SHEET NUMBER

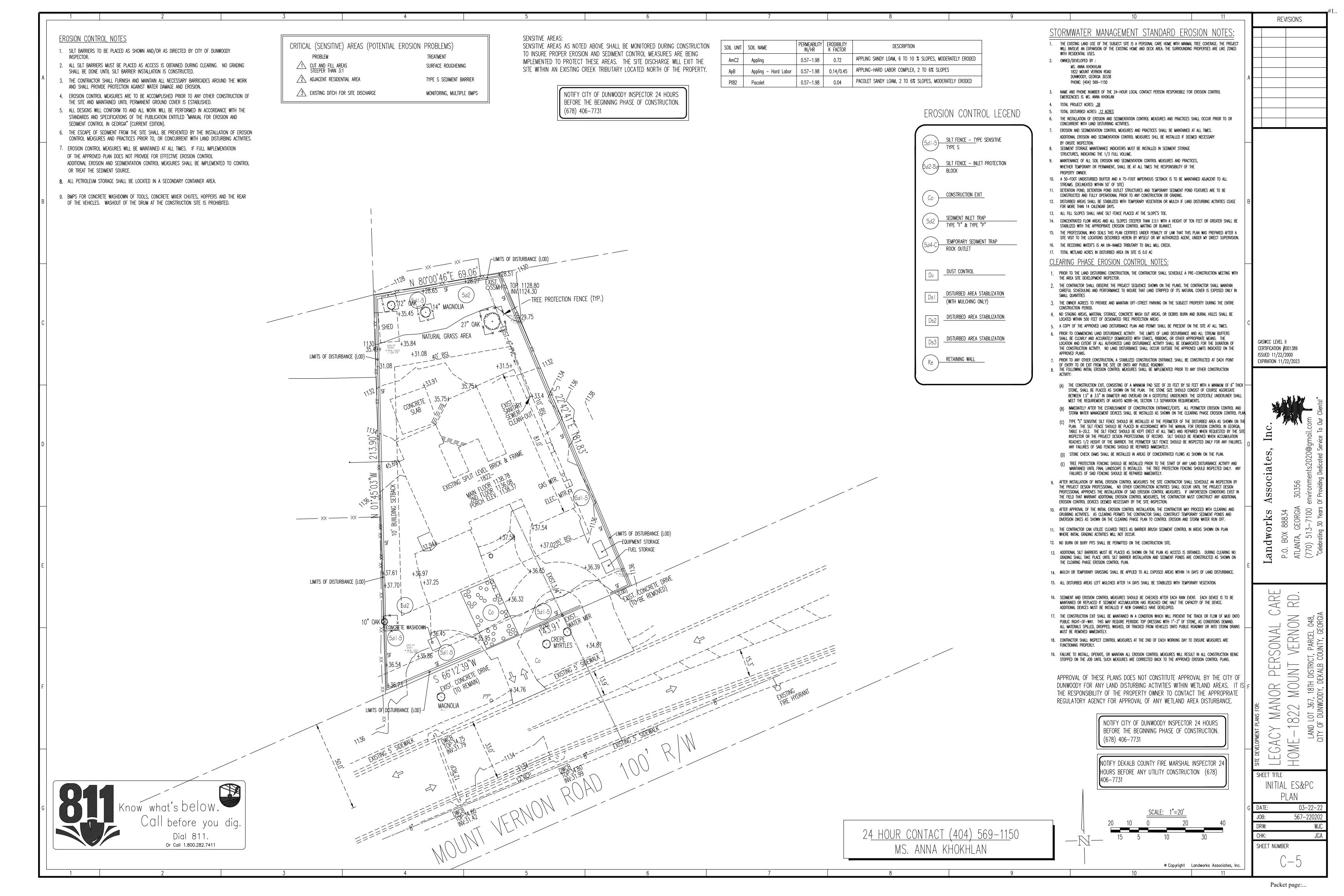


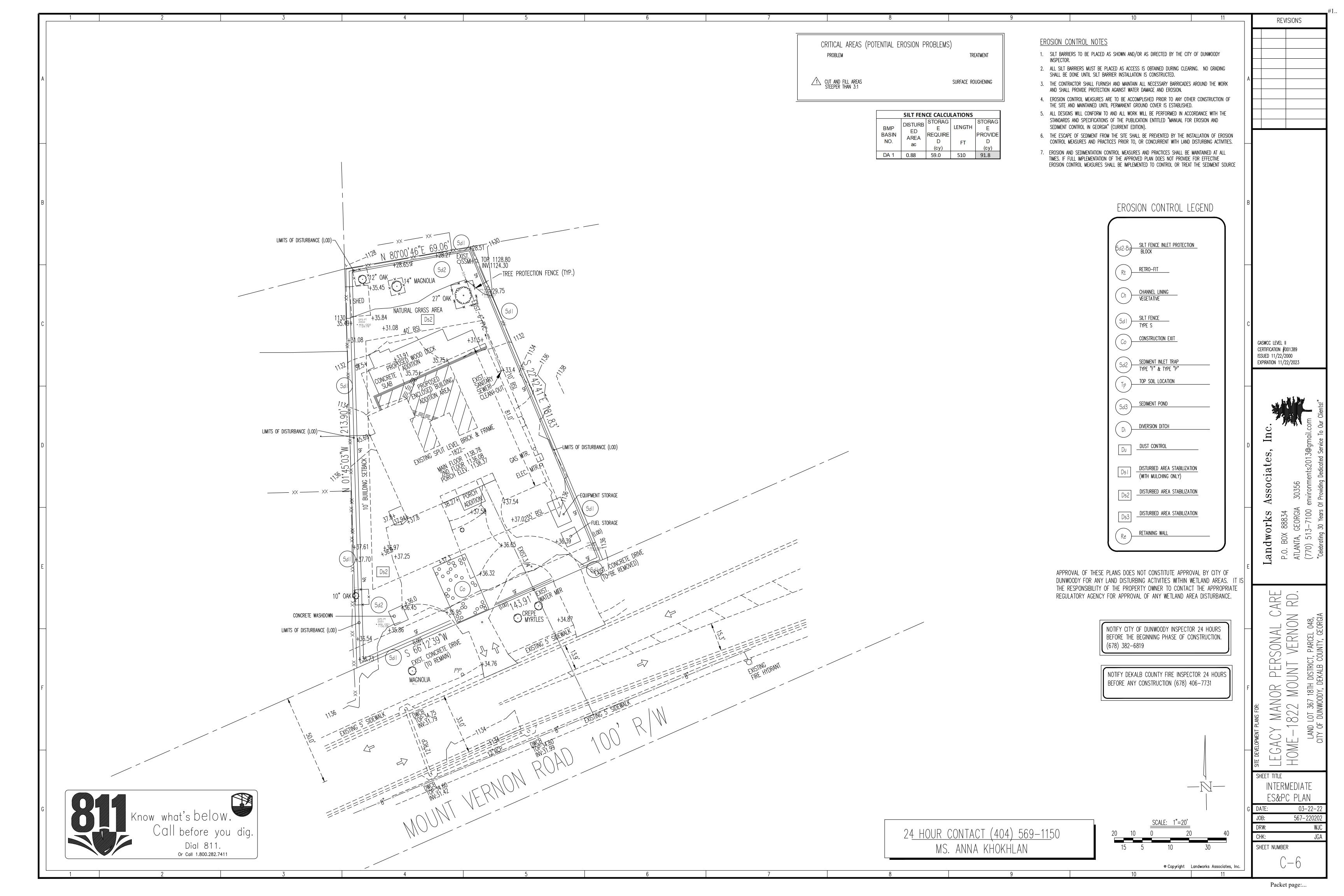
REVISIONS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE 3 | 12-19-22 | CITY COMMENT REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE. NOTIFY CITY OF DUNWOODY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (678) 382-6819 SITE PLAN NOTES: EXISTING AREA OF LOT = .38 ACRES 16,552 SQ. FT. EXISTING — CHAIN LINK FENCE (TO BE REMOVED AND REPLACED 60% ALLOWED IMPERVIOUS AREA ON LOT = 9,931 SQ. FT. WITH OPAQUE FENCE) TOTAL IMPERVIOUS AREA ON LOT = 9,191 SQ. FT = 55.5%. EXIST. CHAIN LINK FENCE— (TO BE REMOVED AND REPLACED WITH OPAQUE FENCE) FRONT YARD IMPERVIOUS AREA CALCULATIONS PROP. 5'X 5' CONCRETE PAL FRONT YARD TOTAL SQUARE FOOTAGE = 8,064 SQ. FT. GASWCC LEVEL II
CERTIFICATION #001389
ISSUED 11/22/2000
EXPIRATION 11/22/2023 35% ALLOWED IMPERVIOUS AREA = 2822 SQ. FT. — EXIST. OPEN WOOD DECK AREA (TO BE REMOVED) PROPOSED 158 SQ. FT. FIRST FLOOR ADDITION AREA TOTAL IMPERVIOUS AREA IN FRONT YARD = 2802 SQ. FT. 34.7% BLOCK "B" MOUNT VERNON NORTH SUBDIVISION 1 PROPOSED WASTE PAD WITH OPAQUE FENCE ENCLOSURE-PROPOSED CONCRETE PAVEMENT CHAIN LINK FENCE (TO BE REMOVED AND AND REPLACED WITH OPAQUE FENCE ON THE 1822 PROPERTY) Landworks MANOR PERSONAL CARE 1822 MOUNT VERNON RD. SITE PLAN ASSOCIATED WITH THIS PROPERTY. Call before you dig. 24 HOUR CONTACT: MS. ANNA KHOKHLAN Or Call 1.800.282.7411 (404) 569 - 1150SHEET NUMBER C-2© Copyright Landworks Associates, Inc.

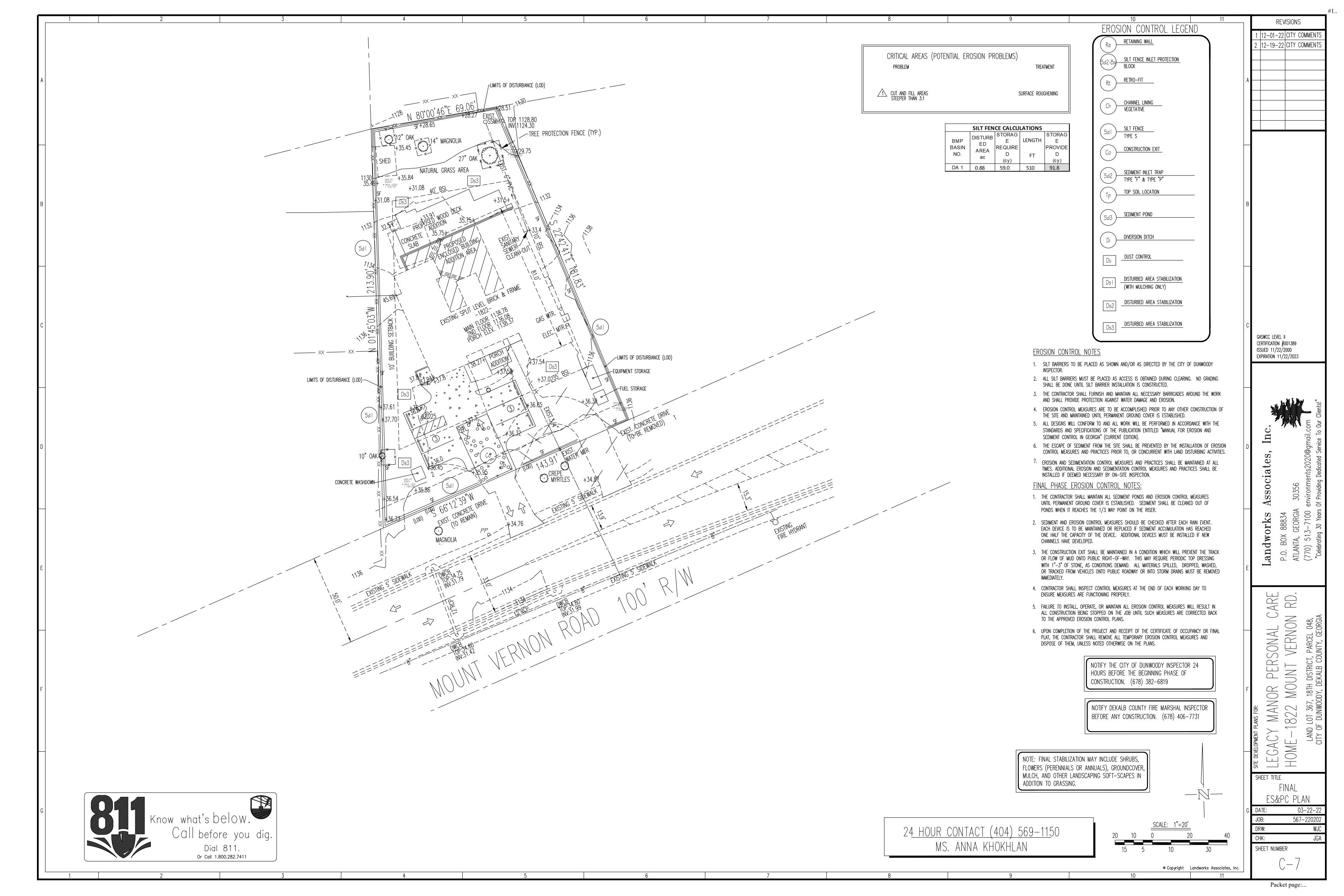


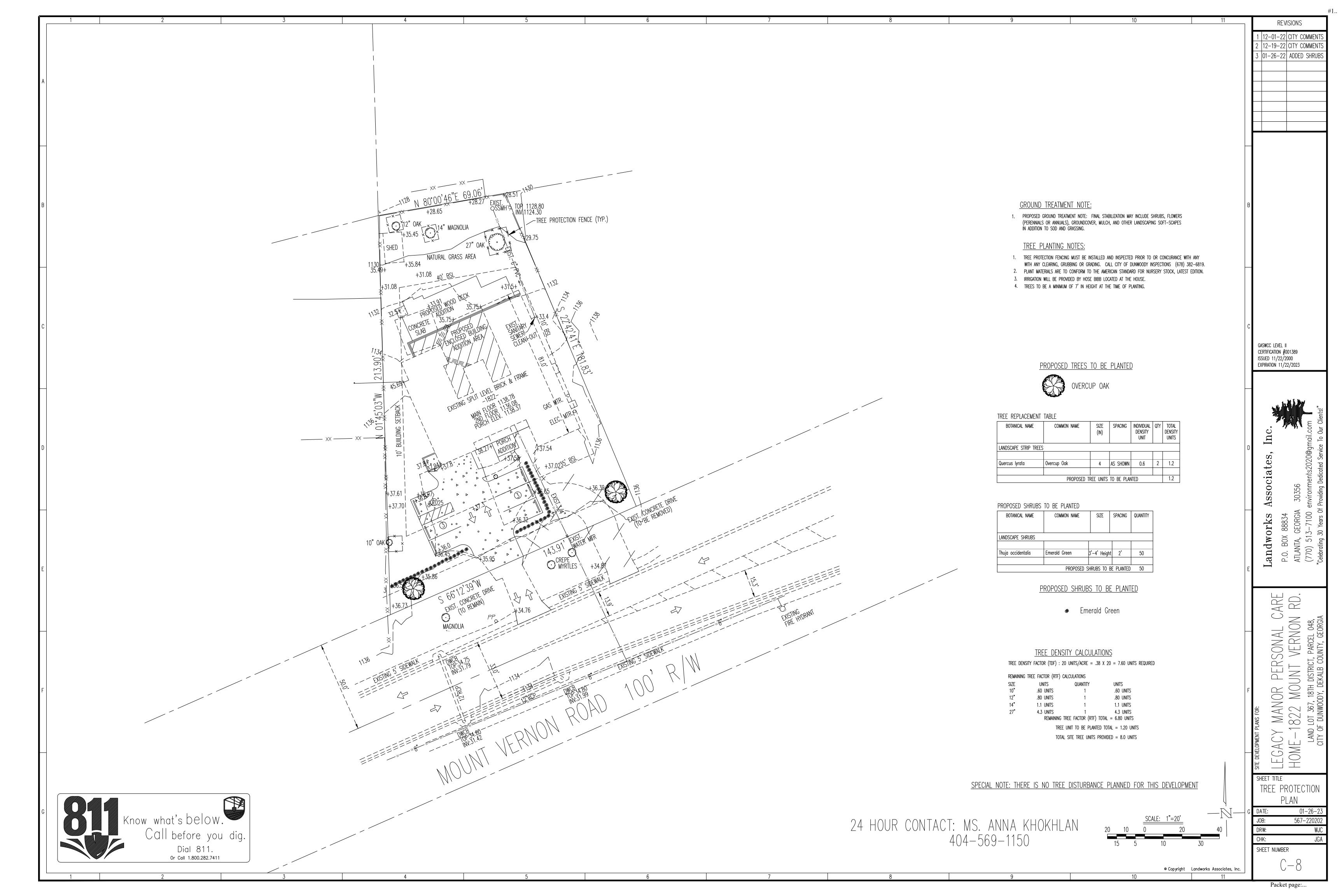
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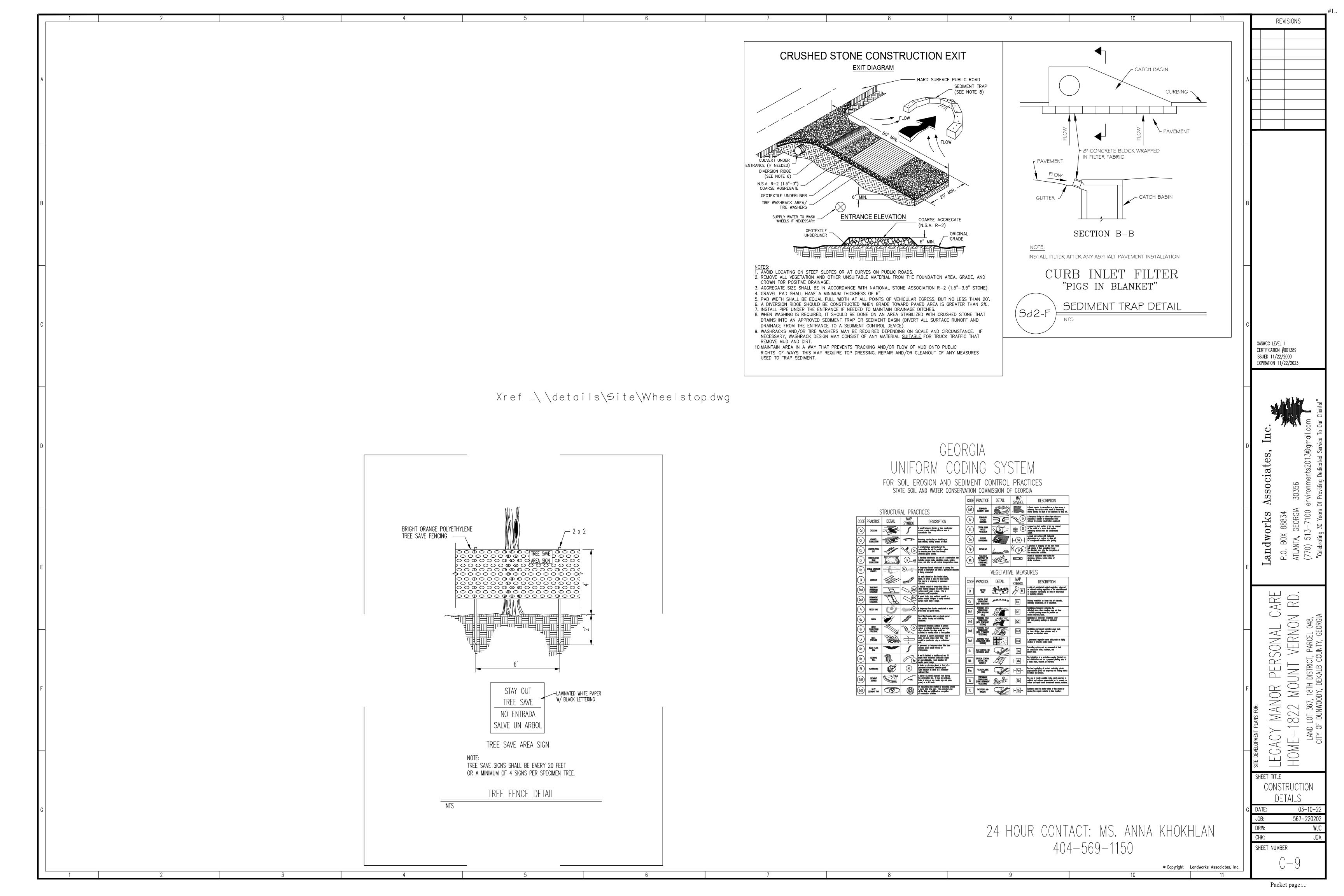
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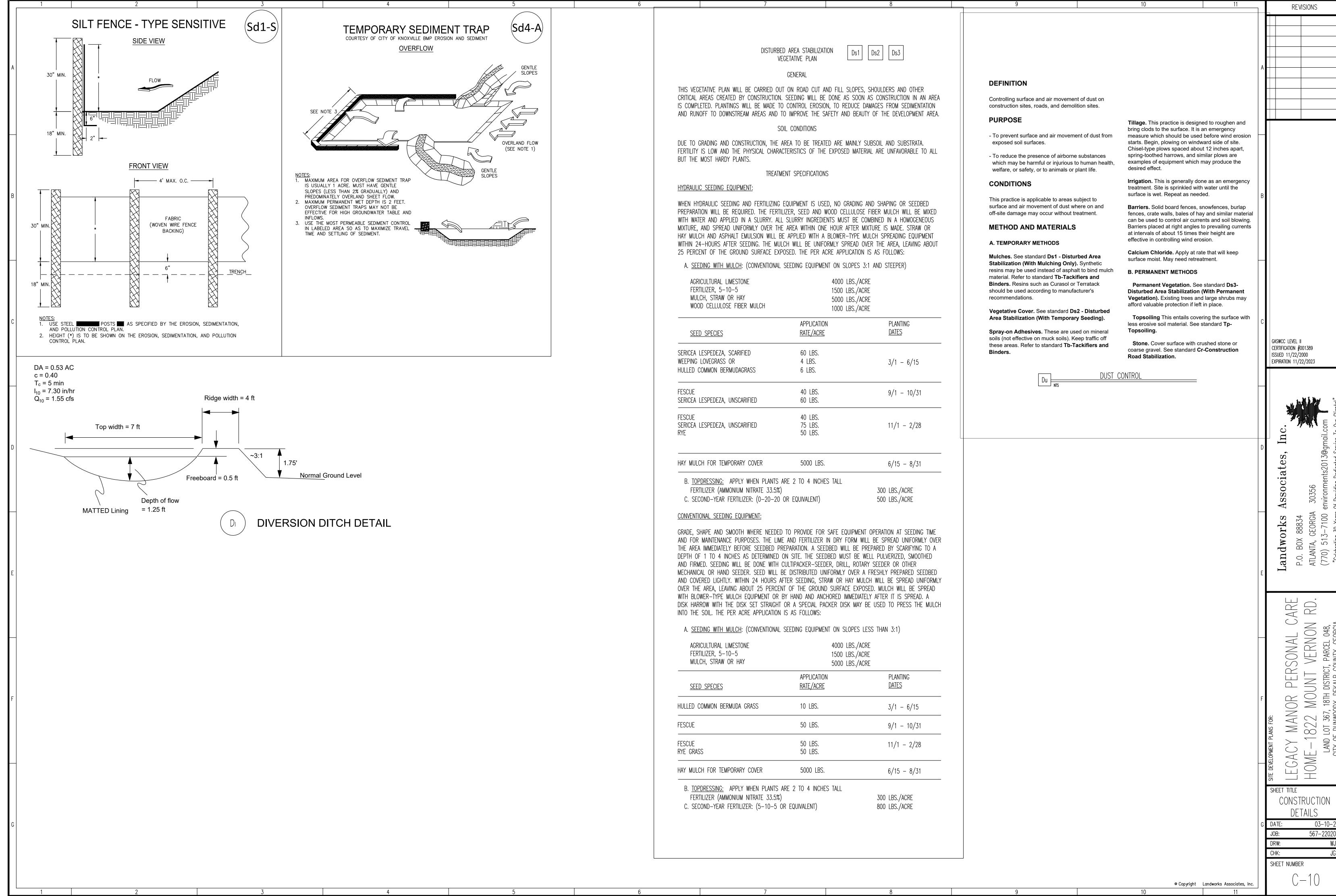




