

To: Mayor and City Council
From: Carl Thomas, Stormwater Utility Manager
Re: Funding Authorization for The Wildcat Learning Center at Dunwoody Park Storm Improvements Site Development Plans Change Order
Date: September 11, 2023

Action

Authorize the Mayor, City Manager, or designee to approve \$68,150.50 in funding for The Wildcat Learning Center at Dunwoody Park Storm Improvements Site Development Plans Change Order.

Summary/Details

The Dunwoody Nature Center at Dunwoody Park is undergoing significant site improvements, including a new classroom facility (the Wildcat Learning Center), exterior deck, and other overall park entrance enhancements. One critical aspect of this project involves addressing existing stormwater drainage issues in the parking lot area. Original plans for the parking area included minimal stormwater controls to convey runoff safely through the park. The parking lot runoff has caused damage to the existing restroom/classroom building area and significant erosion downstream. The original design included the construction of an underground detention facility and a porous paving system to treat and control the runoff. Public Works staff have collaborated with Pond & Company (POND) to provide a schematic design for these proposed site improvements. The original cost for design was \$49,995. A geotechnical Engineering Infiltration Report indicated poor infiltration rates and a high-water table in the proposed underground detention area. After numerous attempts to meet site condition requirements through minor design alterations, staff determined that the porous paving system was infeasible and the changes in construction materials for an underground detention system in a high-water table were no longer cost-effective. Consequently, the City requested POND to submit a change order for a complete revision to the prior site design to redirect stormwater runoff into an existing drainage channel on the park's south end. The additional cost for the redesign work is \$11,960, taking the total fees, with a 10% contingency, to \$68,150.50.

If approved by Council, this project will be funded from the Stormwater Repairs and Maintenance budget allocated for storm improvement projects.

Recommendation

Staff recommends approving \$68,150.50 in funding for the Wildcat Learning Center at Dunwoody Park Storm Improvements Site Development Plans Change Order.



3500 Parkway Lane, Suite 500
Peachtree Corners, Georgia 30092

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www.pondco.com

July 6, 2023

Carl B. Thomas
Stormwater Utility Manager
City of Dunwoody Public Works
4800 Ashford Dunwoody Road
Dunwoody, GA 30338
Phone: (678) 382-6864
Carl.Thomas@dunwoodyga.gov

**Re: *Dunwoody Nature Center Improvements Site Development Plans Change Order
Task Order 001 -SOQ 22-01 On Call – Stormwater Engineering and Design Services
City of Dunwoody, Georgia***

Dear Mr. Thomas,

Pond & Company (Pond) thanks you for the opportunity to assist the City of Dunwoody with Professional Services for the Dunwoody Nature Center. This proposal includes our costs to provide additional design and engineering services for the stormwater infrastructure and site work associated with the new classroom building at the Dunwoody Nature Center.

Results from a Geotechnical Engineering Infiltration Report indicated that the soils in the proposed underground detention area have poor infiltration rates and high normal water table. City Staff determined that underground detention in that location would not be an effective means to attenuate stormwater runoff flows due to these conditions. The site design will be revised to redirect stormwater runoff to bypass the improvement area into an existing ditch.

SCOPE OF ADDITIONAL SERVICES:

- A. Pond will assess the uphill parking lot grading and drainage and consult with the City on an effective solution to redirect the drainage.
- B. Pond will revise the following current construction documents to include the upstream drainage revisions:
 - A. Site Layout Plan
 - B. Grading and Drainage Plan
 - C. Storm Drain Profiles
 - D. Stormwater Management Plan and Details
 - E. Erosion and Sedimentation Control Plans and Details
 - F. Hydrology Study
- C. Pond will submit the revised plans to the City and provide revisions for one comment period. Then Pond will submit construction documents for final permit approval.



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CONDITIONS OF SERVICE

Our conditions of service below list our exemptions and conditions for this project.

- A. Conditions, exclusions, and fees from original scope (Exhibit C1) contract still apply unless specified.
- B. The City will provide Pond with an up-to-date survey in the areas of the proposed site improvements.
- C. Project revisions that result in surpassing the threshold for a Major Land Disturbing Permit are not included. The scope and fee will be reevaluated for these revisions.
- D. The City will review the deliverables in a timely manner and provide appropriate feedback.
- E. Once work has commenced, then changes in the design or alternatives may constitute a change order.
- F. While Pond will deliver a value-conscious concept design and seek Client’s preference on significant cost related decisions when options are present, a detailed value-engineering analysis complete is not included.
- G. Permitting fees are to be paid by the Client

FEES AND TERMS OF PAYMENT

Pond & Company proposes to complete the professional services specifically stated above for the fees listed below:

Additional Services	\$ 11,960
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The fees above include typical reimbursables such as printing, mileage, parking, and postage. Please let us know if you have any questions and thank you for your trust in our firm. We can be contacted at morgand@pondco.com.

Sincerely,
Pond & Company

David M. Morgan, PE
Senior Project Manager

Stephen Bailey, PWS
Principal | Program Manager

City of Dunwoody Public Works
4800 Ashford Dunwoody Road
Dunwoody, GA 30338

**Fee Proposal
Change Order**

Contract Number: 22-102
Project Task Order Number : 1
Project Name : Dunwoody Nature Center
Task Order NTE Value:

Proposal Due Date: Thursday, July 6, 2023
Pond Project Manager: Matt Felts

Task I - Construction Docs and Hydro	Billing Category	Rate/Hour*	Proposed Hours	Current Amount
	Principal-in-Charge	\$220.00	2.00	\$440.00
	Project Manager	\$165.00	8.00	\$1,320.00
	Senior Engineer	\$155.00	24.00	\$3,720.00
	Engineer - Mid	\$135.00	48.00	\$6,480.00
	CAD Operator/Designer	\$95.00		\$0.00
			Task I Total	\$11,960.00



EXHIBIT C1



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September 23, 2022
Revised November 8, 2022

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Carl.Thomas@dunwoodyga.gov

**Re: *Dunwoody Nature Center Improvements Site Development Plans
Task Order 001 -SOQ 22-01 On Call – Stormwater Engineering and Design Services
City of Dunwoody, Georgia***

Dear Mr. Thomas,

Pond & Company (Pond) thanks you for the opportunity to assist the City of Dunwoody with Professional Services for the Dunwoody Nature Center. This proposal includes our costs to provide design and engineering services for the stormwater infrastructure and site work associated with the new classroom building at the Dunwoody Nature Center.

PROJECT APPROACH AND SCOPE

The Dunwoody Nature Center, located at 5343 Roberts Drive in Dunwoody, Georgia will be undergoing site improvements that include a new classroom facility, exterior deck, and overall park entrance enhancements. Pond has provided a schematic design of the proposed site improvements to the Nature Center, which will be the basis for this scope of work. The improvement project is being facilitated by the Dunwoody Nature Center's Board of Directors and the City of Dunwoody Public Works Department.

The site currently has multiple buildings, parking areas, walking trails, and park facilities designed to immerse and educate the public. There are existing stormwater drainage issues that have damaged the restroom/classroom building in this area of the site, creating unsafe conditions for users of the classroom, as well as caused significant erosion downstream. In 2021, Pond completed a Master Plan Update for the Nature center. Included in this, Pond provided a general evaluation of the current conditions as well as formulated solutions to address the flooding issue. The stormwater drainage improvements are to be designed and constructed in conjunction with the construction of a new classroom building (the fee and scope associated with the design of the new building will be commissioned by the Nature Center and is not included in this proposal). The Public Works Department of the City of Dunwoody is requesting a proposal for an engineered design for the stormwater improvements and site work associated with the project.



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Based upon the schematic improvements plan and stormwater evaluation done previously, Pond will provide detailed construction drawings with stormwater management design and analysis. This proposal expands upon the approach and a detailed scope of services. Any new information acquired after this proposal is submitted may require a reevaluation and revision of the scope and proposal. Below is a detailed list of tasks and deliverables associated with the project:

TASK I – CIVIL SITE CONSTRUCTION DOCUMENTS AND HYDROLOGY STUDY

- A. Pond will research applicable ordinances and regulations that may impact the proposed site layout, including stormwater requirements.
- B. Using a topographic survey provided by the City’s Surveyor and the schematic layout that was approved by the Dunwoody Nature Center Board of Directors, Pond will prepare a site development plan set for the proposed site improvements in the following format to the City:
 1. Cover Sheet
 2. Civil Notes, Legend, and Abbreviations
 3. Existing Conditions Plan (copy of sealed survey as provided by the client)
 4. Site Demolition Plan
 5. Dimensional site layout plan
 6. Grading and drainage plan including storm drainage profiles and calculations
 7. Civil construction details
 8. Erosion and sedimentation control plan (1-Phase based on current scope)
 9. Erosion and sedimentation Control details
- C. The construction document package will be provided to the client in electronic format for review, pricing, and discussion at an intermediate phase of the design process. This proposal assumes up to one (1) intermediate submittal of the construction documents at approximately the 60% design stage, prior to final plans. Comments that fit within the scope of this proposal will be addressed, and the final package will be prepared for land disturbance permitting. Please note that if major comments are received on this submittal that require redesign, this proposal will need to be reevaluated for the additional scope.
 - Pond will attend coordination meetings with the client. This task includes up to three (3) meetings via phone or in-person in the construction document preparation phase.
- D. With soil infiltration testing provided by the City’s Geotechnical Engineer, Pond will provide a Hydrology Study that will encompass the proposed site improvements. The Report will include rationale for the proposed Best Management Practices (BMPs) to be used and calculations showing adherence to runoff reduction, water quality, detention, and downstream analysis requirements, as required.

TASK II – LANDSCAPE AND HARDSCAPE PLANS

- A. Concurrently with Task I, Pond will prepare tree protection/replacement and code minimum landscape plans per City of Dunwoody Ordinances for the subject project area. This phase of work



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assumes completion of a Tree Survey (including location, caliper, and species) by the Client's surveyor. Services are expected to include:

1. Creation of a Tree Protection Plan, with all items listed in the city's Tree Ordinance
 2. Creation of a Tree Replacement Plan, with all items listed in the city's Tree Ordinance
 3. Creation of a landscape plan within the project area.
- B. The tree protection and replacement plans and the landscape plan will be incorporated into the Civil Construction Documents as described in Task I for submittal to the City for land disturbance permitting.
- C. In addition, and concurrent with the construction documents in Task I, Pond will prepare enhanced landscape and hardscape documents for the site, including detailed planting plans and hardscape design. It is assumed that any specialty hardscape design (pavers, stamped concrete, etc.) will be limited in scope.
- D. Landscape plans will be prepared in the following format:
1. Landscape Notes, Legend, and Abbreviations
 2. Site Landscape Plan(s), including enlargements of critical areas
 3. Site Hardscape Plan(s), including enlargements of critical areas
 4. Landscape and Hardscape Details
- E. If required by the City, these enhanced landscape and hardscape plans will be incorporated into the civil construction documents for submittal and permitting purposes. Otherwise, these will just be incorporated into the for-construction set provided to the owner and contractor.
- F. This task assumes that the landscape architect will attend the coordination meetings specified in Task I.
- G. Tree Care and Maintenance plan are not included. They will require the services of another firm that provides maintenance. Risk Assessment is also not included.