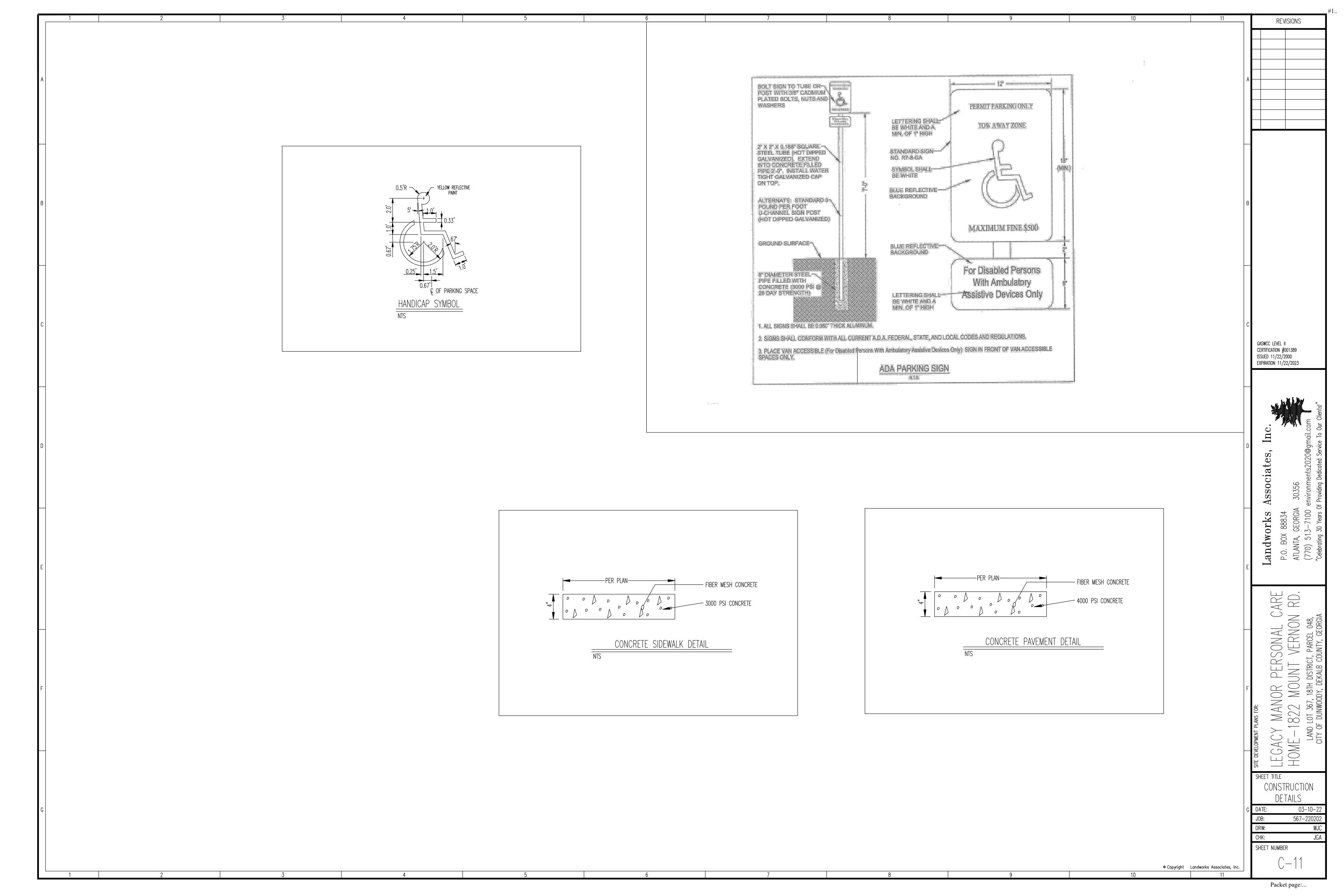








Packet page:...



SPECIAL LAND USE PERMIT APPLICATION



Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338 Phone: (678) 382-6800 | Fax: (770) 396-4828

Applicant Information:

the state of the s						
Company Name:	Legacy Mar	nor Personal Care H	ome c/o Andersen T	ate and Carr		
Contact Name:	Anre Washingt	ton, Esq				
Address:	1960 Satellite	BLVD #4000 Duluth,	, Georgia 30097			
Phone: <u>770-822-09</u>	00 Fax:		Email:	awashin	gton@atclawfirm.com	
Pre-application co	nference date	(required):		-		
Owner Information	n: ☐ Check he	re if same as ap	plicant			
Owner's Name:	Anna and Rom	an Khokhlan				
Owner's Address:	4994 Eagles Ne	ext Court, Loganville	Ga 30052			
Phone: 404-569-115	ⁱ⁰ Fax:		Email: khoklanpch	@yahoo.com		
Property Informati	ion:					
Property Address:	1822 Mount Ver	non Road, Dunwood	dy Georgia		Parcel ID: 18 367 01	048
Current Zoning Cl	assification:	R-100				
Requested Zoning	Classification	1: <u>R-100 SUP</u>				
Applicant Affidavit						
determined to be nec Zoning Ordinance. I c and associated actions Applicant's Name:	cessary, I underscertify that I, the	stand that I am res	sponsible for filing a	additional materi	t and complete. If additional also as specified by the wner's behalf, pursuant ate:	e City of Dunwoody
Applicant's Signat	ure: mag	Jane 1	asseyar		ale. Jeliner	91 0012
Notary: Sworn to and substitution Notary Public: Signature: My Commission Ex	Ary Jave		Day of	Dolon	ber , 20	25
	10	CTT CONTENTS				Page 7 of 1

Property Owner(s) Notarized Certification



Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338 Phone: (678) 382-6800 | Fax: (770) 396-4828

I hereby certify that to the best of my knowledge, this amendment form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that the applicant(s) (if different) are authorized to act on my behalf, pursuant to this application and associated actions.

Property Owner (If Ap	plicable):
Owner Name:	Anna Khokhlan
Signature:	- Kleenbur Date: 12-05-2012
Address:	1822 MOUNT VERNON Kd NUNWORDER GA 30338
Phone: 4-569-1150	Fax: Email: KLOKWON pch Qyahoo: com
Sworn to and subscr	Describer 05 Day of Desember 2022
Notary Public:	AUTA A
THE STATE OF THE S	ORGIA
	MY 5, 2026
1	O BLK
Property Owner (If Ap	oplicable):
Owner Name:	Roman Khokhlar
Signature: /	Date: 12-05-2022
Address:	IR22 MOUNT VERNON ROL, DUNWOODY GH 30338 THE Email: R Khokhland Live.com The Day of Desember , 2022
Phone: 7-510-6669	Email: RKhokhland Live.com
Sworn to and subsection	Day of Desember 2022
Notary Public:	EDD THE TOTAL TH
	ORG A
THE A	75.2026 E
Mark.	M.C. M. T. Harris
Property Owner (If Ap	plicable):
Owner Name:	
Signature:	Date:
Address:	
	Fax:Email:
	ped before me this Day of, 20
Notary Public:	

Page 8 of 11

Additional Applicant Notarized Certification



Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338 Phone: (678) 382-6800 | Fax: (770) 396-4828

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

Applicant:	
Applicant Name;	Anna Kluokhlan - Mullium Date: 12-5-2022 1019 Mount Vennon Rd Nunwoody GA 30338
Signature: (MUR	Michigan Date: 12-5-2022
ruui coo.	That Trible Vention for During City of
Phone: 4-569-1150	Email: KhOKh/an pcha /a hoo. com
Sworn to and subsails	
Notary Public:	GEODGIA
	PUBLIC
71	William William
Applicant:	
Applicant Name:	Roman Khokhlan
Signature: Kneek	Date: 12-05-2022
Address:	1892 Mocent Vernon Rd, Danwoody GA 30338
Phone: 7-510-6669	Email: RKhokhlana) Live . com
Sworn to and subscrip	ad neture me this 05 Day of Desember, 2022
Notary Public:	Fax: Email: Khhokhlab at the term of Desember 2022 Day of Desember 2022 DAY 5, 2026 DAY COUNTY DAY OF THE TERM
Applicant:	ON COOK THE
Applicant Name:	
Signature:	_ Date:
Address:	
Phone:	_Fax:Email:
Sworn to and subscrib	ed before me this, 20
Notary Public:	

Campaign Disclosure Statement



Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338 Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission?

YES NO

Applican	it / Owner:				
Signatur Address	re: Ama Khos. :: 1822 Mount Veri	tlar on Rd, Dunwoo	Date:	12-05- LANDLOT 30	2022 67,18 DISTAI
If the ar	nswer above is yes, please co	omplete the following s	ection:		
Date	Government Official	Official Posi	tion Desc	ription	Amount
					V
			-		

ANDERSEN | TATE | CARR

December 6, 2022

LETTER OF INTENT AND JUSTIFICATION FOR DEVELOPMENT

Special Land Use Permit City of Dunwoody, Georgia

Applicant:

Anna and Roman Khokhlan

Property:

Tax Parcel IDs 18 367 01 048
±.38 Acres of Land
Located at 1822 Mount Vernon Road,
Dunwoody Dekalb County, Georgia
For the Development and Elder and Memory Care Facility for Seniors

Submitted for Applicant by:

Anre' D. Washington, Esq.
ANDERSEN TATE & CARR, P.C.
One Sugarloaf Centre
1960 Satellite Blvd.
Suite 4000
Duluth, Georgia 30097
770.822.0900
awashington@atclawfirm.com

I. Introduction

This Development Application (the "Application") is for a \pm .38 parcel of land located at Land Lots 367 of the 18th District, Parcel 048 City of Dunwoody, Dekalb County, Georgia, identified as Parcel ID 18 367 01 048 (hereinafter the "Property") on behalf of the Anna and Roman Khoklan (the "Applicant"). The Property is located at a developed site along Mount Vernon Road.

The Application's subject Property is detailed in an attached survey and site plan dated December 1, 2022, prepared by Landworks Associates, Inc. The Property was formerly a single-family residence with significant structural damage, as seen in the attached photos, and is further identified as shown below from the Cobb County GIS:



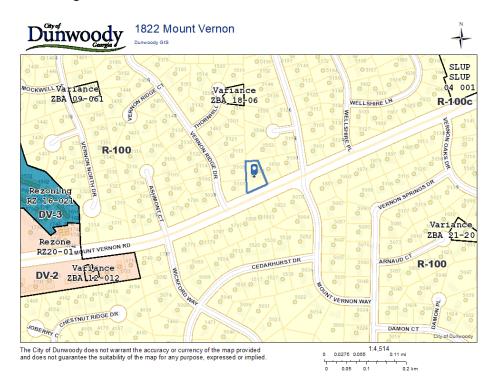
The Property is largely surrounded by single-family homes in the northern portion of Dekalb County within the City of Dunwoody City limits. The completed version of Proposed Development's (the "Development") architecture and materials will be consistent with the look and feel of the surrounding single-family dwelling.

This Development is an expansion effort of an established and successful senior care business, Legacy Manor Personal Care Home ("Legacy Manor"). Legacy Manor is a residential, personal care facility that provides a fully staffed residential-like community for a small number of seniors to age in place in a safe and controlled environment. The facility will service seven or fewer individuals who can no longer care for themselves but need and, indeed, a place to live equipped with competent medical staff but a "close to normal" home living experience.

II. DESCRIPTION OF THE PROPERTY AND SURROUNDING AREA

The Property is a less than a half-acre rectangular single tract of land surrounded by single-family homes and comfortably situated on Mount Vernon Road, a major arterial thoroughfare within the City of Dunwoody.

Despite the commercial nature of the Development, there is strategic alignment between the Applicant's business model and the spirit and intent of the City's comprehensive plan. As noted on page 14 of the City of Dunwoody's 2020-2040 Comprehensive Plan, "Residential options for seniors remain paramount . . . Unfortunately, most of the City's Housing stock is single-family residential." The plan goes on to state to address this problem, the City must, as an option, "[permit] smaller, lower maintenance senior accessible housing in reasonable proximity to traditional family residential neighborhood." This Development would fill this need by redeveloping an e decaying existing single-family home into a high-quality "age in place" facility. The SLUP would maintain the R-100 designation but permit uses for the limited purposes associated with the business. Below is an aerial map of the surrounding area and uses:



Pursuant to the City of Dunwoody Code of Ordinances, "R" zoning districts are designed to, among other things, "create, maintain, and promote a variety of housing and to help ensure consistency with the comprehensive plan." This Development fits within the spirit and intent of the Code because the Senior Residents will live at this location with the benefit of medical and support staff in a facility that is fully integrated in an existing neighborhood. Therefore, the Applicant submits that the proposed Development helps to address the current need for housing variety for disabled seniors, complements existing uses, and fully complies with the City's Comprehensive Plan and Code of Ordinances.

III. PROJECT SUMMARY

The Development is a single 6,895 heated square foot facility with an adjoining 660 square foot wooden deck attached to the rear exterior of the Site. As shown on the survey and site plan dated December 1, 2022, prepared by Landworks Associates, Inc, and April 10, 2022, blueprints and filed with this Application (hereinafter the "Site Plan"), the Development includes seven bedrooms, an office, two staff rooms, and a primary suite, along with other spaces for residents. The Site will consist of four parking spaces accessed through a single entrance. The Development will not have a monument sign; standard residential County provided garbage cans located in the rear; enhanced landscape along the western portion of the Property to prevent visible intrusion to the neighbors. A proposed rendering of the Development is pictured below.

Legacy Manor is a small, locally owned family business, and the owner will, in addition to operating the facility, reside there as well. The Applicant chose this location after purchasing the existing single-family home for personal use and, through renovations, discovering significant structural damage. The business caters to veterans and seniors age 65 and older, and residents most often come via referral from the Applicant's existing location.



The Applicant's facility is also required with state and federal guidelines for personal care facilities. The Applicant has successfully provided these services for more than two decades. Although there are 24-hour, seven-days-a-week staff members present for residents, the Applicant limits visitation hours to a few per day, there is no high traffic volume, and the facility does not produce excessive garbage or sewage. The guidelines require adequate staffing per patient, caps the number of patients to eight, mandates electronically monitored building entrances and exits, and clear and accessible entrance and exits for emergency vehicles. The Development will cap the number of residents at seven and only takes residents through appointments.

IV. CITY OF DUNWOODY SECTION 27-359 CRITERIA

- a. General. Except as otherwise stated in this ordinance, the following review and approval criteria must be used in reviewing and taking action on all special land use permit applications:
 - (1) Whether the proposed use is consistent with the policies of the comprehensive plan;

Yes. This Development is consistent with the City of Dunwoody Comprehensive plan. This Development would fill this need by redeveloping an e decaying existing single-family home into a high-quality "age-in place" facility. The SLUP would maintain the R-100 designation but permit uses for the limited purposes associated with the business.

(2) Whether the proposed use complies with the requirements of this zoning ordinance;

Yes. This Development fits within the spirit and intent of the Code because the Senior Residents will live at this location with the benefit of medical and support staff in a facility that is fully integrated in an existing neighborhood.

(3) Whether the proposed Site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district;

Yes. The Development fits within the proposed Site, including the necessary coverage for parking and the building's footprint. The Applicant is not requesting any additional variances or waivers.

- (4) Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:
 - a. Whether the proposed use will create adverse impacts upon any adjoining land use because of noise, smoke, odor, dust or vibration generated by the proposed use
 - No. The Development is a non-smoking facility and, aside from medical or service-related care, functions as a residential facility.
 - c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;

No. It is a 24-hour senior residential facility. The Development will not be intrusive to adjoining neighbors. The Residents and Staff will be in the facility. The Applicant has strict rules regarding the number of visitors and visitation times.

d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;

No. The Development is not a high-traffic, noise, or activity center.

e. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;

No. the facility is limited to 4 parking spots. Access will be via a single entrance and exit. There are a limited number of visitors.

f. Whether the size, scale, and massing of proposed buildings are appropriate to the size of the subject property and in relation to the size, scale, and massing of adjacent and nearby lots and buildings; and

The facility fits well within the size of the lot, sufficient for all statutorily required parking, access for emergency vehicles, and distance from neighbors.

g. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.

No. There are no historic buildings, sites, districts, or archaeological resources at the Site.

(5) Whether public services, public facilities and utilities—including motorized and non-motorized transportation facilities—are adequate to serve the proposed use;

Yes.

(6) Whether adequate means of ingress and egress are proposed, with particular reference to nonmotorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access;

Yes. The Site provides sufficient ingress and egress.

(7) Whether adequate provision has been made for refuse and service areas; and

Yes. The Site provides for refuse and service areas.

(8) Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.

No. the Site will not create a negative shadow impact on any adjoining lot or building.

V. DRAFT PROPOSED CONDITIONS

In an effort to demonstrate responsiveness to community concerns and issues presented at the staff meeting, the Applicant proposes the following conditions of Approval of the Application:

- 1. Special uses on the Property shall be limited to a State-licensed Family Personal Care Home providing residence and care for a maximum of eight residents in the existing single-family home.
- 2. Exterior signage advertising the Family Personal Care Home shall be prohibited.
- 3. Any new building(s) or building renovations shall be of a traditional residential style, compatible with the homes in the surrounding area. Architectural elevations, building materials, and colors shall be subject to the review and approval of the Planning and Development Department prior to the issuance of a building permit.
- 4. Off-street parking related to the operation of the personal care home shall be limited to four vehicles

VI. CONCLUSION

For the foregoing reasons, the Applicant respectfully requests approval for this Application to develop the Property. The Applicant welcomes the opportunity to meet with the City of Dunwoody Planning Commission, Council, and Mayor to answer any questions or to address any concerns relating to this Letter of Intent or supporting materials.

Respectfully submitted this 6th day of December, 2022.

ANDERSEN, TATE & CARR, P.C.

Anre' D. Washington

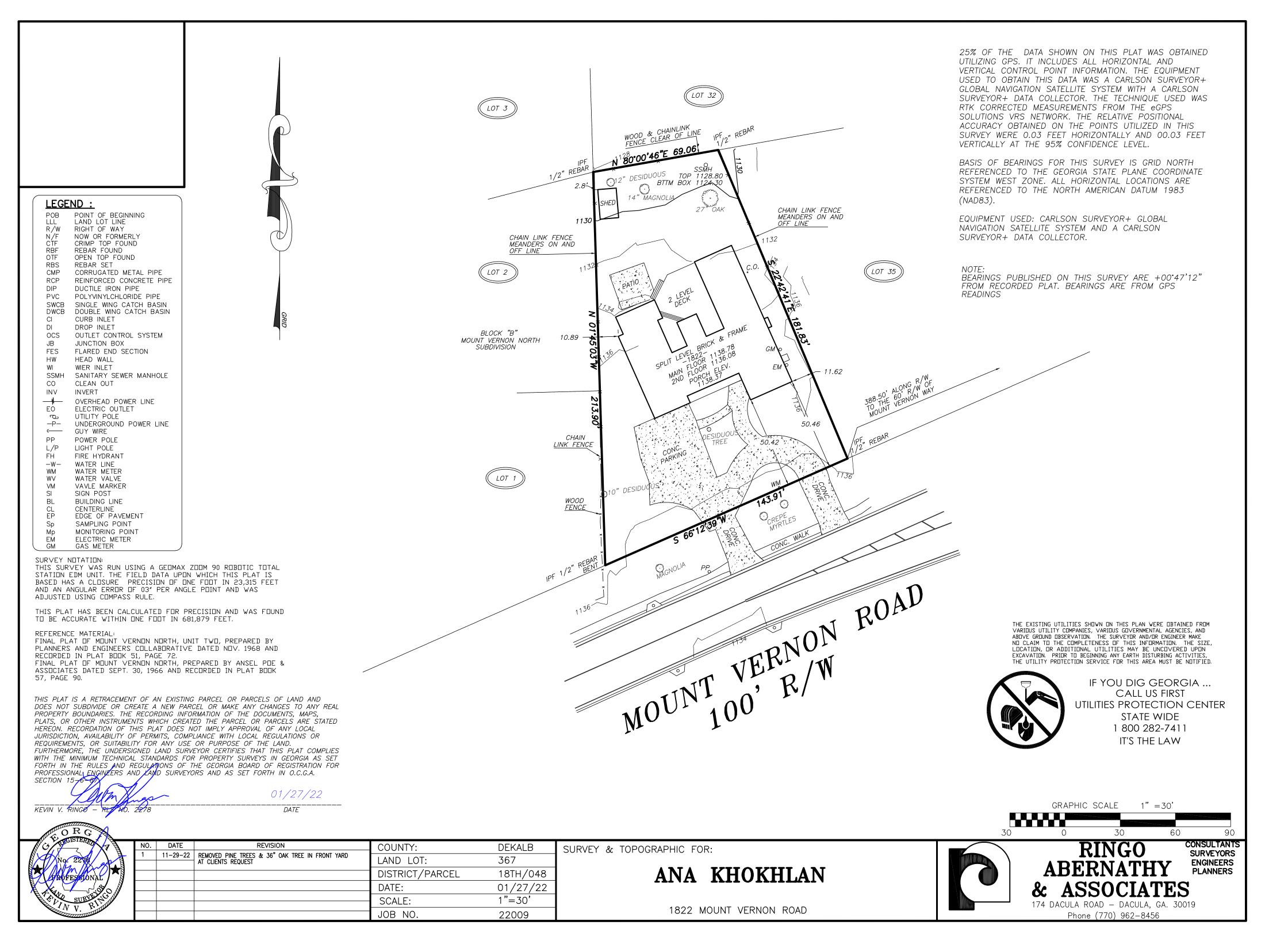
Anre' D. Washington, Esq.

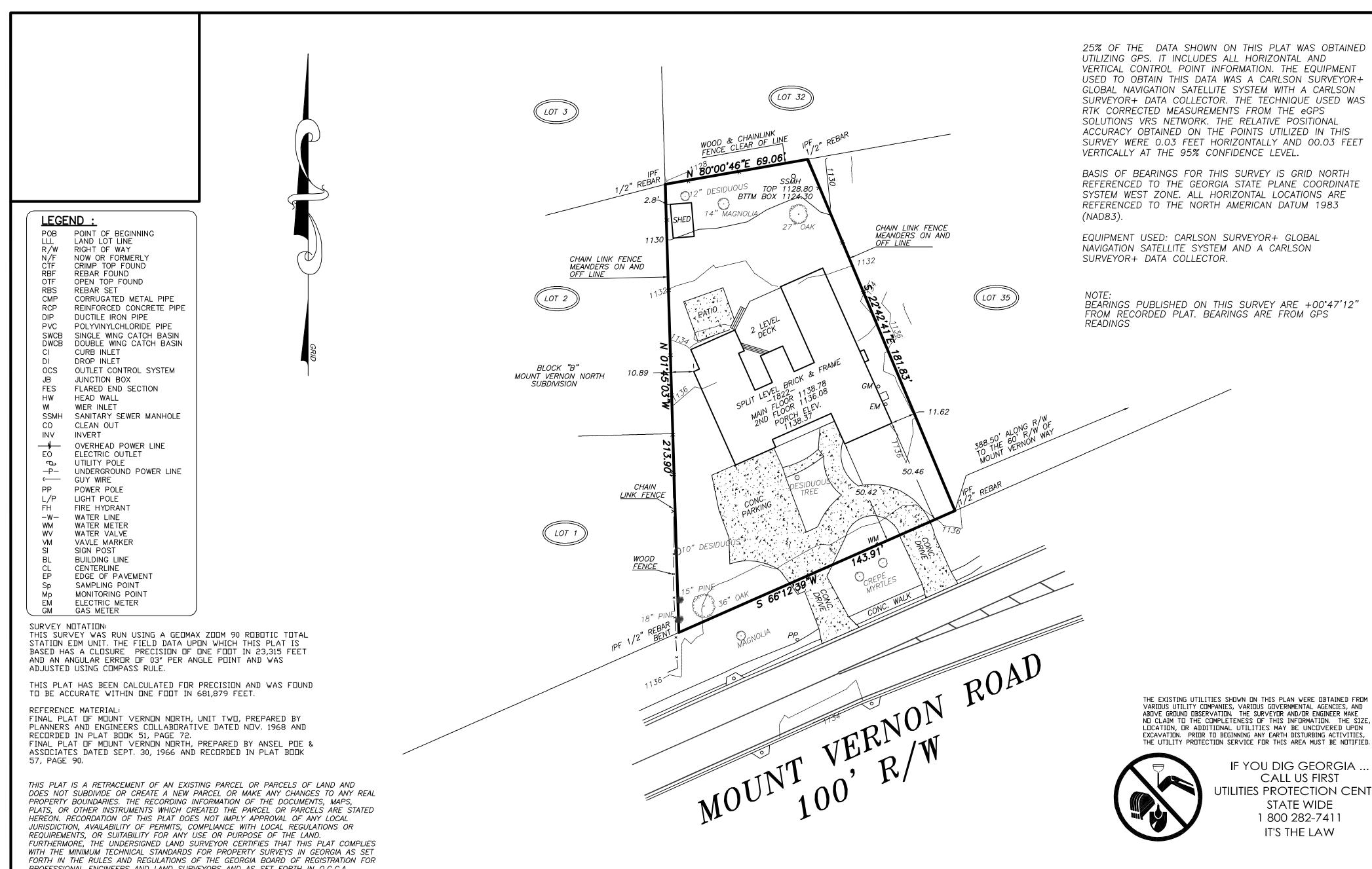
Enclosures











REFERENCE MATERIAL:

FINAL PLAT OF MOUNT VERNON NORTH, UNIT TWO, PREPARED BY PLANNERS AND ENGINEERS COLLABORATIVE DATED NOV. 1968 AND RECORDED IN PLAT BOOK 51, PAGE 72. FINAL PLAT OF MOUNT VERNON NORTH, PREPARED BY ANSEL POE & ASSOCIATES DATED SEPT. 30, 1966 AND RECORDED IN PLAT BOOK 57, PAGE 90.

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION. AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

KEVIN V. RINGO - RLS NO. 2278

ORG REVISION DATE COUNTY: DEKALB

DATE

SURVEY & TOPOGRAPHIC FOR: 18TH/048 01/27/22

367

1"=30'

22009

LAND LOT:

DATE:

SCALE:

JOB NO.

DISTRICT/PARCEL

ANA KHOKHLAN

1822 MOUNT VERNON ROAD

30

RINGO **ASSOCIATES**

GRAPHIC SCALE

NO CLAIM TO THE COMPLETENESS OF THIS INFORMATION. THE SIZE, LOCATION, OR ADDITIONAL UTILITIES MAY BE UNCOVERED UPON

EXCAVATION. PRIOR TO BEGINNING ANY EARTH DISTURBING ACTIVITIES,

THE UTILITY PROTECTION SERVICE FOR THIS AREA MUST BE NOTIFIED.

IF YOU DIG GEORGIA ... CALL US FIRST

UTILITIES PROTECTION CENTER

STATE WIDE

1 800 282-7411

IT'S THE LAW

1" =30'