TASK III – LAND DISTURBANCE PERMITTING

- A. Pond will coordinate permitting and submitting the deliverable documents from Tasks I & II through the City of Dunwoody.
- B. Pond will assist with the preparation of the Notice of Intent (NOI) -if applicable. Please note that certification and final filing of the NOI must be by the responsible party—the owner or the contractor.
- C. Comments and/or approvals will be picked up from the various county departments and will be made available to the client for review.
- D. Revisions to Pond's plans and stormwater management report will be made per City review comments that fit within the scope as described in this proposal.
- E. After revisions, Pond will resubmit plans to the respective departments and meet with plan reviewers to discuss the changes and to reasonably expedite approvals, if required.
- F. After permitting is complete, Pond will prepare a conformed set of final construction documents that incorporates all permitting related comments and changes. This ready-for-construction set of plans will be provided in PDF format to the client and contractor.



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TASK IV – CONSTRUCTION ADMINISTRATION

- A. Pond (project manager and project director) will attend a kickoff/site visit meeting with the City and the Contractor to discuss the proposed project and begin construction.
- B. Pond will perform construction observations to evaluate the site-work contractor's general conformance with permitted plans. Pond will review shop drawings, if required. This proposal includes up to four (4) construction phase site visits (one kickoff, one punch list, and two during construction) by one member of Pond staff.
- C. Redesign and/or permit revision/resubmittals after initial permit review approval is obtained is not included.
- D. Any construction phase site visits beyond the four included in this proposal may incur additional costs in accordance with the approved rate schedule.
- E. Any redesign, including due to client direction, as-built analysis, or unforeseen conditions may incur additional cost.
- F. As-builts and record drawings are to be the Contractor's responsibility and are excluded from this proposal.

CONDITIONS OF SERVICE

Our conditions of service below list our exemptions and conditions for this project.

- A. The City will provide Pond with an up-to-date survey in the areas of the proposed site improvements.
- B. The City will provide Pond with soil infiltration testing by a Geotechnical Engineer to determine site feasibility of stormwater Runoff Reduction.
- C. Project revisions that result in surpassing the threshold for a Major Land Disturbing Permit are not included. The scope and fee will be reevaluated for these revisions.
- D. The City will review the deliverables in a timely manner and provide appropriate feedback.
- E. Based on information and reviews provided in a timely feedback, the final design deliverables can be completed within two months of a signed contract. This may be adjusted based on the timeline of the survey and Geotech
- F. Once work has commenced, then changes in the design or alternatives may constitute a change order.
- G. Client will determine the phasing of approved plans, if needed.
- H. The following services are excluded under this Agreement:
 - a. Survey of the existing conditions



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- b. Environmental permitting; species-specific surveys for protected species; Phase 1 or 2 cultural resources surveys; ground penetrating radar surveys; MOA/MOU with SHPO; more than *de minimus* impacts to 4(f) resources.
 - c. Public or community meetings
 - d. Arborist reports or hazard assessments
 - e. Additional design or field efforts due to a change in, or expansion of the project area
 - f. Structural engineering
 - g. Architectural design
 - h. Illustrative renderings of any kind (plan or perspectives)
- I. No permitting or variances associated with stream buffers or wetlands are included.
 - J. No environmental site assessments (ESA) of any type are included.
 - K. No Conditional Letter of Map Revision (CLOMR) or Letter of Map Revision LOMR) is included.
 - L. Pond will examine available published environmental data (National Wetland Inventory, FEMA Flood Maps, etc.), but field delineation of possible State Waters / Wetlands / FEMA boundaries and associated permitting is excluded.
 - M. Coordination with Georgia DOT, FHWA or FEMA is excluded.
 - N. Environmental documentation, such as National Environmental Policy Act (NEPA) compliance; mitigation; aquatic survey; analysis of social, economic, and environmental data; natural resources study; and cultural resources study is excluded.
 - O. Additional services not included: bid assistance, as-built surveys, platting, and certifications.
 - P. While Pond will deliver a value-conscious concept design and seek Client's preference on significant cost related decisions when options are present, a detailed value-engineering analysis complete is not included.
 - Q. Opinion of probable cost information will be based upon current GDOT construction cost or RSMeans data for the area. Please note that this cost information is provided for information only. True construction cost is dependent on a multitude of factors outside the control of Pond, including market conditions, contractor availability, and actual construction start dates.
 - R. Services not specifically included in the proposal, or material changes requested after professional services have commenced, will be considered additional / out of scope services, and will be approved via a contract change order prior to commencement of the additional work.



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FEES AND TERMS OF PAYMENT

Pond & Company proposes to complete the professional services specifically stated above for the fees listed below:

Task I – Construction Documents and Hydrology Study	\$ 21,320
Task II – Landscape and Hardscape Plan	\$ 9,755
Task III – Land Disturbance Permitting	\$ 13,200
Task IV – Construction Administration	\$ 5,720

The fees above include typical reimbursables such as printing, mileage, parking, and postage. Please let us know if you have any questions and thank you for your trust in our firm. We can be contacted at morgand@pondco.com.

Sincerely,
Pond & Company

David M. Morgan, PE
Senior Project Manager

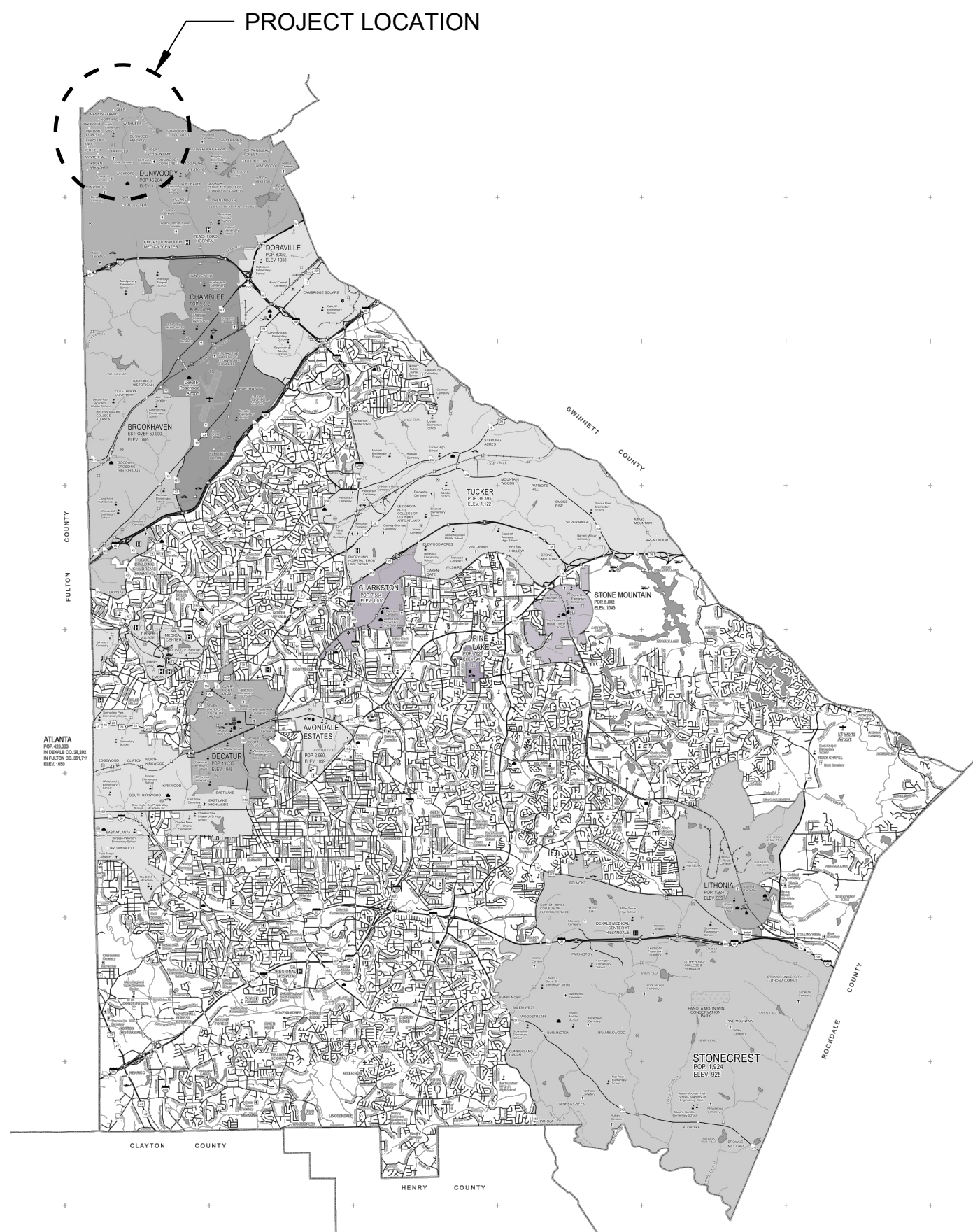
Stephen Bailey, PWS
Principal | Program Manager

Pond Opp. No. 2022143264

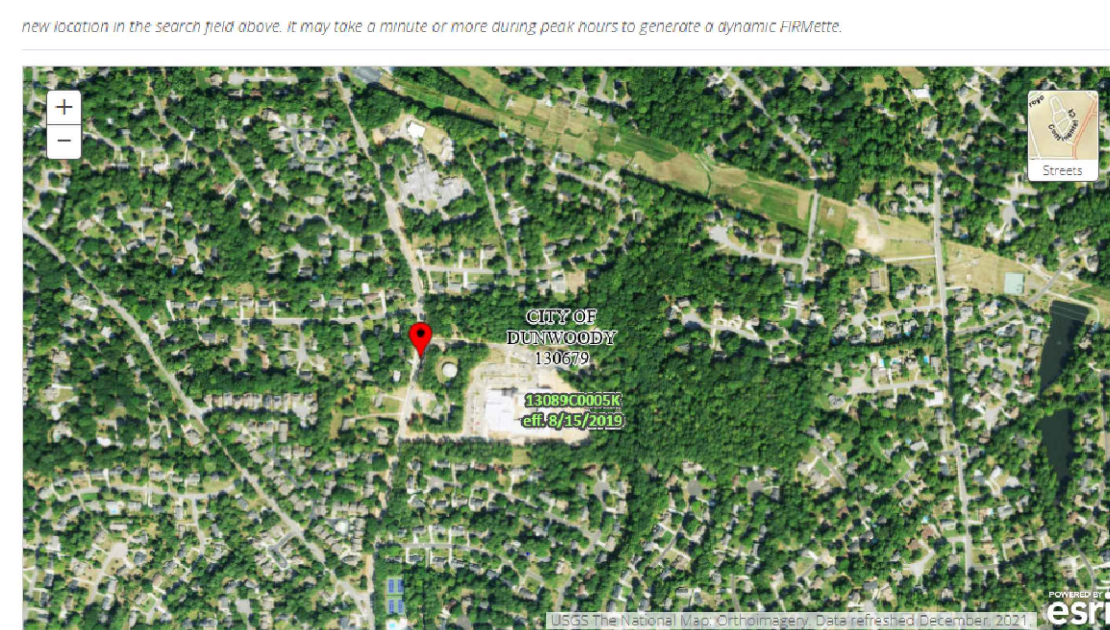
DUNWOODY NATURE CENTER WILDCAT CREEK LEARNING LAB

5343 ROBERTS DRIVE
DUNWOODY, GA 30338

AUGUST 11, 2023



VICINITY MAP
SCALE: N.T.S.