174 DACULA ROAD - DACULA, GA. 30019

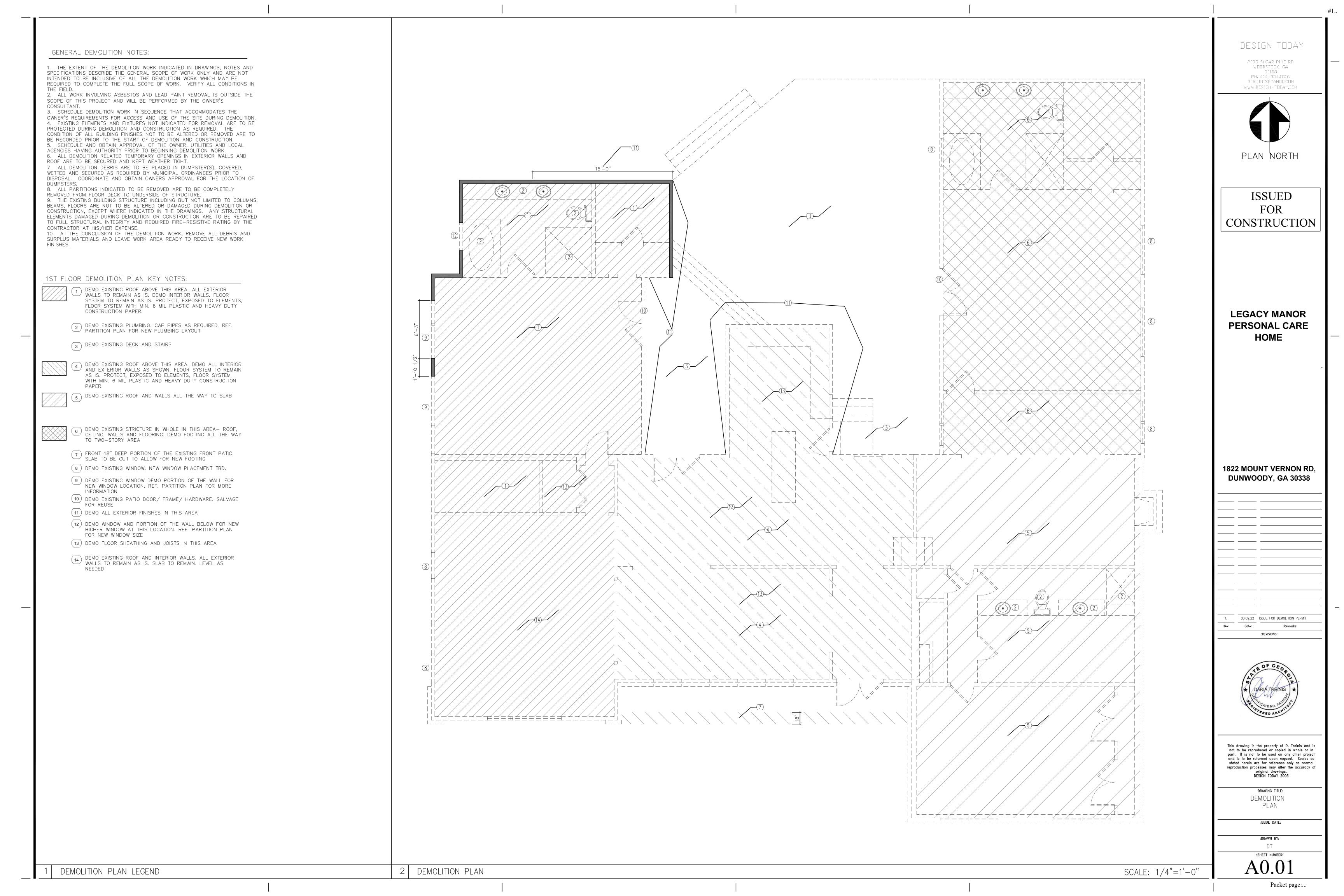
Phone (770) 962-8456

CONSULTANTS

SURVEYORS

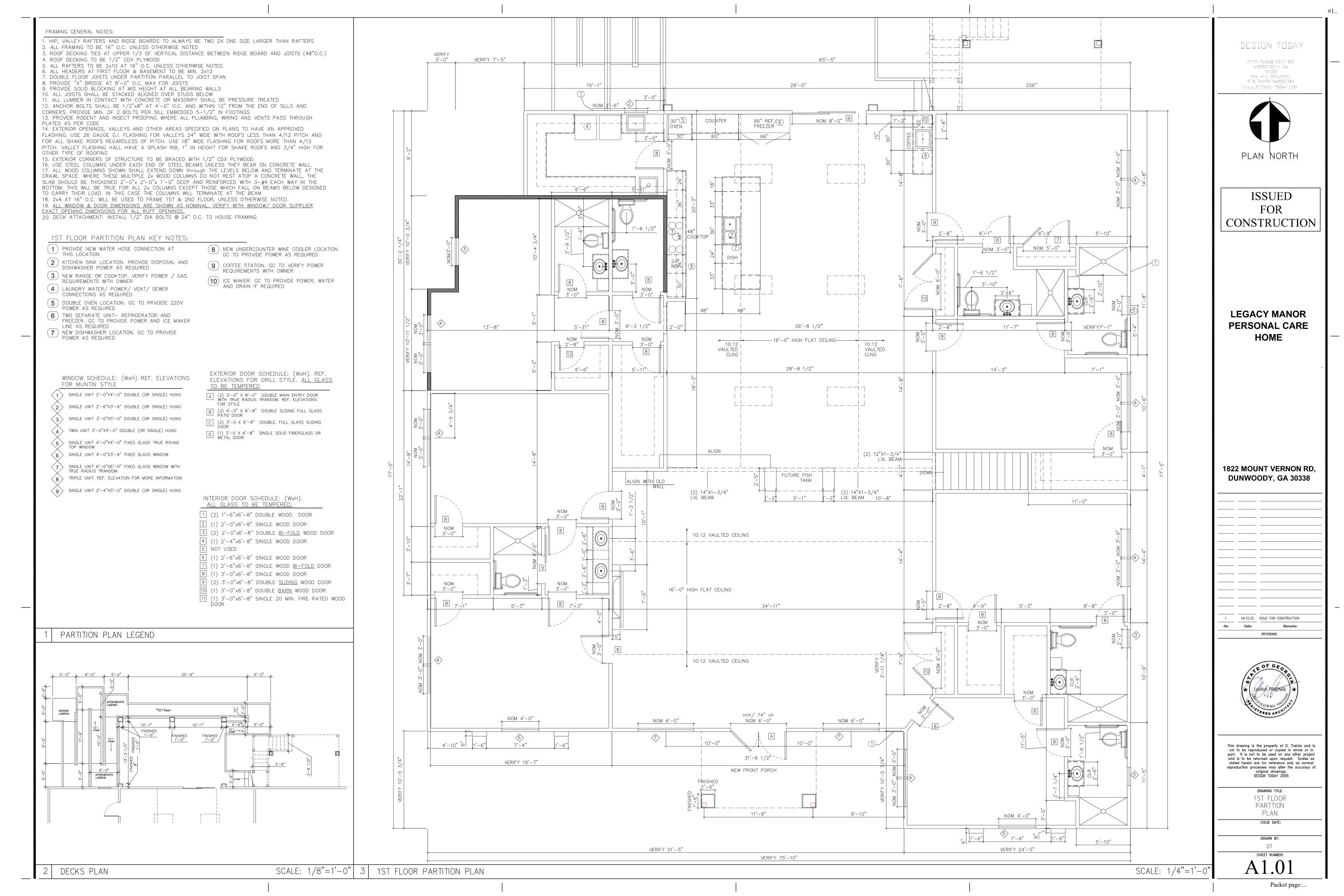
ENGINEERS

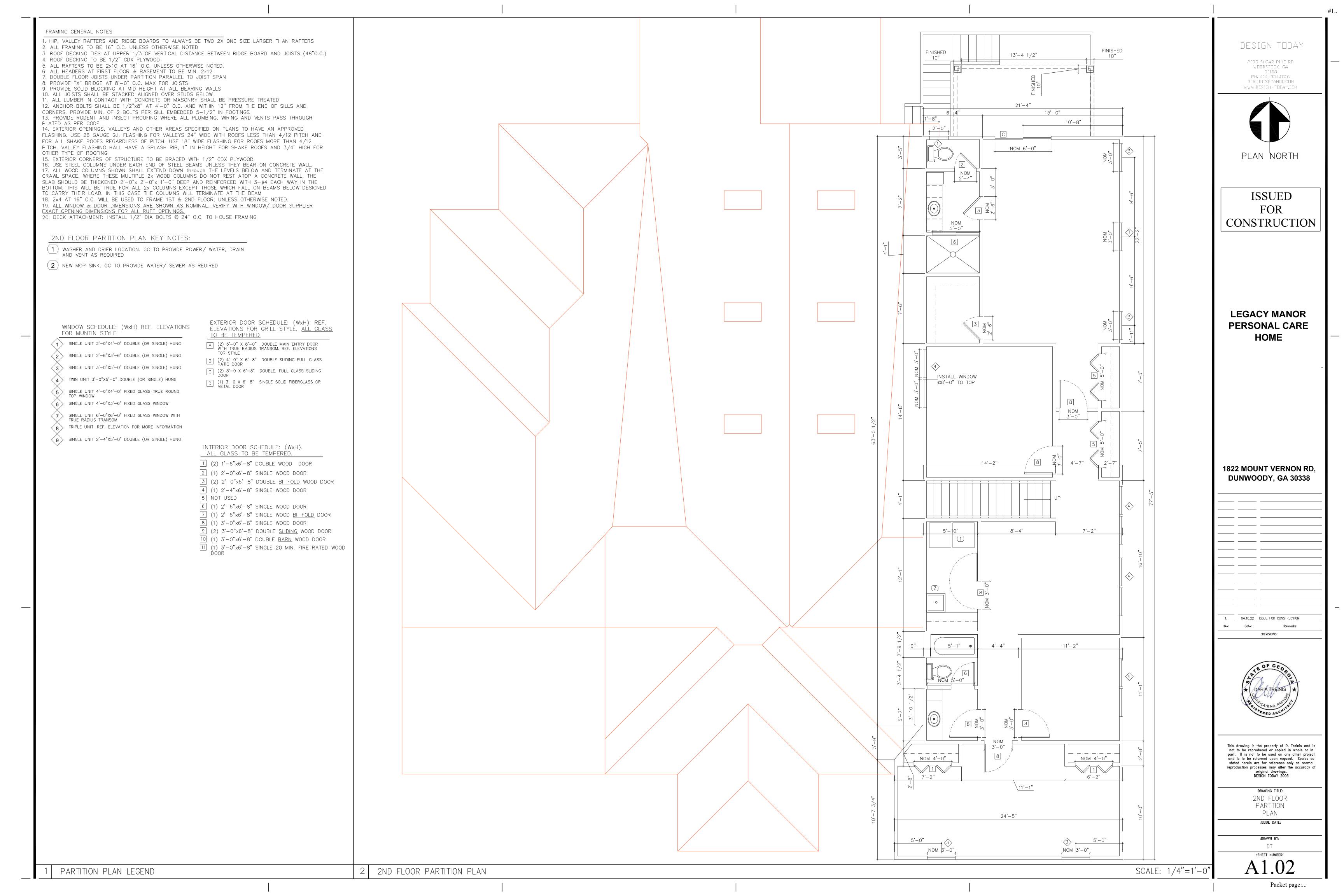
PLANNERS

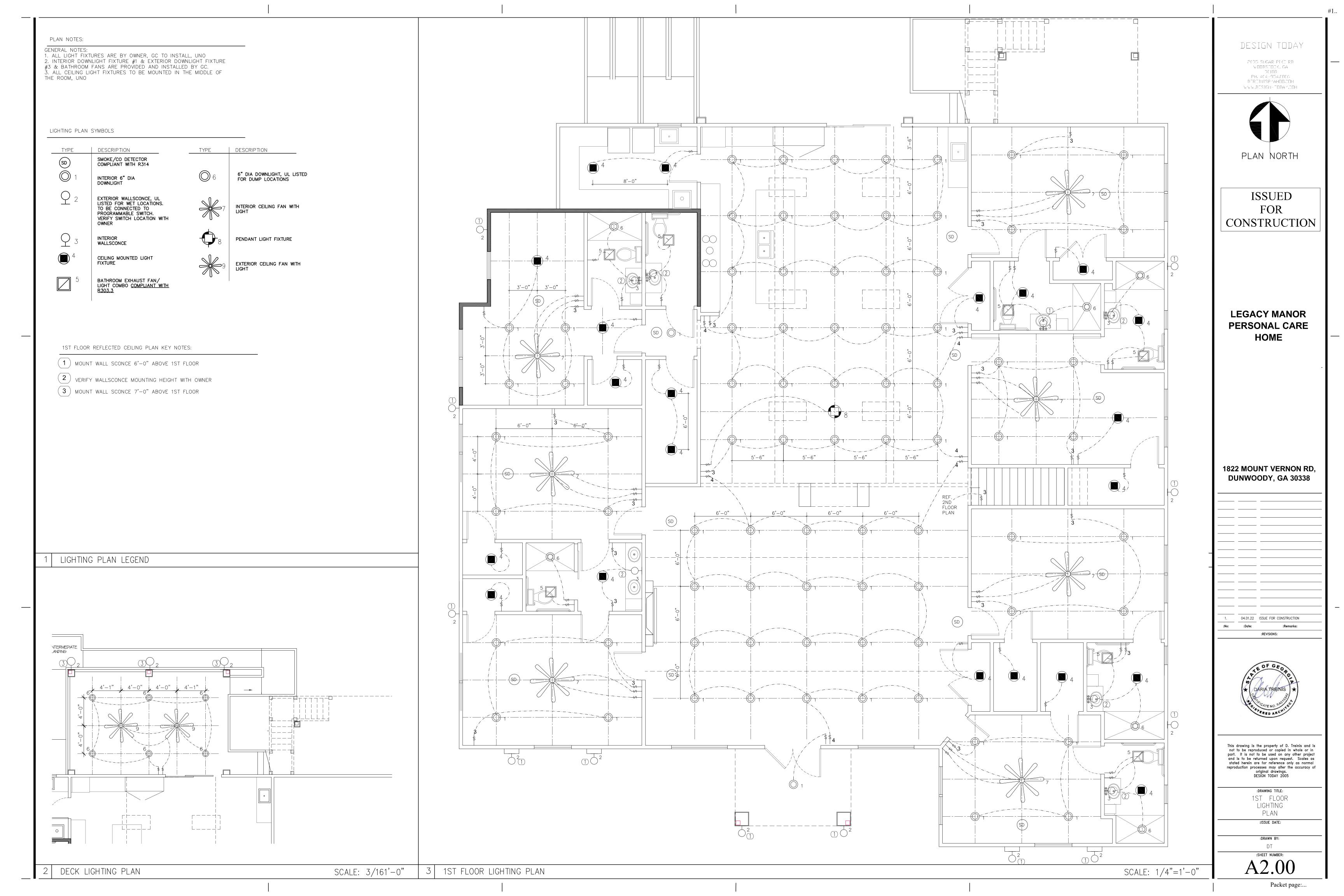


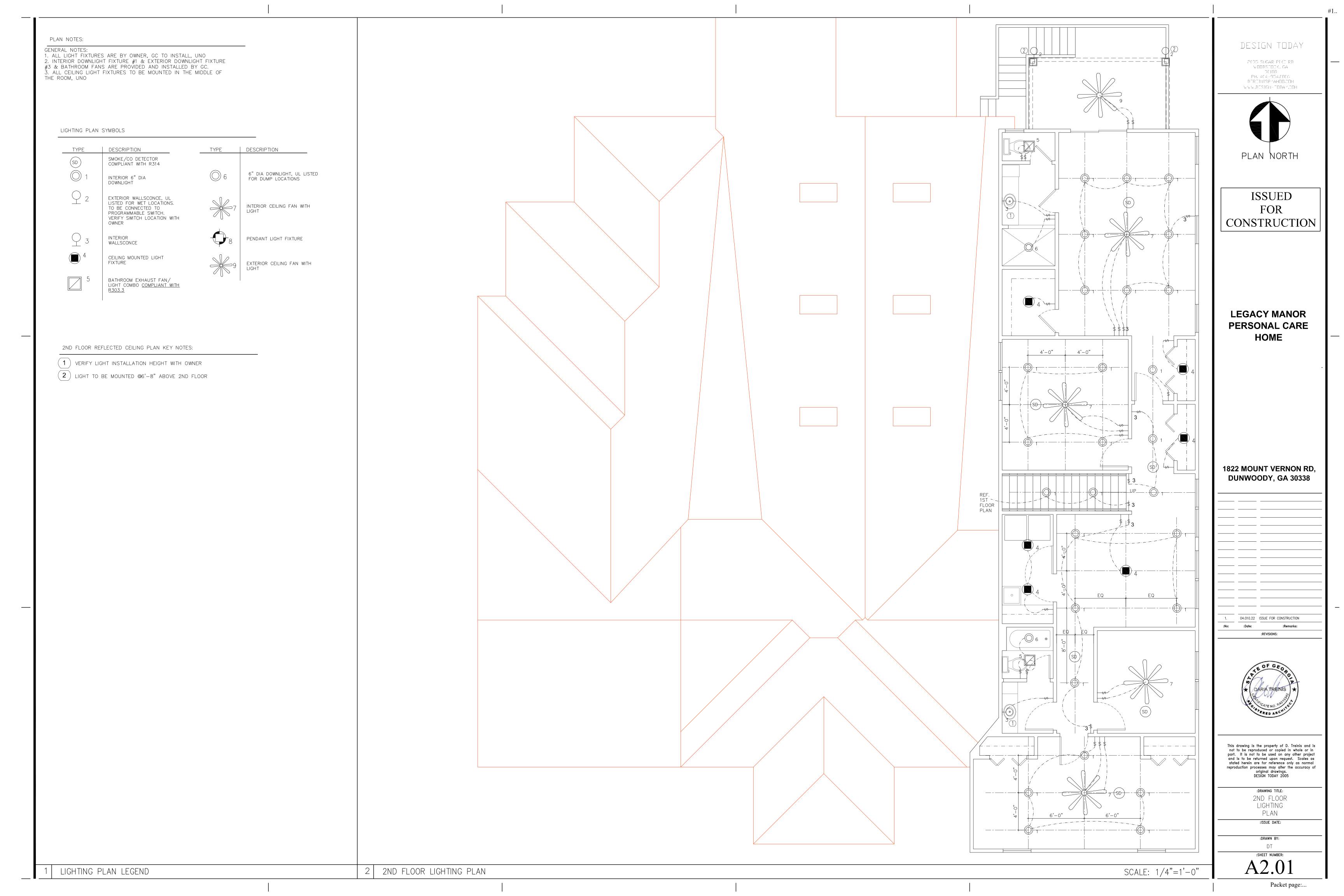
DESIGN TODAY CONCRETE FOUNDATION CRITERIA: 2035 SUGAR PIKE RD 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING (BOTH WOODSTOCK, GA TEMPORARY AND PERMANENT) NECESSARY TO ASSURE THE STRUCTURAL STABILITY OF THE STRUCTURE AND SAFETY OF THE WORKERS DURING CONSTRUCTION. PH. 404-954.0806 DTRIINIS@YAHOO.COM 2. FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THIS VALUE SHALL BE VERIFIED DURING CONSTRUCTION, PRIOR TO PLACING CONCRETE. IF ACTUAL WWW.DESIGN-TODAY.COM VALUES VARY BY MORE THAN 10 %, FOOTINGS SHOULD BE REDESIGNED. 3. ALL DESIGN, FABRICATION AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITIONS OF THE FOLLOWING STANDARDS: A. AMERICAN CONCRETE INSTITUTE ACI-318-05; B. THE INTERNATIONAL BUILDING CODE (2006); C. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) 4. STRUCTURAL CONCRETE SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED, 28 DAY MINIMUM COMPRESSIVE STRENGTH: A) FOOTINGS & FOUNDATIONS: 3000 PSI 5. UNLESS NOTED OTHERWISE, DETAILS OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE 25'-11 1/2" 5'-6 1/2" 4'-7 1/4" IN ACCORDANCE WITH ACI 315. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES AND CRSI MSP-1, MANUAL OF STANDARD PRACTICE, LATEST EDITION. 6. ALL STEEL BAR REINFORCEMENT SHALL BE ASTM A-615 GRADE 60. 7. UNLESS NOTED OTHERWISE, MINIMUM CLEAR COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS: PLAN NORTH A. CONCRETE CAST AGAINST EARTH — 3" STRUCTURAL STEEL (WHERE APPLICABLE): 9'-6 1/2" 60"X60" SLAB ON GRADE RAMP____. 1. MATERIALS TO BE AS FOLLOWS: STRUCTURAL STEEL (BEAMS & COLUMNS): ASTM A572 GRADE 50; LANDING STEEL PIPE, STRUCTURAL TUBING: ASTM A501 OR ASTM A53 STRUCTURAL BOLTS: ASTM A5000, GRADE B (Fy=46ksi) ——— — — — — — -—I*−*Φ−+− **ISSUED** EXPANSION BOLTS: HILTI KWIK BOLTS OR APPROVED EQUAL 11 1/4" ANCHOR BOLTS: ASTM A307 2. WELDING TO BE BY QUALIFIED WELDERS USING E70XX ELECTRODES AND IN ACCORDANCE WITH AWS D1.1- 10. FOR WELDER CERTIFICATION SHALL BE AVAILABLE AT THE JOB SITE DURING TIME OF INSPECTION. 3. ALL STEEL COLUMNS TO HAVE 1 GAP PLATE UNLESS NOTE OTHERWISE. **CONSTRUCTION** 4. DON'T USE GAS CUTTING TORCHES FOR CORRECTING FABRICATION ERROR IN STRUCTURAL FRAMING. SLAB ON GRADE 5. ALL STRUCTURAL STEEL TO HAVE ONE (1) COAT OF STANDARD SHOP PRIMER, EXCEPT FOR SURFACES TO RECEIVE WELD OR TO BE ENCASED IN CONCRETE OR TO BE GALVANIZED. TOUCH UP ALL STRUCTURAL STEEL AFTER ERECTION WITH SAME PRIMER. 7'-5 1/2" WOOD CRITERIA 1. ALL FRAMING TO HAVE MINIMUM STRUCTURAL PROPERTIES: GRADE/SPECIES Fb F٧ Mod E Fc per Fc par 2X4 #2 SPF 775 70 335 1000 1100000 FRAMING 335 565 2X6 #2 SPF 775 1000 1100000 FRAMING 2X8 #2 SPF 1600000 FRAMING #2 SPF 565 2X10 -1200 1600000 FRAMING 7'-1" 7'-1 1/2" 1200 565 1550 2X12 -#2 SPF 1600000 90 FRAMING VERIFY \$1'-2 1/2" ₁ #2 SPF 565 1550 1200 90 1600000 FRAMING 4X4 _ **LEGACY MANOR** #2 SPF 565 1550 1200 90 1600000 FRAMING 6X6 8" POURED TURNED DOWN **PERSONAL CARE** CONCRETE WALL 14'-3" SLAB. REF DETAIL LVL BM's 2.0E (G-P LAM) 2950 285 750 FRAMING NEW CRAWL SPACE TO REMAIN PROVIDE VAPOR 8/A4.00 HOME 750 LVL BM's 1.9E MICROLLAM* 2600 285 2510 1900000 FRAMING BARRIER AS REQUIRED BY 4. ALL WOOD WHICH IS EITHER EMBEDDED IN EARTH OR CONCRETE, OR PLACED ON CONCRETE IN DIRECT CONTACT WITH THE EARTH, OR DIRECTLY EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE—TREATED INCLUDING BUT NOT LIMITED TO POST, BEAMS, COLUMNS, JOIST, SILLS AND SOLE PLATES. NEW FOOTING SCHEDULE: VERIFY 15/4 1/2 VERIFY 28'-8 1/2" 21'-4" COLUMN SCHEDULE: F-1 12"x12"x12" W/ 2 #4 EA WAY, REF. (C-1) WOOD P.T. 6"X6" COLUMN DETAILS 2& 3/A4.00 F-2 24"x24"x12" W/ 2 #4 EA WAY, REF. --DETAILS 2& 3/A4.00 F-3 24"x30"x12" W/ 2 #4 SHORT WAY, AND 3 #4 LONG WAY. REF. DETAILS 2& 3/A4.00 NEW 8" F-4 30"x30"x12" W/ 3 #4 EA WAY, REF. -CONCRETE WALL DETAILS 2& 3/A4.00 WITH 2X6 @16" CRAWL SPACE WALL ABOVE. - | **1822 MOUNT VERNON RD, DUNWOODY, GA 30338** EXISTING CRAWL SPACE TO REMAIN PROVIDE VAPOR BARRIER AS REQUIRED BY CODE FOOTING PLAN GENERAL NOTES: 1. ALL COLUMN FOOTING TO FIX FOR BEARING AT GRADE LEVEL ON 12" THICK FOOTING 2. FOR LOW CAPACITY SOIL USE HELICAL ANCHORS 3. VERIFY ADDITIONAL SUPPORT POST LOCATIONS IN CRAWL SPACE FOR NEW INTERIOR WALL. POSTS TO BE MIN. 6X6 P.T. WITH 30"X30"X12" MIN. FOOTING EA. 04.10.22 ISSUE FOR CONSTRUCTION :Date: :REVISIONS: NEW CRAWL SPACE STUD WALL NEW GRADE BEAM 20" WIDE X 12" DEEP WITH NEW This drawing is the property of D. Treinis and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of original drawings. DESIGN TODAY 2005 EXISTING CONDITIONS MAY REQUIRE ADDITIONAL FOOTINGS /REPAIR. GC IS RESPONSIBLE FOR FIELD VERIFICATIONS AND DOWN CHANGES/ ADDITIONS AS NECESSARILY. SLAB. REF :DRAWING TITLE: DETAIL FOUNDATION 8/A4.00 PLANS :ISSUE DATE: 11'-9" 9'-10" VERIFY 24'-5" SCALE: 3/16"=1'-0"FOUNDATION PLAN LEGEND 2 FOUNDATION PLAN

Packet page:...



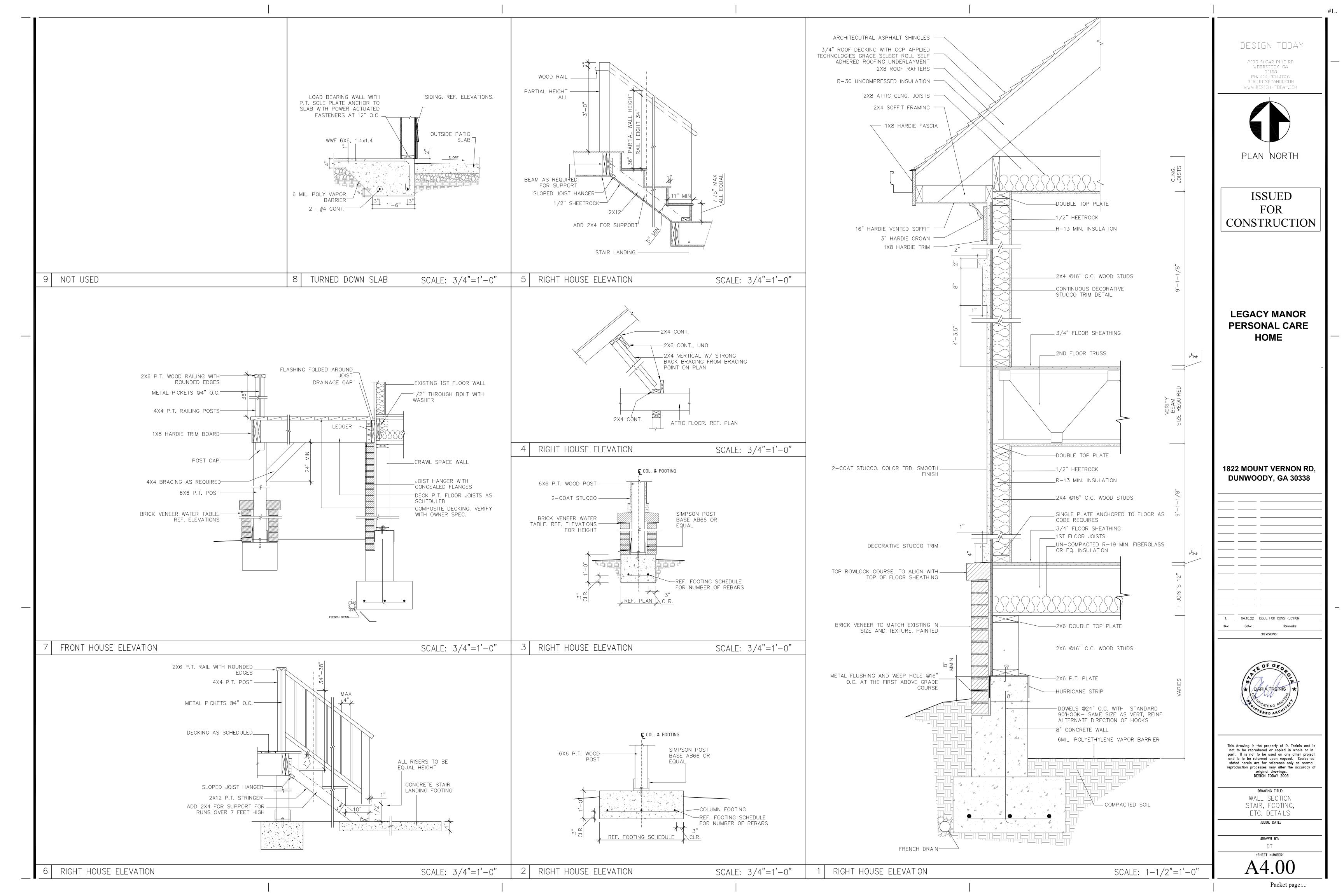


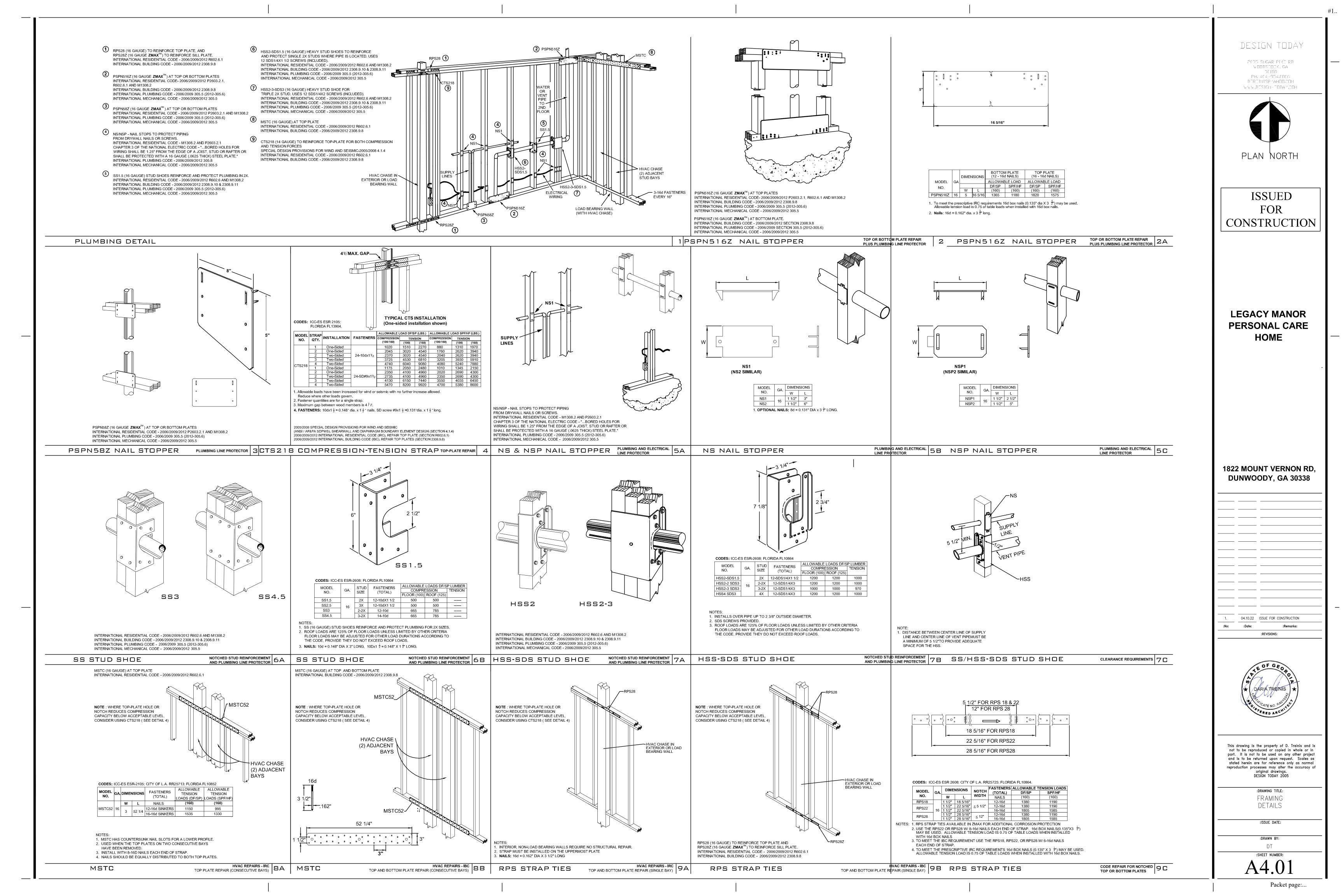


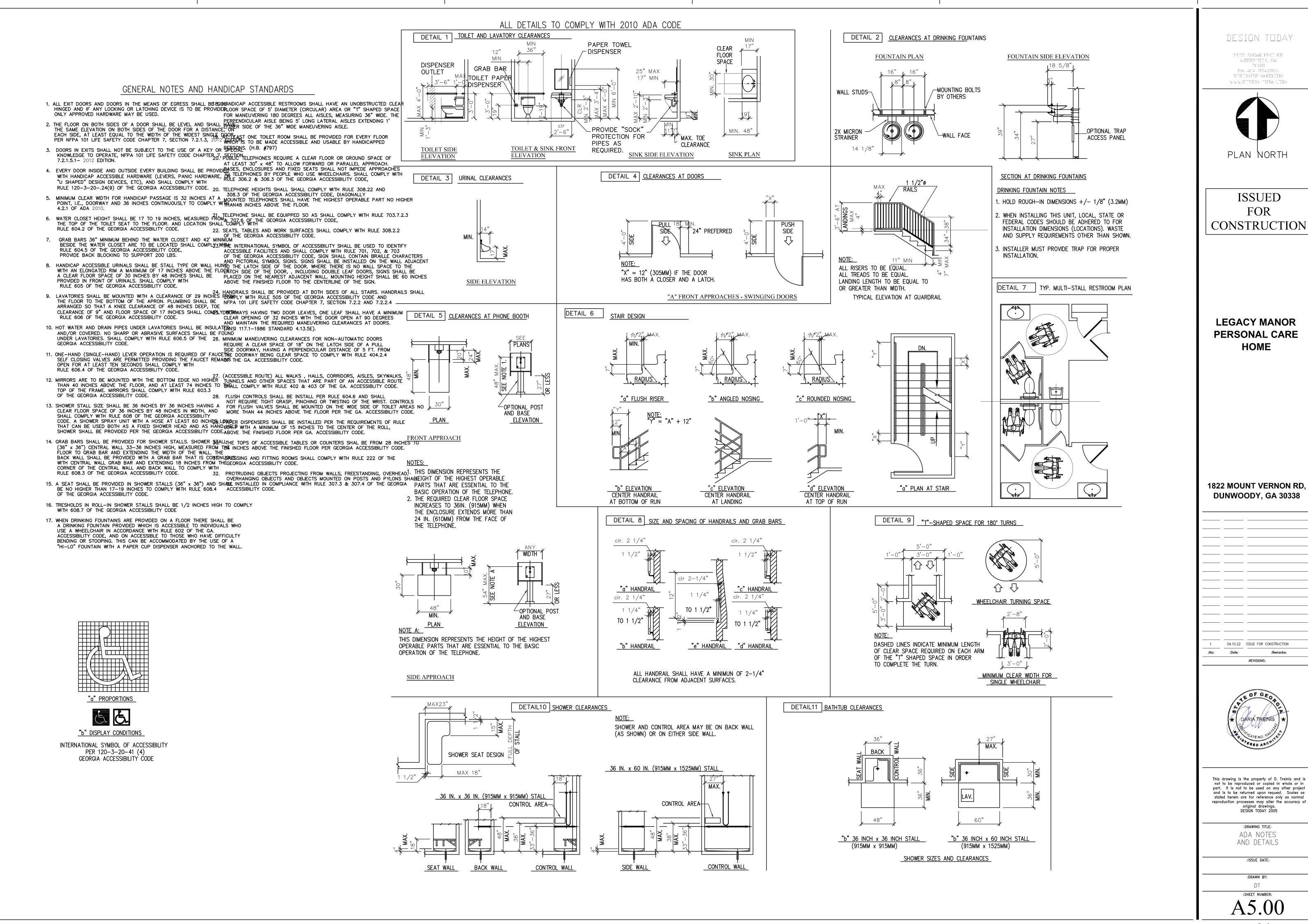












Packet page:...

CHANG AE SOK	1319 VERNON NORTH DR	DUNWOODY GA 30338
PHAN MINH	5109 VERNON RIDGE DR	ATLANTA GA 30338
HAN XUESONG	5168 MOUNT VERNON WAY	DUNWOODY GA 30338
ALLEN JEFFREY	5126 MOUNT VERNON WAY	DUNWOODY GA 30338
LANDERS JUDITH J	1564 VERNON WAY CT	DUNWOODY GA 30338
MYLES REBECCA I	5116 MOUNT VERNON WAY	DUNWOODY GA 30338
SHELTON BLAYNE	5186 WELLSHIRE PL	DUNWOODY GA 30338
BAKER CHRISTOPHER A	5157 WELLSHIRE PL	DUNWOODY GA 30338
COWAN MICHAEL V	1610 WELLSHIRE LN	DUNWOODY GA 30338
ZINKAND RACHELS	5126 VERNON SPRINGS DR	DUNWOODY GA 30338
SUMMERS JONATHAN PATRICK	5106 VERNON SPRINGS DR	ATLANTA GA 30338
ABBOTT RANDALL J	4036 GRAFTON RD	BRUNSWICK OH 44212
WIERENGA HERMAN JAN	5067 MOUNT VERNON WAY	DUNWOODY GA 30338
MIKOLAJEK AMANDA C	1471 CEDARHURST DR	DUNWOODY GA 30338
JONES MICHAEL L	5041 REDCLIFF CT	DUNWOODY GA 30338
WILSON PETRA	5138 VERNON RIDGE DR	DUNWOODY GA 30338
CONWAY SHARON J	1455 VERNON RIDGE CT	DUNWOODY GA 30338
TUCKER ADAM J	PO BOX 88026	ATLANTA GA 30356
VARRONE SUSAN AROGETI	5015 WICKFORD WAY	DUNWOODY GA 30338
GRAISER BRAD ALFRED	5163 VERNON RIDGE DR	DUNWOODY GA 30338
DILORETI MICHAEL ANTHONY	1506 THORNHILL CT	DUNWOODY GA 30338
LANDIS MICHAEL	5152 MOUNT VERNON WAY	DUNWOODY GA 30338
WHYTE DUANE EVERARD	4497 COLOMBO DR	SAN JOSE CA 95130
BOTTERS DAVID M	5125 MOUNT VERNON WAY	DUNWOODY GA 30338
HAYES DAVID G	5117 MOUNT VERNON WAY	DUNWOODY GA 30338
LYNN STEVEN M	5165 WELLSHIRE PL	DUNWOODY GA 30338
BYERS BARBARA	5070 VERNON SPRINGS DR	ATLANTA GA 30338
KANE WILLIAM K	5060 VERNON SPRINGS DR	DUNWOODY GA 30338
BOUZYK MARK	1809 WOMACK RD	DUNWOODY GA 30338
LOUZA MARCY	5074 WICKFORD WAY	DUNWOODY GA 30338
ABRAMS PHYLLIS K	1610 ARNAUD CT	DUNWOODY GA 30338
CLOITRE STEPHAN D	5110 ASHMONT CT	ATLANTA GA 30338
RANGEL JAVIER	5109 ASHMONT CT	DUNWOODY GA 30338
HOLLIDAY WILLIAM	1433 VERNON RIDGE CT	DUNWOODY GA 30338
TRAN LE TRANG T	1432 VERNON RIDGE CT	ATLANTA GA 30338
FLINK KEVIN	5076 MOUNT VERNON WAY	DUNWOODY GA 30338
SALUS ALAN	5064 MOUNT VERNON WAY	DUNWOODY GA 30338
MCNAMARA THOMAS G	1606 MOUNT VERNON FOREST CT	DUNWOODY GA 30338
POULOS CHRISTOPHER STEPHEN	1502 VERNON NORTH DR	DUNWOODY GA 30338
MCCANN MATTHEW R	1510 N VERNON DR	DUNWOODY GA 30338
DEATON MICHAEL F REVOCABLE TRUST	1749 MOUNT VERNON RD	DUNWOODY GA 30338

LEE MYONG DONG	1733 MOUNT VERNON RD	ATLANTA GA 30338
VERNON N LLC	5718 BEND CREEK RD	DUNWOODY GA 30338
BENSON MARTIN J	1359 VERNON NORTH DR	DUNWOODY GA 30338
MCDUFFLE JEFFREY A	1505 VERNON NORTH DR	ATLANTA GA 30338
BENTLEY THOMAS R	1507 THORNHILL CT	DUNWOODY GA 30338
HUDGINS JAMES A	5186 TRAILRIDGE CT	DUNWOODY GA 30338
YEH DAVID	5100 MOUNT VERNON WAY	DUNWOODY GA 30338
KHOKHLAN ANNA	1822 MOUNT VERNON RD	DUNWOODY GA 30338
MOODY GEORGE RANDALL	5148 WELLSHIRE PL	DUNWOODY GA 30338
HOLLOWAY CURTIS ROBERT	5164 WELLSHIRE PL	DUNWOODY GA 30338
DALY DONNA L	5127 WELLSHIRE PL	ATLANTA GA 30338
NAUGHTON CAROLINE N	5037 MOUNT VERNON WAY	DUNWOODY GA 30338
KIM JONG DAE	1871 MOUNT VERNON RD	DUNWOODY GA 30338
MEHDLOFF MOHSEN A	5098 VERNON RIDGE DR	DUNWOODY GA 30338
QUAGLIAROLI BIRGIT	1800 MARLBOROUGH DR	ATLANTA GA 30350
GAINES LUCAS	5130 VERNON RIDGE DR	DUNWOODY GA 30338
PENN TAYLOR H	5083 WICHFORD WAY	ATLANTA GA 30341
JAMES MATTHEW L	1504 CEDARHURST DR	DUNWOODY GA 30338
MAHONEY RYAN C	5039 WICKFORD WAY	DUNWOODY GA 30338
LANDES JOANN	1505 CEDARHURST DR	DUNWOODY GA 30338
LALLEY MARC A	1527 CEDARHURST DR	DUNWOODY GA 30338
DOOLEY ANTHONY JASON	4199 CHESTNUT RIDGE DR	ATLANTA GA 30338
KEELS MARY ANN S	1489 VERNON NORTH DR	DUNWOODY GA 30338
CRANFORD STEPHEN R	1471 VERNON NORTH DR	ATLANTA GA 30338
SARNIE PATRICIA ANN	5175 VERNON RIDGE DR	DUNWOODY GA 30338
CHEEK ERIC	1514 THORNHILL CT	DUNWOODY GA 30338
YATES ALLEN R	1519 THORNHILL CT	DUNWOODY GA 30338
VIETH ANDREW	5177 MOUNT VERNON WAY	DUNWOODY GA 30338
JOHNSTON BRADLEY ALLEN	5161 MOUNT VERNON WAY	DUNWOODY GA 30338
HAN XUESONG	5168 MOUNT VERNON WAY	DUNWOODY GA 30338
CANAWAY JASON	5132 WELLSHIRE PL NE	ATLANTA GA 30338
ADLER SAUL M	1609 WELLSHIRE LN	DUNWOODY GA 30338
ROACH SHAUN DAVID	1897 MOUNT VERNON RD	DUNWOODY GA 30338
SHERRER SHARON B	1913 MOUNT VERNON RD	DUNWOODY GA 30338
MITCHELL JUNE M	5066 WICKFORD WAY	DUNWOODY GA 30338
IRBY LINDA	5119 VERNON SPRINGS DR	DUNWOODY GA 30338
VETRANO SAVANNAH	1756 MOUNT VERNON RD	DUNWOODY GA 30338
ASHMONT HOLDINGS LLC	5217 REDFIELD CT	DUNWOODY GA 30338
ZHANG KEJUN	5103 ASHMONT CT	DUNWOODY GA 30338
CINTRON KEITH	1770 MOUNT VERNON RD	ATLANTA GA 30338

WANG CHIH	1779 MOUNT VERNON RD	DUNWOODY GA 30338
YEH JULIE LO	2310 KIMBROUGH CT	ATLANTA GA 30350
MARZEC GRZEGORZ	1805 MOUNT VERNON RD	DUNWOODY GA 30338
LOCKHART MATTHEW CARREL	1538 CEDARHURST DR	ATLANTA GA 30338
FEARNEY TIMOTHY M	1520 CEDARHURST DR	DUNWOODY GA 30338
SUTIN EMER F	5034 MOUNT VERNON WAY	DUNWOODY GA 30338
EL SHESHAI KAMAL M	5014 MOUNT VERNON WAY	DUNWOODY GA 30338
TURNER GRANT WILLIAM SR	5153 VERNON RIDGE DR	DUNWOODY GA 30338
DANLEY II CHARLES L	5143 VERNON RIDGE DR	DUNWOODY GA 30338
LIBOWSKY JOEL I	5160 MOUNT VERNON WAY	DUNWOODY GA 30338
GORDON ERIKA VIA	5136 MOUNT VERNON WAY	DUNWOODY GA 30338
MITTLEMAN JONATHAN	5141 MOUNT VERNON WAY	DUNWOODY GA 30338
FINDLING SAMANTHA A	5133 MOUNT VERNON WAY	DUNWOODY GA 30338
WESTRICK JOHN G	5181 WELLSHIRE PL	DUNWOODY GA 30338
IKEGAMI THOMAS Y	5173 WELLSHIRE PL	DUNWOODY GA 30338
REYNOLDS JOHN R	5090 VERNON SPRINGS DR	DUNWOODY GA 30338
CAMPBELL MARTHA C	5080 VERNON SPRINGS DR	DUNWOODY GA 30338
NUNNA SRIKANTH	7595 GLISTEN AVE	SANDY SPRINGS GA 30328
MORRIS MARIETTA	5082 WICKFORD WAY	DUNWOODY GA 30338
PETERSON ERIC L	5085 VERNON SPRINGS DR	ATLANTA GA 30338
PUGMIRE J SCOTT	5073 VERNON SPRINGS DR	DUNWOODY GA 30338
ASHMONT LLC	5116 ASHMONT CT	DUNWOODY GA 30338
CHRISTENSEN YEE YARUBI	5115 ASHMONT CT	DUNWOODY GA 30338
HANCOCK WILLIAM C	1438 VERNON RIDGE CT	DUNWOODY GA 30338
PLUNKETT GRAY CLYDE	1444 VERNON RIDGE CT	DUNWOODY GA 30338
ABUBAKAR USMAN	1823 MOUNT VERNON RD	DUNWOODY GA 30338
EDMONSON SUSAN	5052 MOUNT VERNON WAY	DUNWOODY GA 30338
LEVINGSTON KEVIN	5034 VERNON SPRINGS DR	DUNWOODY GA 30338
WADDELL ZACHARY J	1486 VERNON NORTH DR	DUNWOODY GA 30338
CHRISTIANSEN ERIC	1494 VERNON NORTH DR	DUNWOODY GA 30338
SCOTT PAUL J	4194 CHESTNUT RIDGE DR	DUNWOODY GA 30338
MUETHING COLIN	1335 VERNON NORTH DR	DUNWOODY GA 30338
AMERSON JOSHUA J	1351 VERNON NORTH DR	DUNWOODY GA 30338
OUELLETTE PHILIP A	1513 VERNON NORTH DR	DUNWOODY GA 30338
MILLER BRYAN D	1497 VERNON NORTH DR	DUNWOODY GA 30338
DEPAUL STEPHEN F	1501 THORNHILL CT	DUNWOODY GA 30338
WONG LUNG ALLEN SUI	5121 VERNON RIDGE DR	DUNWOODY GA 30338
JONES JENNIFER	1830 MOUNT VERNON RD	DUNWOODY GA 30338
HOWARD BARBARA B	5140 WELLSHIRE PL	DUNWOODY GA 30338
HINES DYKES DANA MICHELLE	5156 WELLSHIRE PL	DUNWOODY GA 30338
LANE DANIELLE D	5172 WELLSHIRE PL	DUNWOODY GA 30338

COPLIN ELLIOT F	5135 WELLSHIRE PL	DUNWOODY GA 30338
FREYMAN JEREMY	5047 MOUNT VERNON WAY	DUNWOODY GA 30338
BROWN RICHARD WARD	5019 MOUNT VERNON WAY	DUNWOODY GA 30338
BROEN JOHN W	5057 VERNON SPRINGS DR	DUNWOODY GA 30338
CITRANO PATRICK	5106 VERNON RIDGE DR	DUNWOODY GA 30338
HOWARD WILBUR G	5122 VERNON RIDGE DR	DUNWOODY GA 30338
KUHLMAN ROBERT WESLEY	1771 MOUNT VERNON RD	DUNWOODY GA 30338
CHARLENE M GRANBERRY TRUST	5069 WICKFORD WAY	DUNWOODY GA 30338
LINDKE ANNIE LOUISE	5049 WICKFORD WAY	DUNWOODY GA 30338
ALTERA ALLAN GREGORY	5031 WICKFORD WAY	DUNWOODY GA 30338
BRADLEY ELAINE P	1517 CEDARHURST DR	DUNWOODY GA 30338
MCCRACKEN MARY K LIVING TRUST	1535 CEDARHURST DR	DUNWOODY GA 30338
STEVENS ROBERT PAUL	1327 VERNON NORTH DR	DUNWOODY GA 30338
TAYLOR ZANE	5191 VERNON RIDGE DR	DUNWOODY GA 30338
BREDENBERG MELINDA B	1520 THORNHILL CT	DUNWOODY GA 30338
PHILIP JOHN K	5115 VERNON RIDGE DR	DUNWOODY GA 30338
PARIDY PAUL E	1563 VERNON WAY CT	ATLANTA GA 30338
JOHNSTON ROBERT A III ETAL	5169 MOUNT VERNON WAY	DUNWOODY GA 30338
SHARF BURT A	5109 MOUNT VERNON WAY	DUNWOODY GA 30338
REAGAN IAN PATRICK	1602 WELLSHIRE LN	DUNWOODY GA 30338
MOSLEY BRIAN DAVID	1617 WELLSHIRE LN	DUNWOODY GA 30338
HANSEN BRADLEY	4780 ASHFORD DUNWOODY RD # A254	DUNWOODY GA 30338
LARSON ELIZABETH	5048 VERNON SPRINGS DR	DUNWOODY GA 30338
BISSELL LEIGH S SR	5057 MOUNT VERNON WAY	DUNWOODY GA 30338
JAKIELSKI RICHARD J	1905 MOUNT VERNON RD	DUNWOODY GA 30338
HEDDEN LISA E	1466 CEDARHURST DR	DUNWOODY GA 30338
LEDNER TURNER LORI	5096 ASHMONT CT	DUNWOODY GA 30338
DOWNING JOHN T JR	5095 ASHMONT CT	ATLANTA GA 30338
SPAIN MARK J	1439 VERNON RIDGE CT	ATLANTA GA 30338
STUIT CARMEN	1787 MOUNT VERNON RD	DUNWOODY GA 30338
GREEN RUBY SMITH	1512 CEDARHURST DR	DUNWOODY GA 30338
KARIM LAYLA	5006 MOUNT VERNON WAY	DUNWOODY GA 30338
LIEBERMAN GARY	1518 VERNON NORTH DR	DUNWOODY GA 30338
MOUNT VERNON CONDOMINIUM ASSOC	2398 MOUNT VERNON RD # 150	ATLANTA GA 30338
VICTORY STEFAN	1311 VERNON NORTH DR	DUNWOODY GA 30338
WEINSHENKER DAVID	1367 VERNON NORTH DR	DUNWOODY GA 30338
FALKENSTEIN RUSSELL STEVEN	1159 DORBY PARK DR NE	ATLANTA GA 30319
NECHMAD HAGAI	1513 THORNHILL CT	ATLANTA GA 30338
BERRY MEGHAN ELIZABETH	5101 VERNON RIDGE DR	DUNWOODY GA 30338
OZIAS RACHEL M	1558 VERNON WAY CT	DUNWOODY GA 30338

KOSOBUD CHRISTOPHER	5151 MOUNT VERNON WAY	DUNWOODY GA 30338
NAIL GREGORY	5124 WELLSHIRE PL	DUNWOODY GA 30338
HART ANDREW REVOCABLE LIVING TRUST	5180 WELLSHIRE PL	DUNWOODY GA 30338
ROHRBACH MELANIE B	1618 WELLSHIRE LN	DUNWOODY GA 30338
MARINO BERNARD D	5098 VERNON SPRINGS DR	DUNWOODY GA 30338
BROOKS LESLIE M	1851 MOUNT VERNON RD	DUNWOODY GA 30338
GANT CLAUDIA E	1879 MT VERNON RD	DUNWOODY GA 30338
PRIEBE ALEXANDER JOHN	411 DOGWOOD CIR	FRIENDSWOOD TX 77546
MCLOUGHLIN MARY ANN E	5107 VERNON SPRINGS DR	DUNWOODY GA 30338
GEER CRAIG L	1748 MOUNT VERNON RD	DUNWOODY GA 30338
MEHDIOFF MOHSEN A	PO BOX 88128	ATLANTA GA 30356
SPAIN FOSTER L	5146 VERNON RIDGE DR	DUNWOODY GA 30338
RANDOLPH PAMELA B	1456 VERNON RIDGE CT	ATLANTA GA 30338
NIEDZIEJKO ANNA	5299 REOFIELD CT	DUNWOODY GA 30338
CSAN PROPERTIES LLC	1679 COURTLEIGH DR	DUNWOODY GA 30338
GREEN ROBERT L	5023 WICKFORD WAY	ATLANTA GA 30338
GROGAN ELIZABETH	5022 MOUNT VERNON WAY	ATLANTA GA 30338

LEGACY MANOR PERSONAL CARE HOME

PROJECT INFORMATION

1822 MOUNT VERNON RD, DUNWOODY, GA 30338

PROJECT ADDRESS:

NEW PERSONAL CARE HOME, BUILT ON EXISTING FOUNDATION

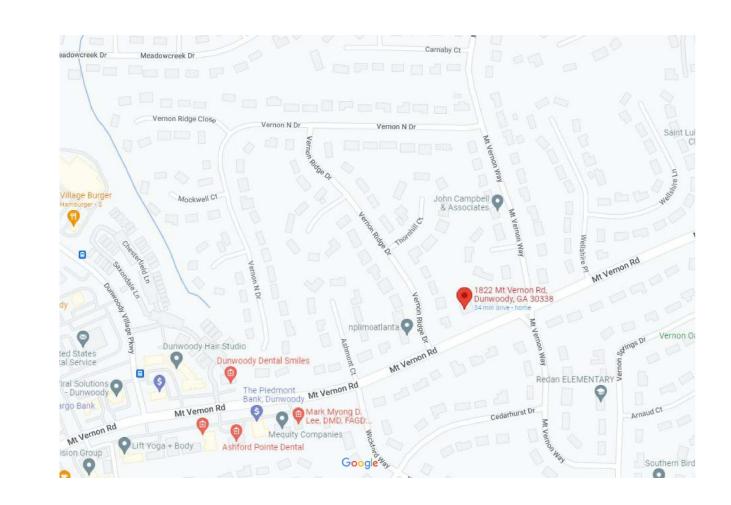
1ST FLOOR PROPOSED HEATED AREA: 5,205 S.F. 2ND FLOOR PROPOSED HEATED AREA: 1,690 S.F. TOTAL PROPOSED HEATED AREA: 6,895 S.F. FRONT COVERED PORCH: 100 S.F. BACK COVERED PORCHES: 460 S.F OPEN BACK DECK: 100 S.F. TOTAL AREA OF RENOVATION: 7,555 S.F.