LOCATION MAP
SCALE: N.T.S.

PROJECT INFORMATION

TAX PARCEL ID: 18 376 01 005
ALT ID: 1601975
ZONING DISTRICT: E1
TOTAL TRACT SIZE: 16.79 ACRES

Sheet List Table	
Sheet Number	Sheet Title
G-001	COVER SHEET
C-001	GENERAL NOTES ABBREVIATIONS AND LEGENDS
V-101	SURVEY
V-102	SURVEY
CD101	DEMOLITION PLAN
LD101	TREE PROTECTION AND REMOVAL
CS101	SITE PLAN
CS102	LAYOUT PLAN
CG101	GRADING AND DRAINAGE
CG201	STORM PROFILES
CG301	WATER QUALITY STRUCTURES DETAILS
CU101	UTILITY PLAN
C-501	CONSTRUCTION DETAILS
C-502	CONSTRUCTION DETAILS
C-503	CONSTRUCTION DETAILS
C-504	CONSTRUCTION DETAILS
C-505	CONSTRUCTION DETAILS
CE101	INITIAL EROSION AND SEDIMENT CONTROL PLAN
CE201	FINAL EROSION AND SEDIMENT CONTROL PLAN
CE501	EROSION AND SEDIMENT CONTROL DETAILS
CE502	EROSION AND SEDIMENT CONTROL DETAILS
CE503	EROSION AND SEDIMENT CONTROL DETAILS
L-001	LANDSCAPE NOTES
LP101	LANDSCAPE PLAN
L-501	LANDSCAPE DETAILS

GENERAL NOTES:

- PROJECT DESCRIPTION:**
CONVERT EXISTING ASPHALT DRIVE TO PEDESTRIAN PLAZA AND PROVIDE STORMWATER MITIGATION TO IMPROVE DRAINAGE FOR EXISTING RESTROOMS, PARKING LOT, AND FUTURE CLASSROOM BUILDING. PROPOSED SITE WORK SCOPE INCLUDES PREPARATION FOR FUTURE CLASSROOMS, GRADING AND DRAINAGE, HARDSCAPE, EROSION CONTROL, AND LANDSCAPE.
- DISTURBED AREA:** 0.27 ACRES
- IMPERVIOUS AREA:** 0.18 ACRES
- EXISTING CONDITIONS REFERENCE:**
THE EXISTING CONDITIONS SHOWN IN THESE PLANS WERE PROVIDED BY TERRA MARK LAND SURVEYING, INC. AND ARE ASSUMED TO BE ACCURATE. CONTRACTOR TO VERIFY LOCATIONS OF SITE FEATURES ABOVE AND BELOW GROUND PRIOR TO THE CONSTRUCTION START DATE.
- PRIOR TO BEGINNING CONSTRUCTION, CONTACT LIA FABIAN (lia.fabian@dunwoodyga.gov) AND KEVIN MOORE (kevin.moore@dunwoodyga.gov) TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO WILL RESULT IN A STOP WORK ORDER.**

FEMA MAP PANEL 13089C0005K (EFF. 8/15/2019)
SCALE: N.T.S.

NOTE: THIS SITE IS LOCATED WITHIN CITY OF DUNWOODY'S FUTURE CONDITONS FLOODPLAIN

DESIGN TEAM

OWNER:
CARL B. THOMAS SR
Storm Utility Manager
City of Dunwoody Public Works
4800 Ashford Dunwoody Road
Dunwoody, GA 30338
Phone (678) 382-6700
carl.thomas@dunwoodyga.gov

LANDSCAPE ARCHITECT:
SYDNEY THOMPSON
Pond and Company
3500 Parkway Lane, Suite 500
Peachtree Corners, GA 30092
Phone (678) 336-7740
thompsons@pondco.com

ENGINEER:
MATT FELTS
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POND

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CLIENT INFORMATION



PROJECT NAME

DUNWOODY
NATURE
CENTER

5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE

04/11/2023
06/02/2023
08/11/2023

ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS

0 1 2

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE

COVER SHEET

SHEET NUMBER

G-001

ORIGINAL SHEET SIZE:
22" X 34"

ISSUED FOR PERMIT

Packet page:...

NOTE:
1. NOT ALL ABBREVIATIONS SHOWN WILL BE USED ON THIS PROJECT.

SHEET NAMING CONVENTION

C-001

2 DIGIT DESCIPLINE DESIGNATOR (IF ONLY ONE LETTER IS USED, THE SECOND LETTER IS REPLACED WITH A DASH "-" AS A PLACEHOLDER)**

- 1 DIGIT SHEET TYPE DESIGNATOR
0 - GENERAL
1 - PLANS
2 - PROFILES
3 - SECTIONS
4 - ENLARGED PLANS
5 - DETAILS
6 - SCHEDULES AND DIAGRAMS
7 - USER DEFINED
8 - USER DEFINED
9 - 3D VIEWS (ISO, PERSPECTIVES, PHOTOS)

2 DIGIT SEQUENTIAL # (01-99) (FIRST DIGIT INDICATES PLAN TYPE, SECOND DIGIT INDICATES FLOOR)

PROJECT CONTACTS:

LANDSCAPE ARCHITECT FOR THIS PROJECT IS:

POND
3500 PARKWAY LANE, SUITE 500
PEACHTREE CORNERS, GA 30092
P: (678) 336.7740 E: thompsons@pondco.com
CONTACT: SYDNEY THOMPSON, PLA

ENGINEER FOR THIS PROJECT IS:

POND
3500 PARKWAY LANE, SUITE 500
PEACHTREE CORNERS, GA 30092
P: (678) 336.7740 E: feltsm@pondco.com
CONTACT: MATT FELTS

OWNER FOR THIS PROJECT IS:

CARL B. THOMAS SR
Storm Utility Manager
City of Dunwoody Public Works
4800 Ashford Dunwoody Road
Dunwoody, GA 30338
P: (678) 382-6700
E: carl.thomas@dunwoodyga.gov

CIVIL GENERAL NOTES:

- THE CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL REGULATIONS APPLICABLE TO CONSTRUCTION OF THIS SITE.
- ALL DIMENSIONS ARE TAKEN FROM/TO FENCE LINES, CENTERLINE OF UTILITY, CENTER OF MANHOLE OR CATCH BASIN, CENTERLINE OF ROAD, FACE OF BUILDING, FACE OF CURB, FACE OF WALL, OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.
- EXISTING CONDITIONS SHOWN ARE BASED UPON TOPOGRAPHIC SURVEY PROVIDED BY TERRAMARK LAND SURVEYING, INC. EXISTING UTILITY INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OR ORDERING MATERIALS.
- ALL REQUIRED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED, INSTALLED, AND MAINTAINED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- CONTRACTOR TO ENSURE ALL EXISTING TOPS OF MANHOLES AND VALVE BOXES ARE RAISED OR LOWERED TO BE FLUSH WITH FINISHED GRADES, UNLESS NOTED OTHERWISE.
- ALL NEW PAVEMENT AND SIDEWALKS SHALL BE CONSTRUCTED FLUSH WITH EXISTING, WITH NO PONDING OF STORMWATER, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL GRADE ALL DISTURBED AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND TO DRAINAGE STRUCTURES OR DITCHES. NATURAL FLOW OF SURROUNDING WATERS SHALL NOT BE DISTURBED DURING CONSTRUCTION, UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, COORDINATES, AND DIMENSIONAL INFORMATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BRING ALL DISCREPANCIES TO THE ATTENTION OF THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL NEW UTILITIES WITH THOSE THAT ARE EXISTING. IF EXISTING UTILITIES ARE IN CONFLICT WITH NEW UTILITIES, THE SITE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL TOPSOIL AND EXCAVATED MATERIAL SHALL BE STOCKPILED IN AN APPROVED AREA DURING CONSTRUCTION. EXCESS OR UNUSABLE TOPSOIL SHALL BE DISPOSED OF OFF-SITE IN A MANNER THAT IS LEGAL AND CONSISTENT WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE LOCATION OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING UNDERGROUND UTILITIES, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL. ANY FEES ASSOCIATED WITH UTILITY RELOCATIONS SHALL BE BORNE BY THE CONTRACTOR IN ACCORDANCE WITH RESPECTIVE UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL COORDINATE DISCONNECTION OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY PROVIDER.
- UTILITIES INDICATED SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE SPECIFICATIONS. GRADING SHALL BE AS INDICATED, AND SHALL PRODUCE A FINISHED SURFACE WITH NO PONDING OF WATER, READY TO RECEIVE PLANTING MATERIALS OR GRASSING.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND IN HAND BEFORE BEGINNING ANY CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. ANY PENALTIES, STOP WORK ORDERS OR ADDITIONAL WORK RESULTING FROM THE CONTRACTOR BEING IN VIOLATION OF THE ABOVE REQUIREMENTS, SHALL BE FULLY BORNE BY THE CONTRACTOR.
- ALL CONTRACTORS/SUBCONTRACTORS THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION, SEDIMENTATION AND POLLUTION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS, AND PERMITS.
- AREAS DISTURBED BY THE CONTRACTOR, WHICH ARE NOT PART OF THIS PROJECT, SHALL BE RETURNED TO ORIGINAL OR BETTER CONDITION PRIOR TO THE COMPLETION OF THE PROJECT AS DETERMINED BY THE DESIGN PROFESSIONAL.
- THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY THE APPLICABLE

REGULATORY AGENCY.

- THE DESIGN ADEQUACY AND SAFETY OF ALL BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- PROTECT ALL EXISTING FEATURES AND EXISTING LANDSCAPING THAT WILL REMAIN. ANY ITEM DAMAGED DURING THE PERFORMANCE OF THE WORK WILL BE RESTORED TO ORIGINAL CONDITION, OR REPLACED WITH NEW AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID OVERLOADING PAVEMENTS WHICH WILL REMAIN.
- EACH SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- SHEET KEYNOTES ON THE PLANS ARE SPECIFIC TO THAT SHEET ONLY. MISSING SEQUENTIAL NUMBERS DO NOT APPLY TO THAT SHEET.

CIVIL DEMOLITION NOTES

- "DEMOLISH" SHALL MEAN TO REMOVE AN OBJECT IN ITS ENTIRETY. RESTORE GRADES AND SURFACE IMPROVEMENTS TO MATCH EXISTING CONDITIONS OR PER REQUIREMENTS OF NEW WORK, WHICHEVER IS APPLICABLE.
- EROSION AND SEDIMENTATION CONTROL MEASURES AND TEMPORARY CONSTRUCTION FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- CONTRACTOR SHALL ESTABLISH SURVEY CONTROL NETWORK OUTSIDE LIMITS OF DEMOLITION PRIOR TO COMMENCEMENT OF WORK. THIS WORK MUST BE PERFORMED BY LICENSED & REGISTERED GEORGIA LAND SURVEYOR.
- ALL DEMOLITION WORK SHALL BE COORDINATED WITH CONTRACTOR'S SCHEDULE, LOGISTICS PLAN (APPROVED BY COR), EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PRIOR TO WORK.

CIVIL SITE NOTES

- CONTRACTOR SHALL FURNISH AND MAINTAIN ANY AND ALL NECESSARY BARRICADES AROUND THE WORK AND PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL PLANS.
- PAVEMENT MARKINGS, INCLUDING ANY STANDARD HANDICAP SYMBOLS, PARKING STRIPING AND TRAFFIC ARROWS, SHALL BE PAINTED ON PAVEMENT AT LOCATIONS SHOWN.
- ALL SIGNAGE SHALL CONFORM TO THE MOST RECENT FDOT AND MUTCD STANDARDS AND SPECIFICATIONS.

GRADING AND DRAINAGE NOTES

- POSITIVE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES TO PREVENT SATURATION OF EXPOSED SOILS IN CASE OF SUDDEN RAINS, AND FOR ALL FINISHED GRADING. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL INSTALL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY SITE CLEARING OR EXCAVATION. CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES DAILY AND DURING PROLONGED PERIODS OF CONTINUOUS RAINFALL EVENTS TO ENSURE THAT ALL CONTROLS ARE FUNCTIONING PROPERLY. DAMAGED CONTROLS SHALL BE REPLACED BY THE END OF THE WORKDAY.
- ALL BACKFILL AND FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER AND WASTE.
- THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL FENCING FROM THE SITE PRIOR TO FINAL PROJECT ACCEPTANCE, AND SHALL SMOOTH THE GROUND SURFACE WHERE THE FENCE WAS REMOVED THEN MULCH OR SEED & STRAW (SEASON APPROPRIATE GRASS) THE RESTORED SURFACE AS SUNLIGHT CONDITIONS WARRANT.
- CONTRACTOR SHALL MARK, PRESERVE AND PROTECT ALL SURVEY BENCHMARKS. IF BENCHMARK MUST BE DEMOLISHED FOR CONSTRUCTION, CONTRACTOR SHALL RELOCATE BENCHMARK AND PROVIDE NEW DATA ON AS-BUILTS.
- ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER (SEE PLANS).
- ALL SPOT ELEVATIONS NOTED ARE FINISH GRADE.

CIVIL ABBREVIATIONS

@	AT	&	AND	Ø	DIAMETER	APPR	APPROVED	BLDG	APPROXIMATELY	BM	BUILDING	BOT	BENCHMARK	CF	BOTTOM	CONC	CENTERLINE	COR	CUBIC FEET	DI	CONCRETE	DIA	CONTRACTING OFFICER'S	DB	REPRESENTATIVE	DIP	DROP INLET	DS	DIAMETER	E	DUCTBANK	EG	DUCTILE IRON PIPE	ELEV	DOWNSPOUT	EP	EASTING	ESMT	EXISTING GRADE	EX	ELEVATION	FFE	EDGE OF PAVEMENT	FG	EASEMENT	FH	EXISTING	FT	FINISHED FLOOR ELEVATION	GAB	FINISHED GRADE	GIS	FIRE HYDRANT	HDPE	FEET	HORZ	GRADED AGGREGATE BASE	HT	GEOGRAPHIC INFORMATION SYSTEM	HW	HIGH DENSITY POLYETHYLENE PIPE	IBW	HORIZONTAL	ID	HEIGHT	IE	HEADWALL	IN	INSIDE BOTTOM OF WALL	INC	INSIDE DIAMETER	INV	INVERT ELEVATION	IPF	INCH	IPS	INCORPORATED	JB	INVERT	LF	IRON PIN FOUND	LOD	IRON PIN SET	LP	JUNCTION BOX	MAX	LINEAR FEET	M.E.	LIMITS OF DISTURBANCE	MECH	LIGHTING PROTECTION	MES	MAXIMUM	MIN	MATCH ELEVATION	MON	MECHANICAL	N	MITERED END SECTION	N/F	MINIMUM	NO	MONUMENT	NTS	NORTHING	OC	NOW OR FORMERLY	OCEW	NUMBER	OD	NOT TO SCALE	OWS	ON CENTER	PIV	ON CENTER EACH WAY	POL	OUTSIDE DIAMETER	PROP	OIL/WATER SEPARATOR	PSF	POST INDICTOR VALVE	PSI	PETROLEUMS, OILS, AND LUBRICANTS	PVC	PROPOSED	QC	POUNDS PER SQUARE FOOT	RCP	POUNDS PER SQUARE INCH	R/W	POLYVINYL CHLORIDE	SD	QUALITY CONTROL	SF	REINFORCED CONCRETE PIPE	SPEC	RIGHT OF WAY	SQ	STORM DRAIN	SS	SQUARE FEET	SSMH	SPECIFICATIONS	STD	SQUARE	TBM	SANITARY SEWER	TYP	SANITARY SEWER MANHOLE	VERT	STANDARD	WM	TEMPORARY BENCHMARK	WV	TYPICAL	WWF	VERTICAL	W	WATER METER	W/C	WATER VALVE	YR	WELDED WIRE FABRIC		WITH		WATER TO CEMENT		YEAR
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CIVIL LEGEND

DESCRIPTION	EXISTING	PROPOSED
BOLLARD	N/A	⊙
FENCE	— X — X —	N/A
FIRE WATER LINE	— -- -- FW —	— F —
SIDEWALK		
SILT FENCE	N/A	— SF —
LIMITS OF DISTURBANCE	N/A	— LOD —
FIRE HYDRANT	⊙ F.H.	N/A
CONCRETE PAVEMENT		
ASPHALT PAVEMENT		
WATER LINE	— W —	— W —
STORM PIPE		
SANITARY PIPE	— -- -- SS —	— SS — SS —
CLEANOUT	N/A	⊙
GRATE INLET		N/A
SIGN		
FIRE DEPARTMENT CONNECTION	⊙ F.D.C.	
WATER METER	⊙ W.M.	
WATER VALVE		
PALM		
UNKNOWN SPECIES		N/A
MANHOLE		N/A
CONTROL POINT		N/A
EXISTING ELEVATION		
UNDERGROUND POWER LINE	— -- -- UE —	
UNDERGROUND COMMUNICATION LINE	— -- -- UT —	
POWER SWITCH	⊕	N/A
POWER METER	⊕	N/A
BACKFLOW PREVENTER		

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Peachtree Corners
Georgia 30092
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DPR SEAL

CLIENT INFORMATION

PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

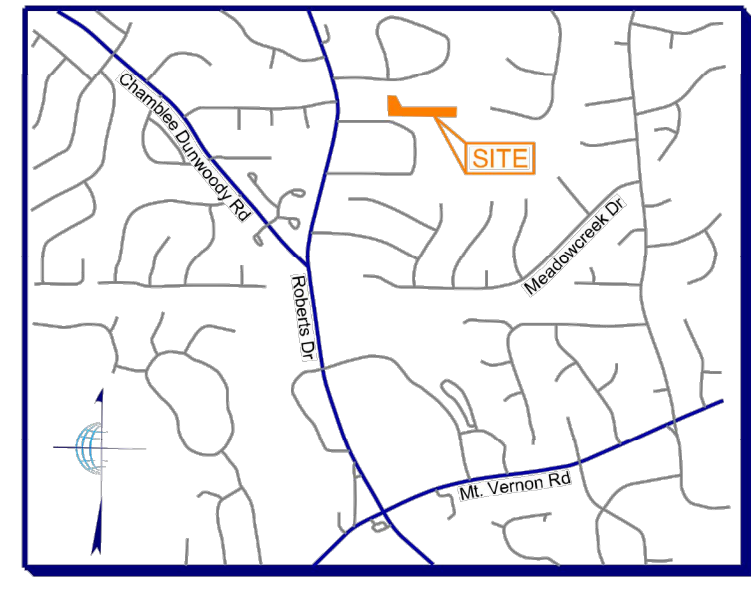
DRAWING ISSUE
04/11/2023
06/02/2023
08/11/2023
ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS
0 1 2

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

GENERAL NOTES ABBREVIATIONS AND LEGENDS

SHEET NUMBER
C-001
ORIGINAL SHEET SIZE: 22" X 34"

**PARTIAL TOPOGRAPHIC SURVEY
FOR
POND & COMPANY
(DUNWOODY NATURE CENTER)
LOCATED IN
LAND LOT 376, 18TH DISTRICT
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA**



LOCATION MAP
NOT TO SCALE
LAT - 33°57'24.69" N
LONG - 84°19'59.89" W

SITE MAP



MISCELLANEOUS NOTES

BOUNDARY LINES SHOWN HEREON ARE SHOWN FOR GRAPHICAL REFERENCE ONLY PER DEKALB COUNTY GIS PARCEL DATA.
EASEMENTS MAY EXIST WITHIN THE SURVEY AREA OR ADJACENT PARCELS WHICH ARE NOT SHOWN HEREON.
UNDERGROUND UTILITIES WERE NOT MARKED FOR THE PURPOSE OF THIS SURVEY. UNDERGROUND UTILITIES SHOWN HEREON WERE LOCATED BASED ON FIELD EVIDENCE OF OLD PAINT MARKINGS.