MAX. BUILDING HEIGHT TO MID ATTIC; 24'-9"



MAIN ELEVATION

PROJECT MAP



2035 SUGAR PIKE RD WOODSTOCK, GA PH. 4(4-954,0806 DTRIINIS@YAHOO.COM WWW.DESIGN-TODAY.COM



ISSUED FOR **CONSTRUCTION**

LEGACY MANOR PERSONAL CARE

HOME

1822 MOUNT VERNON RD. DUNWOODY, GA 30338

04.10.22 ISSUE FOR DEMOLITION PERMIT



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> INFORMATION SHETT

CODE COMPLIANT NOTES

Governing Building Codes: All construction shall comply with GA Code of Ordinances,

International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022)

International Residential Code, 2018 Edition, with Georgia Amendments (2020) International Fire Code, 2018 Edition (Contact State Fire Marshal Below)

International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022)

International Mechanical Code, 2018 Edition, with Georgia Amendments (2020) International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)

National Electrical Code, 2020 Edition, with Georgia Amendments (2021) International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022)

International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)

For information and questions regarding the Life Safety Code (NFPA 101), IFC Georgia Amendments or the Georgia Accessibility

Code please contact the State Fire Marshal's Office.

Current Permissive Codes as Adopted by DCA:

Disaster Resilient Building Code IBC Appendix(2013)

Disaster Resilient Building Code IRC Appendix (2013) International Property Maintenance Code, 2018 Edition, with Georgia Amendments (2021)

International Existing Building Code, 2018 Edition, with Georgia Amendments (2021)

National Green Building Standard, 2008 Edition, with Georgia Amendments (2011)

All exits to be operable from the inside without the use of a key or special knowledge.

Doors leading into house from garage shall be solid core, self-closing and tight fitting with gaskets and sweep (R309.1 IRC

R309.2 (amended): Provide 1/2 inch gypsum board applied to the garage side for separation from garage for attic and residence. Where the

separation is a floor—ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2 inch gypsum board or equivalent.

DCA amendments allow installation of NFPA 13D protection in garage in lieu of separation (2002).Amend .). Exterior wall penetrations by pipes, ducts or conduits shall be caulked. (R307.6) Provide roof attic ventilation per R806.1

Lumber shall bear an approved grading stamp (R502.1).

Fire blocking shall comply with (R602.8) and be maximum 10 ft. O.C., horizontal or vertical.

Floor—ceiling assemblies with a concealed space in excess of 1000 square feet shall have draft stops installed that divide the

concealed space into approximately equal areas. Draft—stopping material shall comply with (R502.12). Walls and soffits of enclosed usable space under interior stairways shall be protected on the enclosed side by minimum 💅

gypsum board. (R311.2.2)

Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or when framing members are 5/8" use labeled 1/2" sag-resistant gypsum ceiling board

Table R702.3.5 (d). Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. When gypsum wallboard is used as a base for tile or wall panels, water-resistant gypsum wallboard shall be used. Water-resistant gypsum board shall not be used over a vapor retarder, in areas of high humidity or on ceilings where the frame spacing exceeds 12 inches on center for ½ gypsum, and 16 inches on center for 5/8 gypsum. (R702.4.2)

Plumbing fixtures shall comply with the following conservation requirements: 24" o.c. or o Water closets—Tank type = 1.6 gal. /flush. o Shower heads— 2.75 gal. /minute. o Faucets— 3.0 gal. /minute, provide aerator.

Water treatment systems shall be equipped with an automatic shutoff to prevent continuous flow when not in use. Provide an expansion tank at the water heater if a backflow preventer is or will be installed on the water line or at the meter. Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or

thermostatic mixing valve type. Domestic dishwashing machines connected to a disposer shall have the discharge installed as high as possible, but not lower than 2" above the flood rim of the sink.

Provide minimum clearances from centerline of water closets to finished wall, cabinets, and other plumbing fixtures. (R307.1

The clothes dryer shall be provided with a 4-inch diameter exhaust duct to the exterior and shall not exceed a total length of 25 feet, unless an engineered duct system is provided. (M1501.3) The duct shall terminate not less than 3 feet from a property line or from openings into a building.

Provide outside combustion air for fireplaces located in bedrooms. (R1005.1.1) Provide required support/platform, 18—inches high, for mechanical equipment, water heaters and appliances if placed in garage or room with direct access to garage. (M1307.3).

Provide combustion air and provide high and low vent sizes for gas fuel appliances located in confined spaces. (M1702.2, M1703.2 amended)

Location of smoke detectors throughout each unit shall comply with IRC 317(amended).

Provide IC-rated recessed light fixtures installed in insulated ceilings. (NEC 110.3(B), 41.66(B)).

Fixtures located in damp or wet locations shall be "listed" to be suitable for such location. (NEC 410.4) Provide GFCI protection for receptacles within 6' of all lavatories, sinks and basins. (NEC 210.8) Provide GFCI protected receptacles at all exterior, bathroom and garage locations. (NEC 210.8 & 210.52.) Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (NEC 210.52(D)

1.1. GA RESIDENTIAL CODE COMPLIANCE NOTES Rev 0

All circuits supplying receptacle outlets in bedrooms shall be AFCI (Arc—Fault Circuit Interrupter) protected. (NEC 210.12)

Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (NEC 210.52

Bathroom receptacle outlets shall be supplied by at least one 20—ampere branch circuit. Such circuits shall have no other outlets. (NEC 210.52 (D))

Provide a separate 20-ampere branch circuit to the laundry. (NEC 210.11(C), 210.23 (A), 210.50 (C), 210.52(F & G), 220.14(J))

Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (NEC 210.11(C)(1), 210.52(B)(1), 220.14(J))

The two or more 20-ampere small appliance branch circuits shall have no other outlets, except the receptacle installed solely for electric supply to an electrical clock in the kitchen/dining/breakfast areas or receptacles for supplemental equipment and lighting for gas—fired ranges, ovens, or counter—mounted units. (NEC 210.52 (B)(3)) Receptacle outlets for ranges and clothes dryers shall be a 3-pole with ground type. Four-wire, grounding-type flexible cords will be required for connection of ranges and clothes drivers. The bonding jumper shall not be connected between the neutral terminal and the frame of the appliance. (NEC 250.140 & 250.142)

Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper (200 ampere service). (NEC 250.50, 250.66)

Provide bonding to the water piping, gas and metal building systems. (Minimum #4 for 200—amp service). (NEC 250.50. 250.104 & 250.52) All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydro massage tub shall be bonded together using a copper bonding jumper, insulated, covered, or bare, not smaller than No. 8 solid.

Metal parts of listed equipment incorporating an approved system of double insulation and providing a means for arounding internal non-accessible, non-current-carrying metal parts shall not be bonded. (NEC 680.62) For new windows, windows being replaced or windows affected by modifications elsewhere they shall be compliant

Basements with habitable spaces and every sleeping room shall have at least one openable emergency escape and rescue window or exterior door opening for emergency escape and rescue. When openings are provided, they shall have a sill height of not more than 44 inches above finished floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with R310.3. The net clear opening dimensions required by this

section shall be obtained by the normal operation of the window or door opening from the inside. Escape and rescue window openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with R310.2.

Minimum escape and rescue opening dimension shall be a net clear opening of 5.7 square feet, except at grade floor where the net clear opening shall be a minimum of 5 square feet. R310.1.2

Minimum net clear opening height shall be 24 inches." R310.1.3 Minimum net clear opening width shall be 20 inches. (DCA Amendments 2004 limit the projections to 1 inch total, such as window slide or guides, driplips and weatherstripping that are permitted in the openings.) R310.1.4 Emergency escape and rescue openings shall be operational from the inside of room without the use of keys or

Provide mechanical exhaust ventilation for bathrooms, water closet rooms, laundry room, and kitchen, ducted direct

to outside. (R303.2 amended. M1501 to M1505) The soil load—bearing capacity shall be presumed to be 2,000 psf max, unless a Geotechnical Investigation, properly stamped by a Professional Engineer registered in the State of Georgia, substantiates the noted bearing capacity. The wood floor system drawings, stamped/noted as reviewed by DPoR, must be available on site PRIOR to erecting.

A floor framing drawing using the floor system nomenclature is required. Pressure treated wood in contact or close proximity to metal, including fasteners. With the removal of CCA treated lumber, most of the lumber available locally is treated with ACQ and CBA treatments. These treatments are more than twice as corrosive as CCA. CITY Building Inspectors will look for

connectors and fasteners that are at least G185 hot dipped galvanized in contact with pressure treated wood. Foundation drainage will be in accordance with Section R-405 of IRC. All foundation walls of below grade space which may be occupied shall be waterproofed using membranes to allow

for future use as habitable space (i.e. finished basement). The membranes shall extend from the edge of the footing to the finished grade (R- 406.1). Note method of waterproofing to be used on basement walls. Exception: Poured concrete foundation walls require dampproofing only. If pre-engineered wood trusses are used in floor framing, provide truss drawings which identify member sizes to be

Wood trusses shall be designed in accordance with approved engineering practice (Sec. R-502.11). If manufactured trusses are to be used, the truss supplier's detailed drawings for the project shall be available at the job site. prior to erection If pre-engineered wood trusses are used in roof framing, provide truss drawings. Wood trusses shall be designed in accordance with approved engineering practice (Sec. R-802.10).

If manufactured trusses are to be used, the truss supplier's detailed drawings for the project shall be available at the job site, prior to erection

INDEX OF SHEETS

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LEGACY MANOR

Anna Khokhlan – Owner Phone: 404.569.1150

Email: khokhlanpch@yahoo.com

Greetings, New Neighbors,

My name is Anna Khokhlan. It's an honor and blessing to be a new member of this beautiful community in Dunwoody. You are receiving this notice because you are a property owner living within 1000 feet of our residence, located at 1822 Mount Vernon Rd Dunwoody, Georgia 30338.

Together with my son, Roman Khokhlan, we are applying to the city of Dunwoody for a special-use permit. This permit allows the use of the property as a residential home for the elderly/memory-care adults who need assistance in everyday life. This home, while being a private living space for our family, can also house up to seven people who need assistance.

Our goal is to provide a safe, accessible, comfortable, and quiet home setting for seniors in the local community who can no longer care for themselves. Our only focal point will be the senior population. The property will still be a personal residential home; meaning that there will be no business sign in the front.

We also would like the opportunity to inform our community on what the vision of the company is. A community meeting will be scheduled to inform the surrounding property owners about the proposed project, at which time you will be able to address any concerns, ask questions, and provide feedback. Refreshments will be provided.

Community meeting will be held at:

Location: 1822 Mount Vernon Rd Dunwoody, Georgia 30338.

Date: October 8th, 2022 Time: 12pm -6pm.

We look forward to meeting you. We greatly appreciate your time and your support.

Sincerely,

Anna and Roman Khokhlan

*Renders of the new property.







Clarification letter August 24th 2022

To whom it may concern.

During renovation and design for single family home project at the following address: 1822 Mount Vernon Rd, Atlanta, GA 30338 we have discovered that existing foundations where not constructed correctly and were sagging. This discovery has led to extensive demolition, which was not planned for in the original scope pf work.

Myself and my structural engineer, Hona Vapne, have visited the site during initial sheetrock demolition and advised the owner to extend demolition to nearly all walls and foundations to ensure that no structural issues would result in reusing old, unfit structure. Almost all foundations have to be re-built using proper construction technics and specifications.

If needed, please contact me for further details.

Dasha Treinis
AIA, NCARB
Design Today, owner
Email: reinis@gmail.com

Email: reinis@gmail.com





LEGACY MANOR

Anna Khokhlan – Owner Phone: 404.569.1150

Email: khokhlanpch@yahoo.com

Greetings, New Neighbors,

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Together with my son, Roman Khokhlan, we are applying to the city of Dunwoody for a special-use permit. This permit allows the use of the property as a residential home for the elderly/memory-care adults who need assistance in everyday life. This home, while being a private living space for our family, can also house up to seven people who need assistance.

Our goal is to provide a safe, accessible, comfortable, and quiet home setting for seniors in the local community who can no longer care for themselves. Our only focal point will be the senior population. The property will still be a personal residential home; meaning that there will be no business sign in the front.

We also would like the opportunity to inform our community on what the vision of the company is. A community meeting will be scheduled to inform the surrounding property owners about the proposed project, at which time you will be able to address any concerns, ask questions, and provide feedback. Refreshments will be provided.

Community meeting will be held at:

Location: 1822 Mount Vernon Rd Dunwoody, Georgia 30338.

Date: October 8th, 2022 Time: 12pm -6pm.

We look forward to meeting you. We greatly appreciate your time and your support.

Sincerely.

Anna and Roman Khokhlan

*Renders of the new property.





Packet page:...



Clarification letter October 21st 2022

To whom it may concern.

Design for Personal care home project at the following address: 1822 Mount Vernon Rd, Atlanta, GA 30338 was done within code requirements for such facility. All detailed calculations for impervious surface, lot coverage and such are provided on civil drawings done by William Cripps.

If needed, please contact me for further details.

Dasha Treinis AIA, NCARB Design Today, owner Email: reinis@gmail.com



SINGLE FAMILY HOUSE RENOVATION

PROJECT INFORMATION

PROJECT ADDRESS:

1822 MOUNT VERNON RD, , DUNWOODY, GA 30338

-EXISTING 2-STORY HOUSE WITH PARTIAL BASEMENT

DEMOLITION OF EXISTING PORTION OF THE HOUSE FOR FUTURE RENOVATION. NEW HOUSE DESIGN WILL BE SUBMIT FOR PERMIT SEPARATELY

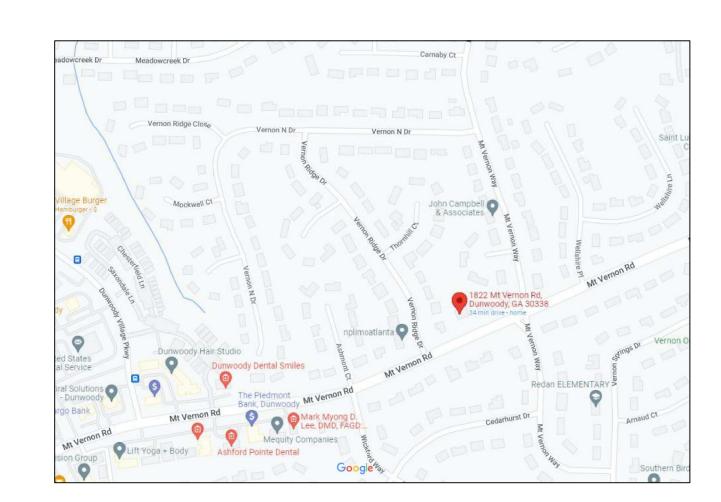
AREA OF DEMOLITION: 5029 S.F. (INCLUDING HOUSE AND OUTSIDE DECK)

ISSUED FOR DEMOLITION PERMIT ONLY

MAIN ELEVATION



PROJECT MAP



2035 SUGAR PIKE RD WOODSTOCK, GA PH. 4(4-954,0806 DTRIINIS@YAHOO.COM WWW.DESIGN-TODAY.COM



ISSUED FOR **CONSTRUCTION**

SINGLE FAMILY **HOUSE RENOVATION**

INDEX OF SHEETS

SHEET # SHEET NAME

AO.OO INFORMATION SHEET AO.O1 DEMOLITION PLAN

ISSUE DATE REV. # REV. DATE 03.09.22 023.09.22

CODE COMPLIANT NOTES

Governing Building Codes: All construction shall comply with GA Code of Ordinances,

International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022)

International Residential Code, 2018 Edition, with Georgia Amendments (2020)

International Fire Code, 2018 Edition (Contact State Fire Marshal Below) International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022)

International Mechanical Code, 2018 Edition, with Georgia Amendments (2020) International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)

National Electrical Code, 2020 Edition, with Georgia Amendments (2021)

International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022)

International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)

For information and questions regarding the Life Safety Code (NFPA 101), IFC Georgia Amendments or the Georgia Accessibility Code please contact the State Fire Marshal's Office.

Current Permissive Codes as Adopted by DCA:

inch gypsum board or equivalent.

Disaster Resilient Building Code IBC Appendix(2013)

Disaster Resilient Building Code IRC Appendix (2013)

International Property Maintenance Code, 2018 Edition, with Georgia Amendments (2021) International Existing Building Code, 2018 Edition, with Georgia Amendments (2021)

National Green Building Standard, 2008 Edition, with Georgia Amendments (2011)

All exits to be operable from the inside without the use of a key or special knowledge.

Doors leading into house from garage shall be solid core, self-closing and tight fitting with gaskets and sweep (R309.1 IR R309.2 (amended)

Provide 1/2 inch gypsum board applied to the garage side for separation from garage for attic and residence. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2

DCA amendments allow installation of NFPA I3D protection in garage in lieu of separation (2002).Amend .). Exterior wall

penetrations by pipes, ducts or conduits shall be caulked. (R307.6)

Provide roof attic ventilation per R806.1 Lumber shall bear an approved grading stamp (R502.1).

Fire blocking shall comply with (R602.8) and be maximum 10 ft. O.C., horizontal or vertical.

Floor-ceiling assemblies with a concealed space in excess of 1000 square feet shall have draft stops installed that divide the concealed space into approximately equal areas. Draft-stopping material shall comply with (R502.12).

Walls and soffits of enclosed usable space under interior stairways shall be protected on the enclosed side by minimum 🔀 aupsum board. (R311.2.2)

Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or when framing members are 5/8" use labeled 1/2" sag-resistant gypsum ceiling board

Table R702.3.5 (d). Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to height of not less than 72 inches above the drain inlet. When gypsum wallboard is used as a base for tile or wall panels, water-resistant aupsum wallboard shall be used. Water-resistant aupsum board shall not be used over a vapor retarder, in areas of high humidity or on ceilings where the frame spacing exceeds 12 inches on center for ½ gypsum, and 16 inches on center for 5/8 gypsum. (R702.4.2)

Plumbing fixtures shall comply with the following conservation requirements: 24" o.c. or o Water closets-Tank type = 1.6 gal. /flush. o Shower heads- 2.75 gal. /minute. o Faucets- 3.0 gal. /minute, provide aerator.

Water treatment systems shall be equipped with an automatic shutoff to prevent continuous flow when not in use. Provide an expansion tank at the water heater if a backflow preventer is or will be installed on the water line or at the

meter. Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type.

Domestic dishwashing machines connected to a disposer shall have the discharge installed as high as possible, but not lower than 2" above the flood rim of the sink.

Provide minimum clearances from centerline of water closets to finished wall, cabinets, and other plumbing fixtures. (R307.1

The clothes dryer shall be provided with a 4-inch diameter exhaust duct to the exterior and shall not exceed a total length of 25 feet, unless an engineered duct system is provided. (MI5OI.3) The duct shall terminate not less than 3 feet from a

property line or from openings into a building. Provide outside combustion air for fireplaces located in bedrooms. (RIOO5.1.1) Provide required support/platform, 18-inches high, for mechanical equipment, water heaters and appliances if placed in garage or room with direct access to garage.

Provide combustion air and provide high and low vent sizes for gas fuel appliances located in confined spaces. (MITO2.2, MI703.2 amended)

Location of smoke detectors throughout each unit shall comply with IRC 317(amended).

Provide IC-rated recessed light fixtures installed in insulated ceilings. (NEC 110.3(B), 41.66(B)).