TITLE NOTES

ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF DEKALB COUNTY, GEORGIA (PANEL NUMBER 13088C0005K), DATED AUGUST 15, 2019; NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY.
SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF WAY OF ROBERTS DRIVE.

SURVEY NOTES

EQUIPMENT USED:
A TRIMBLE "S" SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS.
A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.
CLOSURE STATEMENT:
NO BOUNDARY SURVEY HAS BEEN PERFORMED BY TERRAMARK LAND SURVEYING, INC. AT THIS TIME. BOUNDARY LINES ARE SHOWN FOR GRAPHICAL REFERENCE ONLY PER DEKALB COUNTY GIS.
THE FIELD DATA UPON WHICH THIS SURVEY IS BASED WAS GENERATED USING A GPS CONTROL BASELINE.
THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) NAD83.
ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.
CONTOURS ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 88 DATUM.
FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON FEBRUARY 10, 2023.
DUE TO VARIANCES IN GPS EQUIPMENT, TECHNIQUES, FEDERAL ADJUSTMENTS TO STATE PLANE MODELS AND DAILY CONDITIONS IMPACTING GPS RECEIPTIVITY, GPS SOLUTIONS MAY VARY FROM THOSE PROVIDED ON THIS SURVEY BOTH HORIZONTALLY AND VERTICALLY. ANY AND ALL CONTRACTORS, CONSULTANTS, INDIVIDUALS OR ENTITIES RELYING ON STATE PLANE COORDINATES TO RELATE TO DATA PROVIDED ON THIS SURVEY MUST LOCALIZE TO THE SURVEY CONTROL BENCHMARKS OR PROPERTY MONUMENTATION, ESTABLISHED BY THIS SURVEY IN ORDER TO ENSURE ACCURACY OF DATA. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR ISSUES ENCOUNTERED DUE TO FAILURE TO LOCALIZE DIRECTLY TO THIS SURVEY DATUM.
INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF SAID AUTHORITY.
THIS SURVEY MAY NOT REPRESENT OFFSITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN.
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.
TERRAMARK LAND SURVEYING, INC. WAS UNABLE TO DETERMINE THE EXTENT OF PIPES MARKED AS APPROXIMATE DIRECTION ONLY. AFORESAID PIPE IS DRAWN ON THE SURVEY TO REFLECT THE OBSERVED DIRECTION BASED UPON A VISUAL INSPECTION OF THE STRUCTURE ONLY AND IS SHOWN FOR INFORMATIONAL PURPOSES.
STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE, TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON.
PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION OR POLLUTION.
THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.
TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.



BENCHMARK 1 DETAIL



BENCHMARK 2 DETAIL

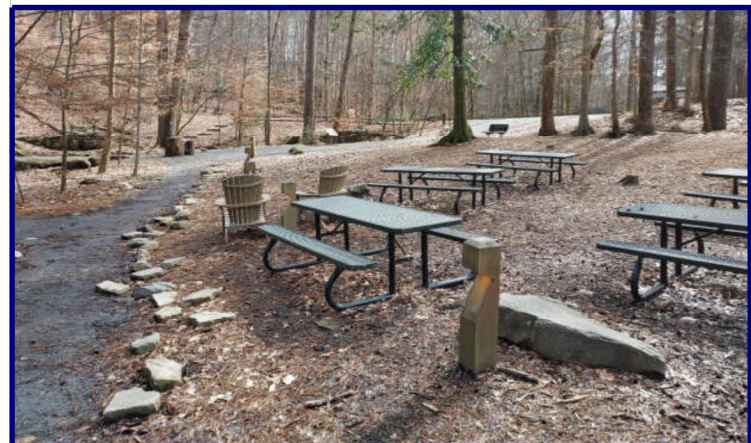


PHOTO #1

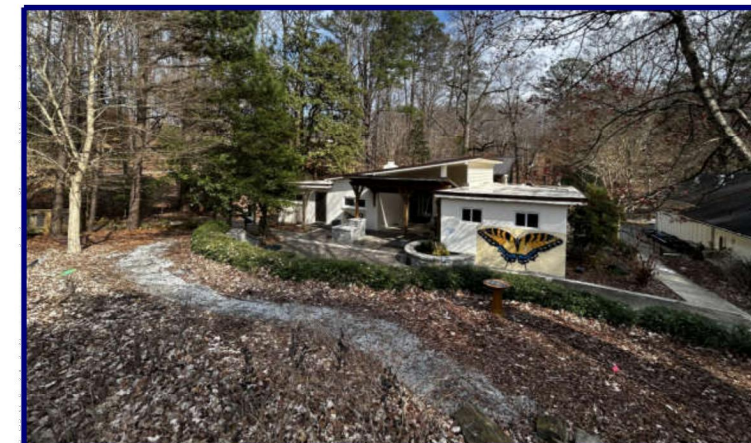


PHOTO #2

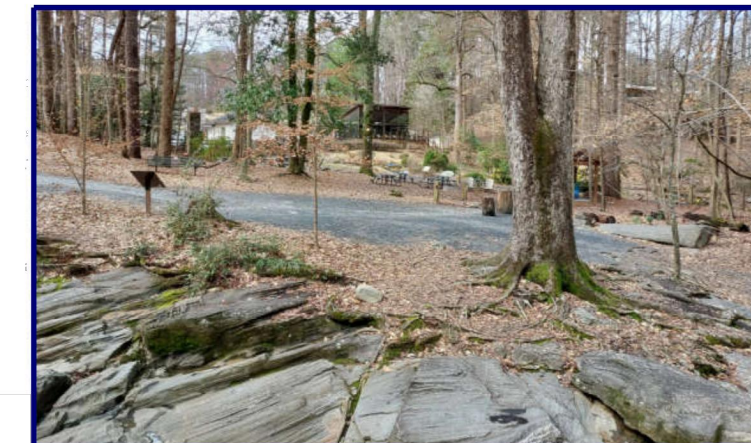


PHOTO #3



PHOTO #4

→ PICTURE LOCATION AND DIRECTION

SPECIAL NOTES

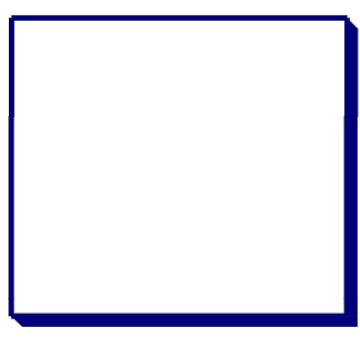
- CERTIFICATION AND DECLARATION IS MADE TO THE ENTITIES AS LISTED IN THE TITLE BLOCK AND/OR CERTIFICATIONS. THE CERTIFICATIONS AND DECLARATIONS ON THIS PLAT ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- PURSUANT TO RULE 180-6-09 OF THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS, THE TERM "CERTIFICATION" RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
- THIS SURVEY IS NOT PREPARED IN ACCORDANCE TO HB 76 AND SHALL NOT BE RECORDED WITHIN THE APPLICABLE LAND RECORDS.

SURVEYOR'S CERTIFICATE

THIS SURVEY WAS PREPARED UNDER MY DIRECT SUPERVISION. THE INFORMATION SHOWN HEREON IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



PAUL B. CANNON, RLS
REGISTERED NUMBER: 2928

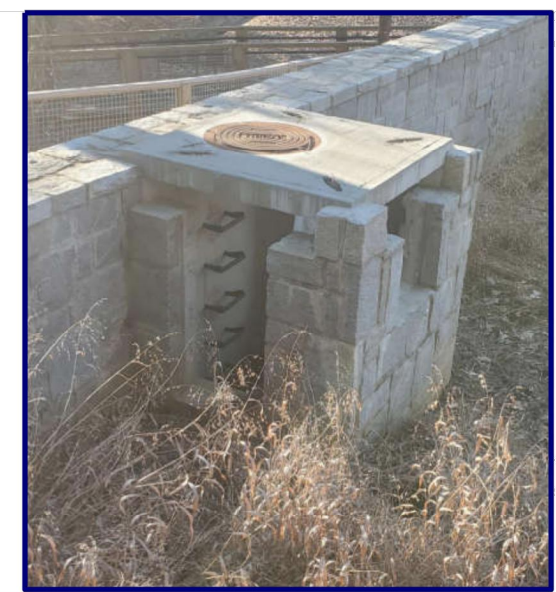
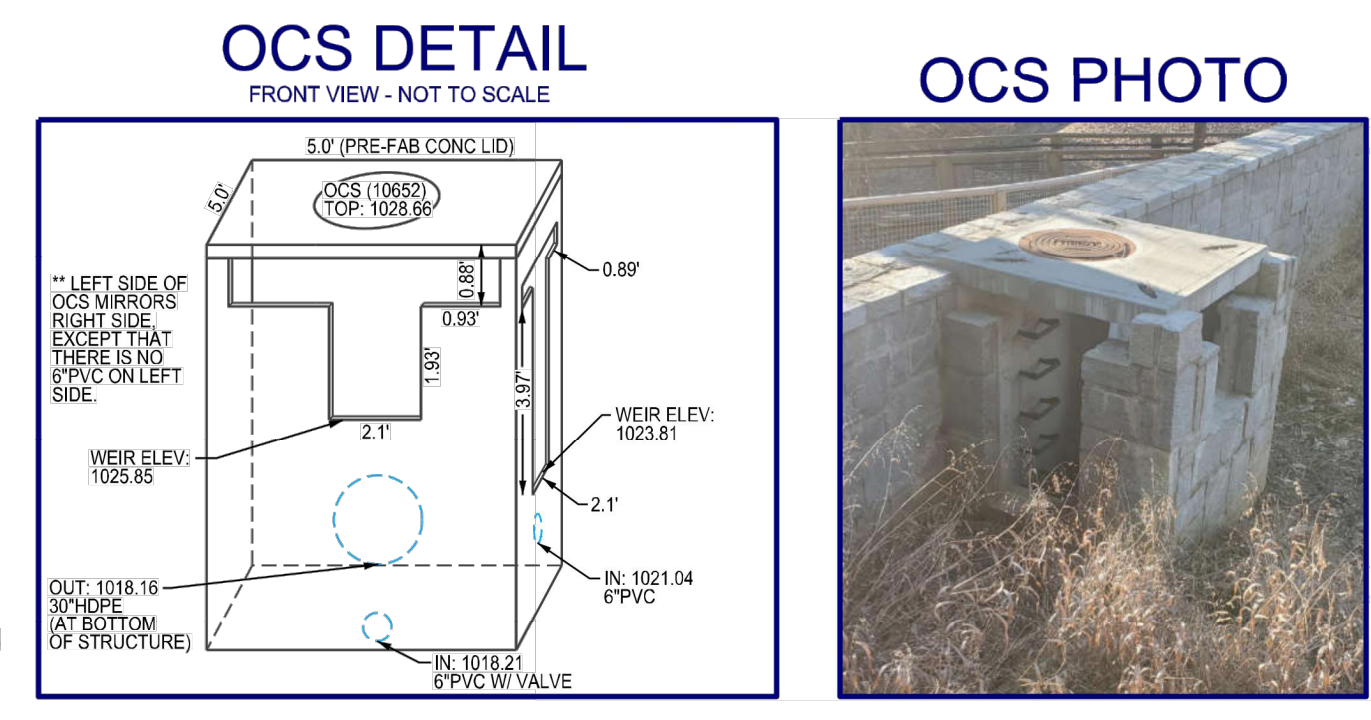
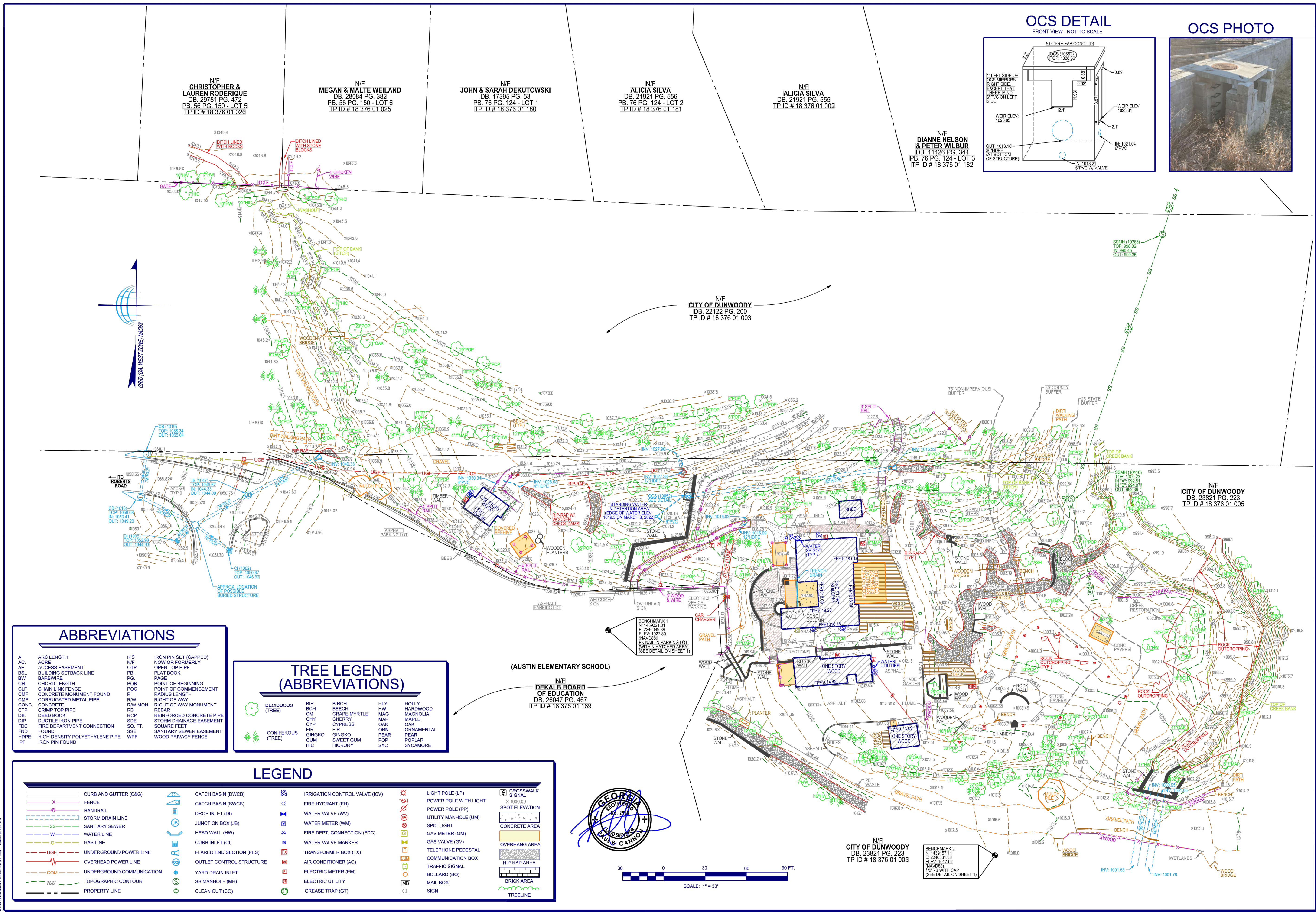


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C. A. # LSF000810

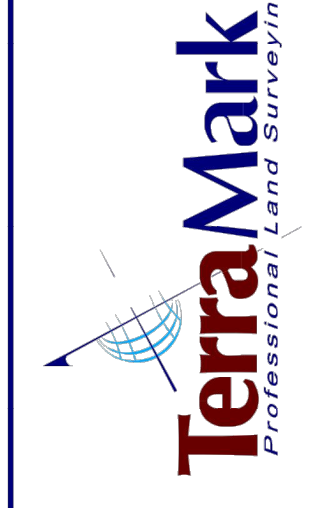
Project No.	Survey Code	JKMA	AT	FBC	Date	Scale	North	Path
2023-039					02/24/2023	1"=30'		SS-SURVEY/2023/02/24/2023/2023-039-DSM/TOPD-237250V

**PARTIAL TOPOGRAPHIC SURVEY
FOR
POND & COMPANY
(DUNWOODY NATURE CENTER)
LOCATED IN
LAND LOT 376, 18TH DISTRICT
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA**

SHEET NO.
V101
DRAWING# TM 22-038



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 1396 Balls Ferry Road
 Marietta, Georgia 30067
 Phone: (770) 421-0527
 Fax: No. (770) 421-0552
 www.TerraMark.com
 C. O. A. # ISF000810



Project No.	Survey Cmnr.	Drawn By:	Agreed By:	Date:	Scale:
2023-038	JKM	AT	ABC	02/24/2023	1"=30'

PARTIAL TOPOGRAPHIC SURVEY FOR POND & COMPANY (DUNWOODY NATURE CENTER) LOCATED IN LAND LOT 376, 18TH DISTRICT CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET NO. **V102**
 DRAWING# TM 22-038

ABBREVIATIONS

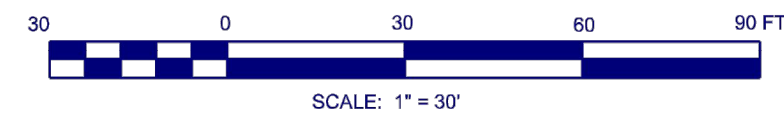
A	ARC LENGTH	IPS	IRON PIN SET (CAPPED)
AC	ACRE	N/F	NOW OR FORMERLY
AE	ACCESS EASEMENT	OTP	OPEN TOP PIPE
BSL	BUILDING SETBACK LINE	PLB	PLAT BOOK
BW	BARB WIRE	PG	PAGE
CH	CHORD LENGTH	POB	POINT OF BEGINNING
CLF	CHAIN LINK FENCE	POC	POINT OF COMMENCEMENT
CMF	CONCRETE MONUMENT FOUND	R	RADIUS LENGTH
CMP	CORRUGATED METAL PIPE	RW	RIGHT OF WAY
CONC	CONCRETE	R/M	RIGHT OF WAY MONUMENT
CTP	CRIMP TOP PIPE	REBAR	REBAR
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	SDE	STORM DRAINAGE EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	SO. FT.	SQUARE FEET
FND	FOUND	SSE	SANITARY SEWER EASEMENT
HDPE	HIGH DENSITY POLYETHYLENE PIPE	WPF	WOOD PRIVACY FENCE
HPF	IRON PIN FOUND		

TREE LEGEND (ABBREVIATIONS)

DECIDUOUS (TREE)	BIR	BIRCH	HLY	HOLLY
CONIFEROUS (TREE)	BCH	BEECH	HW	HARDWOOD
	CM	CRAPE MYRTLE	MAG	MAGNOLIA
	CHY	CHERRY	MAP	MAPLE
	CYP	CYPRESS	OAK	OAK
	FIR	FIR	ORN	ORNAMENTAL
	GUM	GINKGO	PEAR	PEAR
	GUM	GUM	POP	POPLAR
	HIC	HICKORY	SYC	SYCAMORE