Fixtures located in damp or wet locations shall be "listed" to be suitable for such location. (NEC 410.4) Provide GFCI protection for receptacles within 6' of all lavatories, sinks and basins. (NEC 210.8) Provide GFCI protected receptacles (all exterior, bathroom and garage locations. (NEC 210.8 \$ 210.52.) Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (NEC 210.52(D)

I.I. GA RESIDENTIAL CODE COMPLIANCE NOTES Rev O

All circuits supplying receptacle outlets in bedrooms shall be AFCI (Arc-Fault Circuit Interrupter) protected. (NEC

Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (NEC 210.52

Bathroom receptacle outlets shall be supplied by at least one 20-ampere branch circuit. Such circuits shall have no other outlets. (NEC 210.52 (D))

Provide a separate 20-ampere branch circuit to the laundry. (NEC 210.11(C), 210.23 (A), 210.50 (C), 210.52(F & G),

Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (NEC 210.11(C)(1),

The two or more 20-ampere small appliance branch circuits shall have no other outlets, except the receptacle installed solely for electric supply to an electrical clock in the kitchen/dining/breakfast areas or receptacles for supplemental equipment and lighting for gas-fired ranges, ovens, or counter-mounted units. (NEC 210.52 (B)(3)) Réceptacle outlets for ranges and clothes dryers shall be a 3-pole with ground type. Four-wire, grounding-type flexible cords will be required for connection of ranges and clothes dryers. The bonding jumper shall not be connected between the neutral terminal and the frame of the appliance. (NEC 250.140 \$ 250.142)

Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper (200 ampere service). (NEC 250.50, 250.66)

Provide bonding to the water piping, gas and metal building systems. (Minimum #4 for 200-amp service). (NEC 250.50, 250.104 \$ 250.52) All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydro massage tub shall be bonded together using a copper bonding jumper, insulated, covered, or bare, not smaller than No. 8 solid.

Metal parts of listed equipment incorporating an approved system of double insulation and providing a means for grounding internal non-accessible, non-current-carrying metal parts shall not be bonded. (NEC 680.62) For new windows, windows being replaced or windows affected by modifications elsewhere they shall be compliant

Basements with habitable spaces and every sleeping room shall have at least one openable emergency escape and rescue window or exterior door opening for emergency escape and rescue. When openings are provided, they shall have a sill height of not more than 44 inches above finished floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the window or door opening from

Escape and rescue window openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with R310.2.

Minimum escape and rescue opening dimension shall be a net clear opening of 5.7 square feet, except at grade floor where the net clear opening shall be a minimum of 5 square feet. R310.1.2

Minimum net clear opening height shall be 24 inches." R310.1.3 Minimum net clear opening width shall be 20 inches. (DCA Amendments 2004 limit the projections to 1 inch total, such as window slide or quides, driplips and weatherstripping that are permitted in the openings.) R310.1.4

Emergency escape and rescue openings shall be operational from the inside of room without the use of keys or

Provide mechanical exhaust ventilation for bathrooms, water closet rooms, laundry room, and kitchen, ducted direct to outside. (R303.2 amended, MI501 to MI505)

The soil load-bearing capacity shall be presumed to be 2,000 psf max, unless a Geotechnical Investigation, properly stamped by a Professional Engineer registered in the State of Georgia, substantiates the noted bearing capacity.

The wood floor system drawings, stamped/noted as reviewed by DPoR, must be available on site PRIOR to

A floor framing drawing using the floor system nomenclature is required.

Pressure treated wood in contact or close proximity to metal, including fasteners.

With the removal of CCA treated lumber, most of the lumber available locally is treated with ACQ and CBA treatments. These treatments are more than twice as corrosive as CCA. CITY Building Inspectors will look for connectors and fasteners that are at least 6185 hot dipped galvanized in contact with pressure treated wood. Foundation drainage will be in accordance with Section R-405 of IRC.

All foundation walls of below grade space which may be occupied shall be waterproofed using membranes to allow for future use as habitable space (i.e. finished basement). The membranes shall extend from the edge of the footing to the finished grade (R- 406.1). Note method of waterproofing to be used on basement walls. Exception: Poured concrete foundation walls require dampproofing only.

If pre-engineered wood trusses are used in floor framing, provide truss drawings which identify member sizes to

Wood trusses shall be designed in accordance with approved engineering practice (Sec. R-502.II). If manufactured trusses are to be used, the truss supplier's detailed drawings for the project shall be available at the job site, prior to erection If pre-engineered wood trusses are used in roof framing, provide truss drawings. Wood trusses shall be designed in accordance with approved engineering practice (Sec. R-802.10). If manufactured trusses are to be used, the truss supplier's detailed drawings for the project shall be available at the job site, prior to erection

1822 MOUNT VERNON RD, **DUNWOODY, GA 30338**

03.09.22 ISSUE FOR DEMOLITION PERMIT



This drawing is the property of D. Treinis and is and is to be returned upon request. Scales as stated herein are for reference only as normal reproduction processes may alter the accuracy of

> :DRAWING TITLE: INFORMATION SHETT

> > :ISSUE DATE:

GENERAL DEMOLITION NOTES:

. THE EXTENT OF THE DEMOLITION WORK INDICATED IN DRAWINGS, NOTES AND SPECIFICATIONS DESCRIBE THE GENERAL SCOPE OF WORK ONLY AND ARE NOT INTENDED TO BE INCLUSIVE OF ALL THE DEMOLITION WORK WHICH MAY BE REQUIRED TO COMPLETE THE FULL SCOPE OF WORK. VERIFY ALL CONDITIONS IN

2. ALL WORK INVOLVING ASBESTOS AND LEAD PAINT REMOVAL IS OUTSIDE THE SCOPE OF THIS PROJECT AND WILL BE PERFORMED BY THE OWNER'S CONSULTANT.

3. SCHEDULE DEMOLITION WORK IN SEQUENCE THAT ACCOMMODATES THE OWNER'S REQUIREMENTS FOR ACCESS AND USE OF THE SITE DURING DEMOLITION. 4. EXISTING ELEMENTS AND FIXTURES NOT INDICATED FOR REMOVAL ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION AS REQUIRED. THE CONDITION OF ALL BUILDING FINISHES NOT TO BE ALTERED OR REMOVED ARE TO BE RECORDED PRIOR TO THE START OF DEMOLITION AND CONSTRUCTION. 5. SCHEDULE AND OBTAIN APPROVAL OF THE OWNER, UTILITIES AND LOCAL AGENCIES HAVING AUTHORITY PRIOR TO BEGINNING DEMOLITION WORK. 6. ALL DEMOLITION RELATED TEMPORARY OPENINGS IN EXTERIOR WALLS AND ROOF ARE TO BE SECURED AND KEPT WEATHER TIGHT.

7. ALL DEMOLITION DEBRIS ARE TO BE PLACED IN DUMPSTER(S), COVERED, WETTED AND SECURED AS REQUIRED BY MUNICIPAL ORDINANCES PRIOR TO DISPOSAL. COORDINATE AND OBTAIN OWNERS APPROVAL FOR THE LOCATION OF

8. ALL PARTITIONS INDICATED TO BE REMOVED ARE TO BE COMPLETELY REMOVED FROM FLOOR DECK TO UNDERSIDE OF STRUCTURE. 9. THE EXISTING BUILDING STRUCTURE INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, FLOORS ARE NOT TO BE ALTERED OR DAMAGED DURING DEMOLITION OR CONSTRUCTION, EXCEPT WHERE INDICATED IN THE DRAWINGS. ANY STRUCTURAL ELEMENTS DAMAGED DURING DEMOLITION OR CONSTRUCTION ARE TO BE REPAIRED TO FULL STRUCTURAL INTEGRITY AND REQUIRED FIRE-RESISTIVE RATING BY THE CONTRACTOR AT HIS/HER EXPENSE.

10. AT THE CONCLUSION OF THE DEMOLITION WORK, REMOVE ALL DEBRIS AND SURPLUS MATERIALS AND LEAVE WORK AREA READY TO RECEIVE NEW WORK

1ST FLOOR DEMOLITION PLAN KEY NOTES:



DEMO EXISTING ROOF ABOVE THIS AREA. ALL EXTERIOR WALLS TO REMAIN AS IS. DEMO INTERIOR NON-LOAD BEARING WALLS AS SHOWN. FLOOR SYSTEM TO REMAIN AS IS. PROTECT, EXPOSED TO ELEMENTS, FLOOR SYSTEM WITH MIN. 6 MIL PLASTIC AND HEAVY DUTY CONSTRUCTION PAPER.

DEMO EXISTING PLUMBING. CAP PIPES AS REQUIRED. REF. PARTITION PLAN FOR NEW PLUMBING LAYOUT

(3) DEMO EXISTING DECK AND STAIRS



DEMO EXISTING ROOF ABOVE THIS AREA. DEMO ALL INTERIOR AND EXTERIOR WALLS AS SHOWN. FLOOR SYSTEM TO REMAIN AS IS. PROTECT, EXPOSED TO ELEMENTS, FLOOR SYSTEM WITH MIN. 6 MIL PLASTIC AND HEAVY DUTY CONSTRUCTION



DEMO EXISTING ROOF AND UPPER STORY WALLS AND FLOOR IN THIS AREA. CUT BASEMENT WALLS TO BE 1'-9" HIGH. INSTALL NEW DOUBLE PLATE ON TOP OF THE WALLS. REPAIR SLAB AS NEEDED



6 DEMO EXISTING STRICTURE IN WHOLE IN THIS AREA- ROOF, CEILING, WALLS AND FLOORING. DEMO FOOTING ALL THE WAY TO TWO-STORY AREA

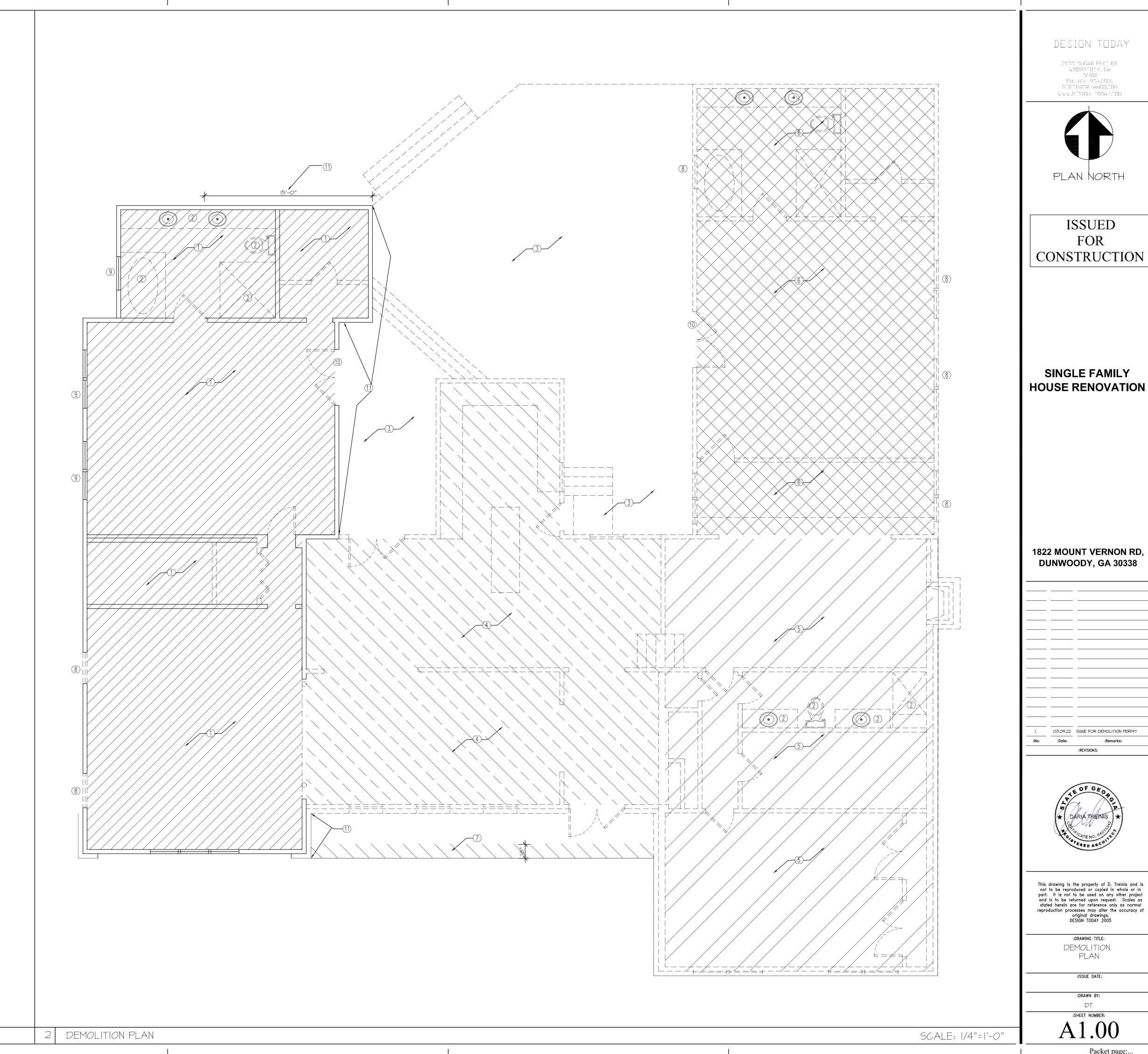
7 FRONT 18" DEEP PORTION OF THE EXISTING FRONT PATIO SLAB TO BE CUT TO ALLOW FOR NEW FOOTING

(8) DEMO EXISTING WINDOW. NEW WINDOW PLACEMENT TBD. 9 EXISTING WINDOW TO REMAIN

DEMOLITION PLAN LEGEND

10) DEMO EXISTING PATIO DOOR/ FRAME/ HARDWARE. SALVAGE FOR REUSE

(11) DEMO ALL EXTERIOR FINISHES IN THIS AREA



DESIGN TODAY

2035 SUGAR PIKE RD

PH. 404-954.0806

D_R_INIS@YAHOO.COM

WWW.DESIGN-TODAY.COM

PLAN NORTH

ISSUED

FOR

SINGLE FAMILY

DUNWOODY, GA 30338

03.09.22 ISSUE FOR DEMOLITION PERMIT

:REVISIONS:

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:DRAWING TITLE: DEMOLITION PLAN

:ISSUE DATE:

DT

WOODSTOCK, GA

Packet page:...

SUMMARY REPORT LEGACY MANOR PCH

Applicant:	Business name: Legacy Manor PCH
Meeting address, Date, and time	1822 Mount Vernon Rd Dunwoody, Georgia 30338 October 8 th , 2022 12-6pm
Total Acreage:	.38, adding on 300 cu yards.
Real Estate Owner of Record. Responsible for Discussions/Outcomes:	Anna & Roman Khokhlan
Current Zoning	R-100 (Single use residential)
Comprehensive Plan Details	Exhibit - # 1
Mailing list confirmation:	Exhibit # 2 Attached mailing list and proof of sending
Flood Plain:	NO
Enterprise Zone:	NO
Architect Letter	Exhibit #3
Action Requested:	Request to be granted SUP
Authorizing City Code Sections:	Section 2a-3 , 2b-1 , 2b-2, 2b-5 etc. Principle Uses and Structures
Summary Recommendations:	Applicant initiated meeting: (Sign in sheet attached) Total Number of people that came: 23 Total number of people who signed in:14 Number of people who refused to sign in: 9 6 people outside of the coverage area came to the meeting site. The site displayed a blueprint of the proposed project. The site also displayed an overview of the facility explaining the requested upgrades to the pre-existing damaged structure.

Areas of concern addressed:

- A. There were inquiries about why the existing house was demolished and what were those issues.
- B. There were concerns about traffic around or in and out of the proposed site in relation to the busy road area that already exists and concerns that the site development would add to that traffic issue.
- C. There were questions about the average number of vehicles that would be on the property daily.
- D. There were concerns about emergency service vehicles and where they would be designated to park should then need to enter the premises and the potential for them to block the road on the main street in front of the house.
- E. There were concerns about the water run-off and how they may affect the area and where it would be directed.
- F. There were concerns addressed about the amount of concrete to be added to the site and concerns about that impeding the entrance and/or damage the aesthetics of the area.
- G. There were concerns about the type of staff to work, the traffic in the home and the possible inconsistency therein
- H. There were concerns about a designated break room for the staff and where that many be located.
- I. Some people had discussions/ concerns about the disposal of cooking oil and how we will manage that.
- J. There were inquiries about the expansion of the home and if that was going to remain within the edges of the property.
- K. There were discussions/concerns about the size of the home, the safety of the entrance and memory care people wandering.
- L. There were concerns about the amount of supervision to ensure the people there were not left alone.
- M. There were discussions/ concerns about the disaster plan implementation and inquiry about the precautions that would be in place regarding how the business would safeguard residents from not getting lost.
- N. There were discussions/concerns about the entrance and exits in the driveway and was it going to be accessible and in a circle format.
- O. There were additional discussions/ concerns about the aesthetics (style) of the outside of the building proposed to be stucco.
- P. There were inquiries about where the designated disposal dumpsters would be located and the amount.

- Q. There were discussions /concerns about the sewage system and if it would be adequate for said facility and were the pipes able to accommodate that expansion.
- R. There were questions about the total number of 911 calls at the owner's current facility in Lawrenceville (Gwinnett County)

Staff Recommended changes to the proposal as a result of the meeting:

- A. Staff explanation about the property damage was addressed as the main variable to demolition.
- B. The facility is a Family business and there will minimally parked cars on the property at any given time, which allows for decrease any probability that there will be a disturbance or traffic jams in the area.
- C. The facility will have minimal traffic in the area as residents do not drive and there will be only vehicles on the property for individuals that need to be there.
- D. The facility does not anticipate high traffic volume. The facility will also be aware of the activity around the property, there will always be room for any emergency response personnel on the property at any time, and there will be a designated entrance and exit for easy accessibility. The existing driveway configuration would allow appropriate access and temporary parking in case of an emergency
- E. With the limited amount of impervious area added 314 sq. ft. no stormwater run-off increase will be experienced....stormwater run-off from the improvements will naturally infiltrate into the existing grassed areas of the site.
- F. The builder/contractor will be responsible for making sure the driveway is aesthetically pleasing and does not measure outside of an aesthetically pleasing parking area as to blend in with the remain residential units. Concrete added to the plan is only 314 sq. ft. to provide standard size parking spaces. The facility will have brick exterior.
- G. The current owners have experienced in the business and are selective about the level of skill to work around the residents and will ensure staff will meet all the state staffing regulated guidelines.
- H. The staff will have break areas, one on each floor. One break area will be designated on the top balcony if staff chooses to be outside and there will be another designated room on the bottom floor.
- I. As indicated in the Title 40 CFR Part 110, Discharge of Oil, discharges in quantities that violate applicable water quality standards and cause a visible sheen upon the water are considered harmful. There will be no oil discharges or oily wastes dumped into the public water system under any circumstances. The facility will use the required protocol for proper sanitation disposal as indicated by waste management in Dekalb county, who picks up the trash for the City Of Dunwoody, their contact number is 404-294-2900 /sanitation@dekalbcountyga.gov.

- J. The owner will discuss boarder lines with the architect to make sure there is no borders crossing or infringement upon the boundaries of the neighbors and to avoiding the expansion to max out the land on either side. The home and improvements are well within the required building setbacks of the property.
- K. The entrance and exits of all the facilities will be monitored with electronics and, the facility primary population focus will be on people that need the care but is NOT limited to people only with memory impairments without the property always staffing ratio and supervision for the entire population we always service.
- L. The Healthcare Facility Regulation Division Licensing Department clearly states in the rules and regulations for state licensure that no residents can ever be left alone in the facility, under any circumstances, the owner takes that requirement very seriously and will be responsible for ensuring there is always adequate coverage.
- M. Adequate staffing coverage is key in keeping residents safe and always monitored, all resident intake assessments at the facility will be detailed upon entry to the facility so all the resident's needs can be addressed and staffed adequately. It shall maintain appropriate professional around-the-clock staffing coverage for the facility, providing services and supervision 24 hours per day and 7 days per week.
- N. Alone with the staff ratio, there will be an internal basic monitoring alert system will notify staff when someone opens the front door, back door, or any window in the home as an additional precautionary measure to keep track of the entrances, exits and window areas of egress. No changes are proposed to the driveways of this site.
- O. The facility driveway will have a clear entrance and a clear exit, all staff, residents, and visitors will be required to always adhere to the structure of the parking and traffic movement on the property to avoid any issues.
- P. The owner has taken all concerns about the exterior presentation of the facility and will make every effort to make sure the home blends well with the surrounding community homes. A location has been indicated on the plan for a trash pad...the minimal use of this facility does not warrant a dumpster....but possibly 2 standard residential garbage containers.
- Q. The existing system in which this home ties into has been sized to carry sewage for large subdivisions of homes. This proposed use will have no effect on the existing sanitary sewer in-place at this location.
- R. The owner has had ____3___ 911 calls in the last year in the Gwinnett Facility, which is public record in the county to cross reference.

The summary report above includes the following items:

- Efforts to notify neighbors about the meeting date, time, and location (how and when notification occurred, and who was notified) (Address list and proof or mail confirmation, (Supplied by the owner)
 - Meeting location, date, & time as indicated above)
 - People involved in the discussions (Listed above)
 - Suggestions and concerns raised by neighbors (Listed above)
 - Specific changes to the proposal because of the meeting

Packet page:...