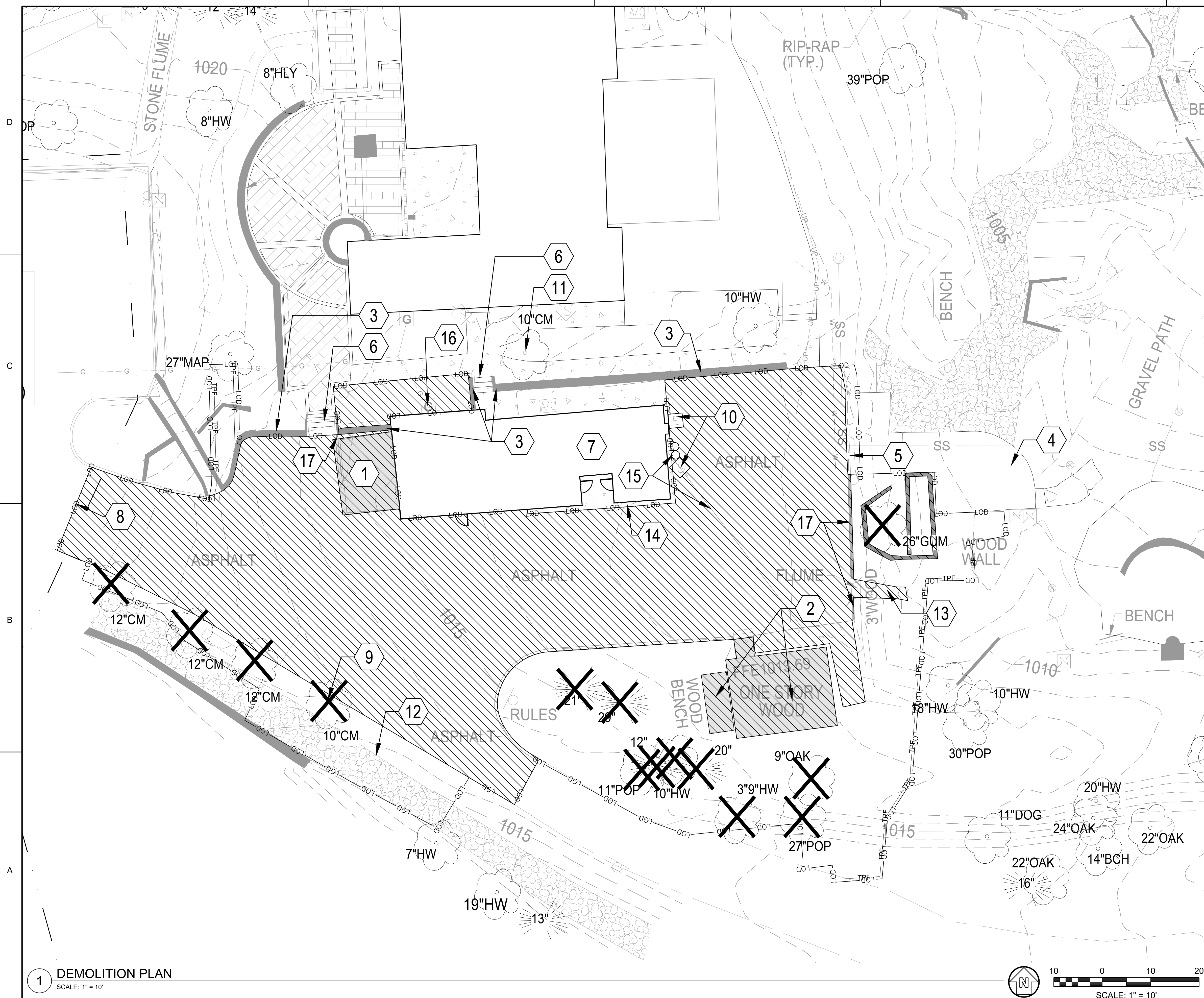
LEGEND

CURB AND GUTTER (C&G)	CATCH BASIN (DWCB)	IRRIGATION CONTROL VALVE (ICV)	LIGHT POLE (LP)	CROSSWALK SIGNAL
FENCE	CATCH BASIN (SWCB)	FIRE HYDRANT (FH)	POWER POLE WITH LIGHT	X 1000.00
HANDRAIL	DROP INLET (DI)	WATER VALVE (WV)	POWER POLE (PP)	SPOT ELEVATION
STORM DRAIN LINE	JUNCTION BOX (JB)	WATER METER (WM)	UTILITY MANHOLE (UM)	CONCRETE AREA
SANITARY SEWER	HEAD WALL (HW)	FIRE DEPT. CONNECTION (FDC)	SPOTLIGHT	OVERHANG AREA
WATER LINE	CURB INLET (CI)	WATER VALVE MARKER	GAS METER (GM)	CONCRETE AREA
GAS LINE	FLARED END SECTION (FES)	TRANSFORMER BOX (TX)	GAS VALVE (GV)	BRICK AREA
UNDERGROUND POWER LINE	OUTLET CONTROL STRUCTURE	AIR CONDITIONER (AC)	TELEPHONE PEDESTAL	TREELINE
OVERHEAD POWER LINE	YARD DRAIN INLET	ELECTRIC METER (EM)	COMMUNICATION BOX	
UNDERGROUND COMMUNICATION	MAIL MANHOLE (MH)	ELECTRIC UTILITY	TRAFFIC SIGNAL	
TOPOGRAPHIC CONTOUR	CLEAN OUT (CO)	GREASE TRAP (GT)	BOLLARD (BO)	
PROPERTY LINE			MAIL BOX	
			SIGN	

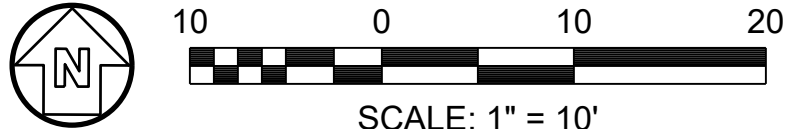


JOB NUMBER: 2022-038 PLOT SIZE: 24 X 36

FILE PATH: X:\FY23\1230006\04\CAD_BIM\04_02\CAD\CD101 PLOTTED BY: URUETA, JUAN DATE: 10/2/17



1 DEMOLITION PLAN
SCALE: 1" = 10'



GENERAL SHEET NOTES

- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- REFER TO SHEETS C-001 FOR LEGENDS, ABBREVIATIONS, AND NOTES.
- SEE SHEET LD101 FOR TREE REMOVAL AND LP101 FOR PROPOSED LANDSCAPING.
- REFER TO CG101 FOR GRADING AND DRAINAGE.
- CONTRACTOR SHALL HAVE ALL UTILITIES FIELD LOCATED PRIOR TO START OF CONSTRUCTION.
- PROTECT ALL UNDERGROUND UTILITIES DURING ALL PHASES OF CONSTRUCTION.
- ALL DEMOLITION WORK ON THIS SHEET MUST BE COMPLETED PRIOR TO CONSTRUCTION.
- INITIAL PHASE BMPs MUST BE PLACE BEFORE ANY LAND DISTURBING DEMOLITION CAN TAKE PLACE.

SHEET KEYNOTES

- DEMOLISH TOOL CRIB IN ENTIRETY
- DEMOLISH WOOD STRUCTURES IN ENTIRETY
- STONE WALLS TO BE PROTECTED THROUGHOUT CONSTRUCTION
- DECK TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- EXISTING SEGMENT OF CURB TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- STAIRS TO BE TO BE PROTECTED THROUGHOUT CONSTRUCTION
- RESTROOM BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION
- CONTRACTOR TO CLEANLY SAWCUT EXISTING ASPHALT
- TREES TO BE REMOVED. SEE LD101
- UTILITIES TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- TREE SAVED, TYP.
- LIMITS OF DISTURBANCE, TYP.
- DEMOLISH FLUME
- EXISTING CONCRETE STRIP TO BE PROTECTED THROUGHOUT CONSTRUCTION
- OVERHEAD ELECTRICAL LINE TO BE RELOCATED UNDERGROUND
- EXISTING NATURAL GAS METER TO BE PROTECTED THROUGHOUT CONSTRUCTION
- CLEANLY SAWCUT AND DEMOLISH CONCRETE CURB

LEGEND

- DEMOLISH ALL PAVING, CURBS, WALLS, AND BUILDINGS WITHIN HATCH AREA.
- EXISTING TREE SAVED, TYP.
- EXISTING TREES TO BE REMOVED, TYP. SEE LD101.
- LOD LIMITS OF DISTURBANCE, TYP.
- EXISTING TOPOGRAPHY, TYP.
- TPF TREE PROTECTION FENCING, SEE DETAIL 3/L-501

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CLIENT INFORMATION

PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE
04/11/2023
06/02/2023
08/11/2023

ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS
0 1 2

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE
DEMOLITION PLAN

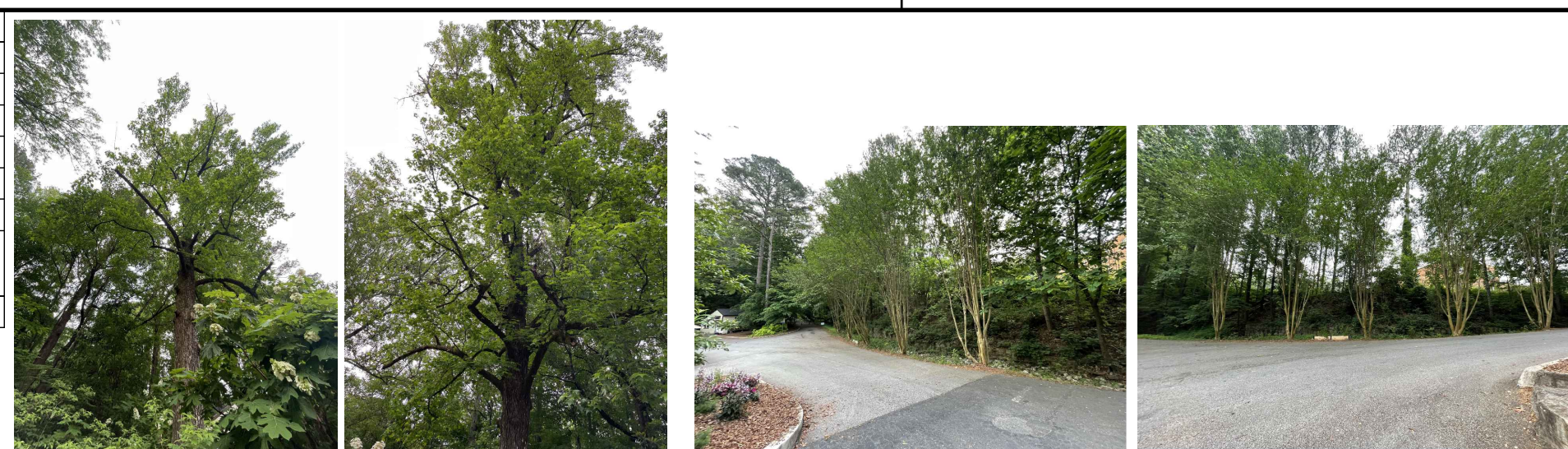
SHEET NUMBER
CD101

ORIGINAL SHEET SIZE:
22" X 34"

ISSUED FOR PERMIT

DUNWOODY NATURE CENTER TREE INVENTORY					
*SPECIMEN TREE, **SPECIAL TREE					
NOTE: ONLY TREES POTENTIALLY IMPACTED BY THE LOD REFLECTED IN THE TREE LIST.					
TREE SPECIES	DBH	UNITS	STATUS	TOTAL UNITS REMOVED (X 1.5 FOR SPECIMEN UNITS)	TOTAL UNITS SAVED (X 1.5 FOR SPECIMEN UNITS)
MAPLE*	27	4	6% IMPACTED, PREVIOUSLY IMPACTED - SAVED		6
CRAPE MYRTLE	10	0.6	SAVED		0.9
HARDWOOD**	10	0.6	SAVED		0.6
SWEET GUM*	26	3.7	DDH - SEE PHOTOS		
POPLAR*	30	4.9	18% IMPACTED - PREVIOUSLY IMPACTED - SAVED		7.35
HARDWOOD**	18	1.8	25% IMPACTED - PREVIOUSLY IMPACTED - SAVED		1.8
HARDWOOD**	10	0.6	SAVED		0.6
CRAPE MYRTLE	12	0.8	DDH - SEE PHOTOS		
CRAPE MYRTLE	12	0.8	DDH - SEE PHOTOS		
CRAPE MYRTLE	12	0.8	DDH - SEE PHOTOS		
CRAPE MYRTLE	10	0.6	DDH - SEE PHOTOS		
PINE**	21	2.4	REMOVED	21	
PINE**	29	2.4	REMOVED	2.4	
POPLAR	11	0.7	REMOVED	0.7	
PINE**	12	0.8	REMOVED	0.8	
HARDWOOD	10	0.6	REMOVED	0.6	
PINE**	20	2.2	REMOVED	2.2	
HARDWOOD	9	0.5	REMOVED	0.5	
OAK	9	0.5	REMOVED	0.5	
POPLAR*	27	4	REMOVED	4	
HARDWOOD	7	0.3	SAVED		0.3
HARDWOOD	19	2	SAVED		2
PINE	13	0.9	SAVED		0.9
DODWOOD*	11	0.7	SAVED		1.05
OAK**	22	2.6	SAVED		2.6
PINE	16	1.4	SAVED		1.4
				TOTAL UNITS REMOVED: 32.7	TOTAL UNITS SAVED (RTF): 25.5