VARIANCE APPLICATION

Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338 Phone: (678) 382-6800 | Fax: (770) 396-4828

Project #:		_ Date Received: _			
Type:					
Type of Peguest: I	□ Chante	r 16-Streams □ Ch	anter 16-Other □	Chapter 20-Signs □✓	Chanter 27
		hich variance is sough		Chapter 20 digits Es	Chapter 27
The community of the comments		r additional parking space		ility.	
Tracare or request	-			•	
Project:					
Name of Project /	Subdivision	n: _		Zoning: R-10	0
Property Address	Location:	1822 Mount Vernon Roa	ad, Dunwoody, Georgia		
District: _ 18		Land Lot: 367	Block:	Property ID	: 18 367 0148
Owner Informati	ion:				
Owner's Name:	Anna and Ro	oman Khokhlan			
Owner's Address:	4994 Eagles	Nest Court, Loganville Ge	eorgia 30052		
Phone: 404-569-1150		Fax: 678-691-2094	Email: kho	klanpch@yahoo.com	
Applicant Inform	ation: 🗆 Ch	eck here if same as	Property Owner		
Contact Name: Leg	gacy Manor P	ersonal Care Home c/o Ar	ndersen, Tate, & Carr, A	nre Washington, Esq.	
Address: 196	0 Satellite Bl	rd. Suite 4000 Duluth, Geo			
Phone: 770-822-0900)	Fax:_	Email: ^{awas}	shington@atclawfirm.com	
Terms & Condition	ons:				
understand that I am resp all required information (application.	per the relevan	g additional materials as spe at Applicant Checklists and R	cified by the City of Dunwo	If additional materials are deter ody Zoning Ordinance. I underst ody Zoning Ordinance) will resul	and that failure to supply
Applicant's Name:	HIRE	D. WASHINGTO		0 /	10 -
Applicant's Signatu	ire: 9mi	Jare Hayhing	(ge)	Date: () exelve	(3,2022
Notary:					
Sworn to and subs	cribed befo	ore me this _ 13	Day of $_{-}$	emb., 20)_ケー
Notary Public:_	1 1111	WE WILSON			
Signature:	1769	NOTARL			
My Commission Ex	pires _ (GEODES 2			
Office Use:	= 5:	VOV. 9, 2025			
☐ Application Fee	Paid 2 %	in PeePaid (\$135 x r	number of signs req	uired) Fee: \$	
Payment: ☐ Cash	☐ Check L	CCOUDate:			
□ Approved □ Ap	proved w/	Conditions ☐ Denied	d Date:		



ADDITIONAL VARIANCES

Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338 Phone: (678) 382-6800 | Fax: (770) 396-4828

Type:

Type of Request: ☐ Chapter 16-Streams ☐ Chapter 16-Other ☐ Chapter 20-Signs ☐ Chapter 27-Zonir	ng
Code section from which variance is sought:27-202	
Nature of Request: Increased Parking Spots	
Туре:	
Type of Request: □ Chapter 16-Streams □ Chapter 16-Other □ Chapter 20-Signs □ Chapter 27-Zonii	ng
Code section from which variance is sought:	
Nature of Request:	
Туре:	
Type of Request: ☐ Chapter 16-Streams ☐ Chapter 16-Other ☐ Chapter 20-Signs ☐ Chapter 27-Zonii	ng
Code section from which variance is sought:	
Nature of Request:	
Type:	
Type of Request: □ Chapter 16-Streams □ Chapter 16-Other □ Chapter 20-Signs □ Chapter 27-Zonii	ng
Code section from which variance is sought:	
Nature of Request:	
Туре:	
Type of Request: \square Chapter 16-Streams \square Chapter 16-Other \square Chapter 20-Signs \square Chapter 27-Zonii	ng
Code section from which variance is sought:	
Nature of Request:	
Туре:	
Type of Request: □ Chapter 16-Streams □ Chapter 16-Other □ Chapter 20-Signs □ Chapter 27-Zonii	ng
Code section from which variance is sought:	
Nature of Request:	



Property Owner(s) Notarized Affidavit

Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338 Phone: (678) 382-6800 | Fax: (770) 396-4828

The owner and petitioner acknowledge that this application form is correct and complete. By completing this form, all owners of the subject property certify authorization of the filing of the application for variance(s), and authorization of an applicant or agent to act on their behalf in the filing of the application including all subsequent application amendments.

Property O	wner (If Applicable):				
Owner Name:	Anna Kho	Khlan			
Signature: _ 0	Quer ReleMO	2-		Date: 12 -	12-2022
Address:	1822 Mount Ve	Knon Rd,	DUNWOOD	dy GA 3	0338
Phone: _ UOU	1-569-1150Fax:_		Email: KhoKl	Wan pcha	Yahoo.com
Sworn to and s	subscribed before monthly	2	Day of Dese	mber	, 20_22
Notary Public: ルイトA(じみ	IN SUSTINES CONT	Ses GIA			
Property Ox	wner (If Applicable)!"	MACHINE	To the state of th		
	Roman Khokh	10 m			****
	Rome De Hole	un		- 10	-12-2022
	1822 Mount Ve	punn Rd	A		
	510-6669 Fax:	WILLIAM TALL	, <u>Dunielood</u> Email: rkhok	chang li	10 com
	SIO - 600 - Fax:	MATALA			
Notary Public:	Church Compacific Scale	COLON THE WAY THE	Day of Desen	n n ev	, 20 ₋ 22
Property Ov	vner (If Applicable):				
Owner Name:					
Signature: _				Date:	
Address:					
Phone: _	Fax:_		Email:		
Sworn to and s	ubscribed before me this		Day of		, 20_
Notary Public:					



Campaign Disclosure Statement

Have you, within the two years immediately preceding the filing of

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this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission?	□ YES X NO
Applicant / Owner:	
Signature: Oma Bloghton	Date: 12-12-2022
Address: 1822 Mount Vernor Rd, Dunus	004 GA 30838

If the answer above is yes, please complete the following section:

Date Government Official Official Position Description Amount

ANDERSEN | TATE | CARR

December 13, 2022

LETTER OF INTENT AND JUSTIFICATION FOR VARIANCE

Variance City of Dunwoody, Georgia

Applicant: Anna and Roman Khokhlan

Property:
Tax Parcel IDs 18 367 01 048
±.38 Acres of Land
Located at 1822 Mount Vernon Road,
Dunwoody Dekalb County, Georgia
For A Variance to Increase Parking

Submitted for Applicant by:
Anre' D. Washington, Esq.
ANDERSEN TATE & CARR, P.C.
One Sugarloaf Centre
1960 Satellite Blvd.
Suite 4000
Duluth, Georgia 30097
770.822.0900

awashington@atclawfirm.com

I. INTRODUCTION

This Letter of Intent ("LOI") is to request a single Variance from the City of Dunwoody Ordinance 27-202 to add additional parking for Legacy Personal Care Home's ("Legacy Manor") current pending Special Land Use Permit application for a property located at 1822 Mount Vernon Road, Dunwoody, Dekalb County, Georgia. The basis of this request is to provide flexibility to address compliance with parking requirements Americans with Disabilities Act, staffing needs, emergency services and the resident seniors' visitors.

City of Dunwoody regulations limits the number of parking spots on a personal care home within a residential community to four parking spots. As the City is aware, Americans with Disabilities Act regulations limit the facility to one handicapped and three general access parking spaces. The Development is a seven (7) bed facility, but the residents do not have vehicle access.

This request seeks to increase the number from four (4) to six (6) to ensure that the facility has room to accommodate staff, periodic guests, and, in the rare event it is necessary, emergency services vehicles. The Applicant fully recognizes that this Development must preserve the "look and feel" to remain consistent with the residential community. Therefore, the Applicant is committed to ensuring that the onsite parking is non-intrusive and providing a site plan for additional parking without sacrificing the character of a residential community. Addressing this concern might include but is not limited to enhanced planted buffers, parking on the side or rear, or changes to parking orientation and direction.

II. CITY OF DUNWOODY CHAPTER 27 VARIANCE

Letter of Intent for Zoning Variances (Chapter 27): Please describe your situation and how your variance request is a result of all of the following conditions:

- 1) The grant of the variance will not be detrimental to the public health, safety or welfare or injurious to property or improvements;
 - a. No. The additional parking spaces will not harm the City's public health, safety, welfare, or injury to property improvements.
- 2) The variance request is based on conditions that (1) are unique to the subject property (2) are not generally applicable to other properties in the same zoning district and (3) were not created by the owner or Applicant:
 - a. Legacy Manor is a unique business that provides personal care in a residential and home-like setting. Given both the company and the City's goal to provide housing for Seniors, this request is consistent with this type of Development. Aside from the Development offering commercial services in a residential community, there is no four-car limit on residential homes in the City. Therefore, this variance request is consistent with the surrounding area.

- 3) Because of the particular conditions, shape, size, orientation or topographic conditions, the strict application of the requirements of this zoning ordinance would deprive the property owner of rights and privileges enjoyed by other similarly situated property owners;
 - a. There are no regulations that cap residential parking spaces to four vehicles. This cap would add an additional condition distinct from the residential community.
- 4) The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other similarly situated properties;
 - a. The Applicant is requesting six (6) parking spots to provide flexibility through site planning and Development to address parking issues. Allowing this number is not inconsistent with a nearby residential home. Of note, Legacy Manor limits visitation hours, and residents do not drive. This grant would permit would not generally result in a consistently full parking lot.
- 5) The literal interpretation and strict application of the applicable provisions or requirements of this zoning ordinance would cause undue hardship or practical difficulty, as distinguished from a mere inconvenience; and
 - a. Limiting parking to four spaces could negatively impact the Development's ability to accommodate staff and visitors and, in the rare event, of emergency services. This Development seeks to provide housing to a vulnerable population. While instances where emergency services do not happen often, the additional parking provides space if necessary.
- 6) The requested variance would be consistent with the spirit and purpose of this zoning ordinance and the comprehensive plan.
 - a. The subject property will maintain its status as R-100, address a critical need for senior housing, and provide for families of those seniors to visit without parking barriers.

III. Conclusion

The Applicant looks forward to continued constructive dialogue with the community, staff, and elected officials to address any concerns with this request and asks for favorable consideration.

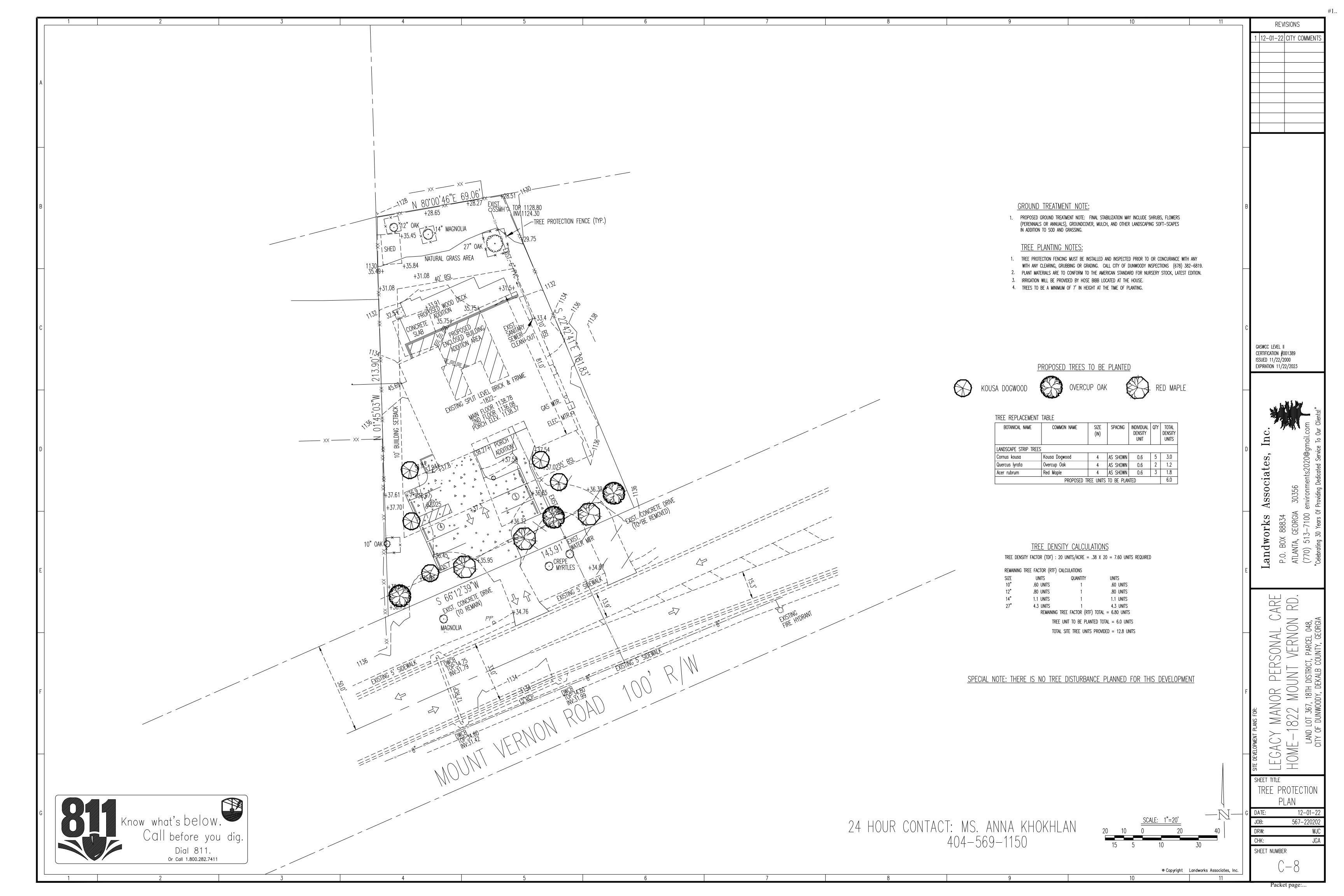
Respectfully submitted this 13th day of December 2022.

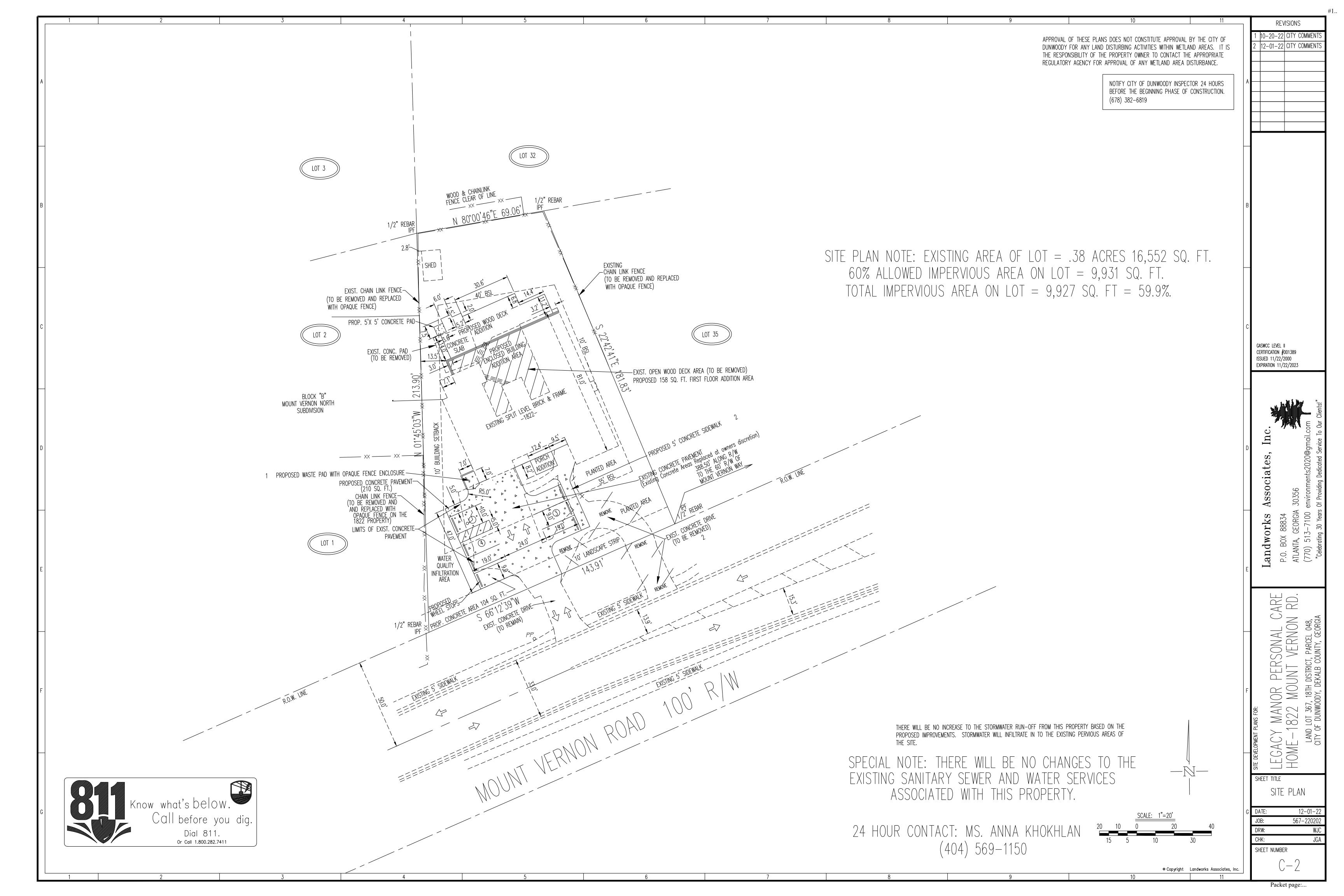
ANDERSEN, TATE & CARR, P.C.

Anre' D. Washington

Anre' D. Washington, Esq.

Enclosures





Madalyn Smith

From: courtney wargula

Sent: Tuesday, January 17, 2023 4:37 PM

To: Madalyn Smith

Subject: Memory care facility on mt Vernon Road

Caution: External Message

Madalyn

I am emailing you to voice my concern regarding the proposed memory care facility that might be built on mt Vernon Road in a residential community. I have seen plans for the facility and to be honest that house is not suited for dunwoody the houses on mt Vernon are your basic home. That lot is too small for a house that size and wouldn't be suitable to handle a ton of cars on it and if that facility was built it would make the house values in Dunwoody increase significantly which isn't good. I work in the real estate industry and know how this facility would make a huge mess and I know the residents living on mt Vernon or that would back up to that facility are very unhappy. We don't need more traffic on mt Vernon especially during rush hour which is already a mess.

Courtney , Sent from my iPhone



"Bringing Nurse Practitioners and Physicians to Your Door" 2795 MAIN ST., W #27, SNELLVILLE, GA 30078 P: 770.985.8001 F: 770.985.8028

Patricia Gray-Smith, NP | Paul Allen, MD | Nicole Moncrieffe, NP | Maureen Kapatkin, NP

22 December 2022

Re: Anna Khokhlan

To Whom It May Concern,

I am a nurse practitioner and have been servicing Anna Khokhlan's personal care homes for 15 years. Anna is an excellent caregiver. She is attentive and observant, understanding the nuances of delivering care to the geriatric and vulnerable populations. She has been essential in the care of my patients- communicating any issues or changes she has observed with her residents. She is a conscientious and dedicated caregiver, treating each of her residents as individuals and addressing their particular needs. I have often recommended Anna to my patients and their families when they are in need of personal care home placement. I would recommend her as a caregiver without hesitation. Additionally, Anna maintains excellent care of her homes and surrounding property.

Please feel free to contact me with any questions.

Sincerely

Patricia Gray-Smith, APRN BC FNP/ANP

Jennifer and David Jones 1830 Mount Vernon Road Dunwoody, GA 30338

December 17, 2022

RE: LEGACY MANOR

To Whom it May Concern,

We live at the property adjacent to 1822 Mount Vernon Road, which we hope will become known as **Legacy Manor**. We have had many conversations with Anna Khokhlan and her family regarding their plans and application for the special-use permit. We feel that opening their home to seniors and/or memory care patients is a benefit to the community and <u>support</u> their efforts and permit application.

Some neighbors have voiced concerns about traffic on Mount Vernon Road being affected by Legacy Manor; however, we do not share these concerns based on our experience living here since 2015. The former owners of 1822 Mount Vernon Road were a multi-generational family with numerous cars as well as elderly parents. We are aware of the anticipated vehicles required for the family and staff at Legacy Manor and believe there will be fewer cars at the property than with the previous owner. Additionally, over the years we have seen several ambulances stopped at 1822 Mount Vernon Road for the elderly parents and witnessed that it generated little to no impact on traffic. The home has both a bike lane and sidewalk in front of it which allowed ambulances to park to the side of the travel lane and traffic could continue down Mount Vernon Road.

I met Anna Khokhlan and her family (son, daughter, son-in-law, and granddaughter) summer 2021 when they were viewing the next-door house for sale. I was immediately fond of the family. Sadly, I knew very little about the property and could not advise them of the construction nightmares their renovation was about to uncover. As the demolition began, so did my friendship with Anna and Roman. I was heartbroken for Anna and Roman as I learned about the condition of the house and watched as it was reduced to a few studs. Yet through this setback, they envisioned a new purpose for their home and our community's future. To share some my own experience, my husband's father passed away in 2017 from Multiple System Atrophy (MSA) or Shy-Drager syndrome. MSA is a degenerative disorder that ultimately left my father-in-law bed ridden. To keep him from living in a nursing facility, my mother-in-law became his fulltime care giver. We have witnessed firsthand trying to imperfectly convert your home for special needs, learning nursing skills as the situation dictates, and the physical and emotional toll to a caregiver. We feel this has given us a somewhat unique perspective regarding the need for alternatives to traditional nursing homes. As for my parents, I watch them agonize as their friends are rehomed to memory care facilities. They understand, but cannot change, that typically grown children are unable to quit their jobs/income, become fulltime care givers to aging parents, and remain as mothers and fathers to their own growing children. I view the proposal for Legacy Manor through the lens of how much compassion and grace the Khokhlans can provide our community. If someday my parents or mother-in-law need senior/memory care, Legacy Manor would be an answer to an unvoiced prayer.

Please contact me if you have any questions.

Sincerely,

Jennifer Jones