DUNWOODY NATURE CENTER TREE DENSITY CALCULATIONS	
0.26 AC X 20 = 5.2 TDF	
25.5 RTF - 5.2 TDF = 20.3 RRD	
TOTAL DENSITY FACTOR MET	
TOTAL SPECIMEN UNITS SAVED: 14.4	
TOTAL SPECIMEN UNITS REMOVED: 4	
SPECIMEN TREE REPLACEMENT DENSITY: 4 X 1.5 = 6 UNITS	
6.5 REPLACEMENT DENSITY UNITS PROPOSED - SPECIMEN REPLACEMENT MET	
SEE LP-101 FOR SPECIMEN REPLACEMENT TREE LOCATIONS	



26" SWEET GUM



CRAPE MYRTLES: 10", 12", 12", 12"

GENERAL SHEET NOTES

- REFER TO CS101 FOR MORE INFORMATION.
- ONLY TREES POTENTIALLY IMPACTED BY LOD NOTED ON PLAN.
- REFER TO SHEET LP101 FOR PLANTING PLAN.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

TREE PROTECTION NOTES

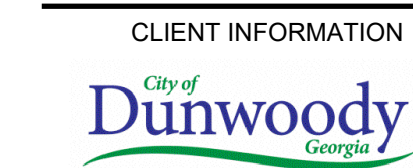
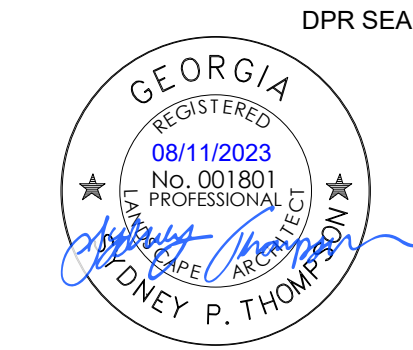
TOTAL ACRES DISTURBED: 0.27

- ANY TREE, DESIGNATED FOR PRESERVATION, WHICH IS NEGLIGENTLY DAMAGED DURING CONSTRUCTION OR REMOVED WITHOUT THE APPROPRIATE REVIEW AND APPROVAL, AS DETERMINED BY THE CITY ARBORIST, MUST BE TREATED IN ACCORDANCE WITH THE INTERNATIONAL SOCIETY OF ARBORCULTURE. IF FATALY DAMAGED, THE TREE(S) MUST BE REPLACED WITH FOUR-INCH CALIPER TREES EQUAL TO THE UNIT VALUE OF THE TREE REMOVED. ANY SPECIMEN TREE DAMAGED AS DESCRIBED ABOVE MUST BE REPLACED WITH TREES EQUAL TO THREE TIMES THE UNIT VALUE OF THE TREE REMOVED.
- ALL TREE PROTECTION ZONES MUST BE MULCHED WITH AT LEAST FOUR INCHES AND NOT MORE THAN EIGHT INCHES OF ORGANIC MULCH, SUCH AS PINE STRAW, WOOD CHIPS, TREE LEAVES, OR COMPOST.
- CONSTRUCTION ACTIVITY IS PROHIBITED INSIDE THE TREE SAVE AREAS, INCLUDING BUT NOT LIMITED TO, GRADING, PAVING, AND CONSTRUCTION OF BUILDINGS AND OTHER STRUCTURES. THE SITE MUST BE DESIGNED AND MAINTAINED IN A MANNER TO ENSURE PROPER DRAINAGE IN TREE SAVE AREAS DURING AND AFTER CONSTRUCTION.



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PROJECT NAME
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5321 ROBERTS DR,
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30338

DRAWING ISSUE
04/11/2023
06/02/2023
08/11/2023

ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS
0 1 2

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT #: 1230006

SHEET TITLE
TREE PROTECTION AND REMOVAL

SHEET NUMBER
LD101

ORIGINAL SHEET SIZE:
22" X 34"

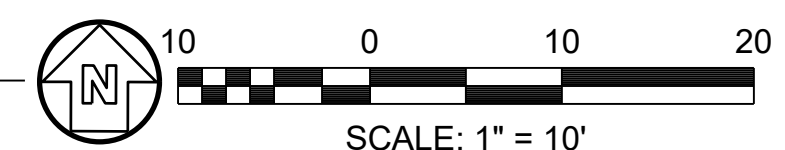
SHEET LEGEND

- EXISTING TREE SAVED, TYP.
- EXISTING TREES TO BE REMOVED, TYP. SEE LD101.
- LOD - LIMITS OF DISTURBANCE, TYP.
- EXISTING TOPOGRAPHY, TYP.
- TPF - TREE PROTECTION FENCING, SEE DETAIL 3/L-501
- CRITICAL ROOT ZONE, TYP.



1 TREE PROTECTION AND REMOVAL PLAN

SCALE: 1" = 10'



FILE PATH: X:\FY23\1230006\04_CAD_BIM\04_02_CAD\LD101 PLOTTED BY: URUETA, JUAN DATE: 10/21/23

GENERAL SHEET NOTES

- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- REFER TO SHEETS C-001 FOR LEGENDS, ABBREVIATIONS, AND NOTES.
- SEE SHEET LD101 FOR TREE REMOVAL AND LP101 FOR PROPOSED LANDSCAPING.
- REFER TO CG101 FOR GRADING AND DRAINAGE.

SHEET KEYNOTES

- ADA ACCESSIBLE ROUTE
- PEDESTRIAN CONCRETE - SEE DETAIL 1/C-501
- EXISTING BUILDING TO REMAIN
- ART FEATURE/MURAL WALL BY OWNER
- LANDSCAPE BOULDERS - SEE DETAIL 4/C-501
NOTE: BOULDERS AT ENTRY FEATURE TO BE GEORGIA GRANITE
- FLUSH GRANITE BAND, TYP. - SEE DETAIL 3/C-501
- PAVEMENT AND FLUSH GRANITE BAND ADJACENT TO BUILDING FOOTPRINT TO BE INSTALLED AFTER BUILDING FOUNDATIONS ARE POURED AND SET. PRIOR TO CONSTRUCTION OF FOOTINGS, CONTRACTOR TO LEAVE 3' FROM BUILDING EDGE OF UNFINISHED GRADE TO ALLOW FOR INSTALLATION OF FOOTINGS.
- THOMAS STEELE MIDVALE BENCH, TYP. - SEE DETAIL 9/C-501
- REMOVABLE BOLLARD - SEE DETAIL 6/C-501
- PLANTED ENTRY FEATURE. SEE LP101
- LIMITS OF DISTURBANCE, TYP.
- EXISTING TREE TO REMAIN, TYP.
- VEHICULAR RATED CONCRETE, TYP. - SEE DETAILS 5/C-501
- PEDESTRIAN CONCRETE WITH 3' X 3' DECORATIVE SCORING - SEE DETAIL 1/C-501
- LANDSCAPE ISLAND, TYP. SEE LP101
- TREE PROTECTION FENCING, TYP. - SEE DETAIL 3/L-501
- CONCRETE HEADER CURB, TYP. - SEE DETAIL 3/C-502
- ROLLOVER CURB. SEE DETAIL 4/C-502.

ADD ALTERNATE CONTRACT ITEMS FOR LEARNING LAB:

- FUTURE PAVILION - REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS (TO BE SUBMITTED UNDER SEPARATE PERMIT) FOR COLUMN LOCATIONS AND FOOTING DETAILS.
- HAUSER APEX PICNIC TABLE - SEE DETAIL 8/C-501
- EXPANDED DECK - SEE DETAIL 1/C-502
- FUTURE CLASSROOM BUILDING - REFER TO ARCHITECTURAL DRAWINGS TO BE SUBMITTED UNDER SEPARATE PERMIT. **INSTALLATION OF BUILDING FOOTPRINTS AND SUPPORTS TO BE COORDINATED WITH THE DESIGN PROFESSIONAL TO AVOID DEMOLITION OF PROPOSED PAVEMENT.**
- INFO KIOSK DESIGN BY ROMTEC - MODEL NUMBER 3101, METAL SHED PITCHED ROOF, BLACK. SEE <https://romtec.com/wood-kiosks/> FOR MORE INFORMATION. FINAL PLANS TO BE SUBMITTED TO DESIGN PROFESSIONAL FOR APPROVAL.
- HAUSER APEX PICNIC TABLE ADA - SEE DETAIL 7/C-501

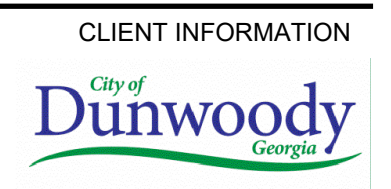
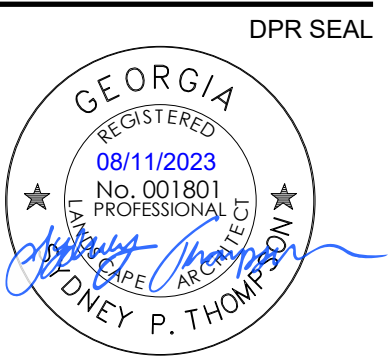
LEGEND

- EXISTING TREES TO REMAIN, TYP.
- LIMITS OF DISTURBANCE, TYP.
- EXISTING TOPOGRAPHY, TYP.
- PROPOSED TOPOGRAPHY, TYP.
- TREE PROTECTION FENCING, SEE DETAIL 3/L-501



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PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE	
ISSUED FOR PERMIT	04/11/2023
PERMIT COMMENTS REVISIONS	06/02/2023
CITY DESIGN REVISIONS	08/11/2023

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE

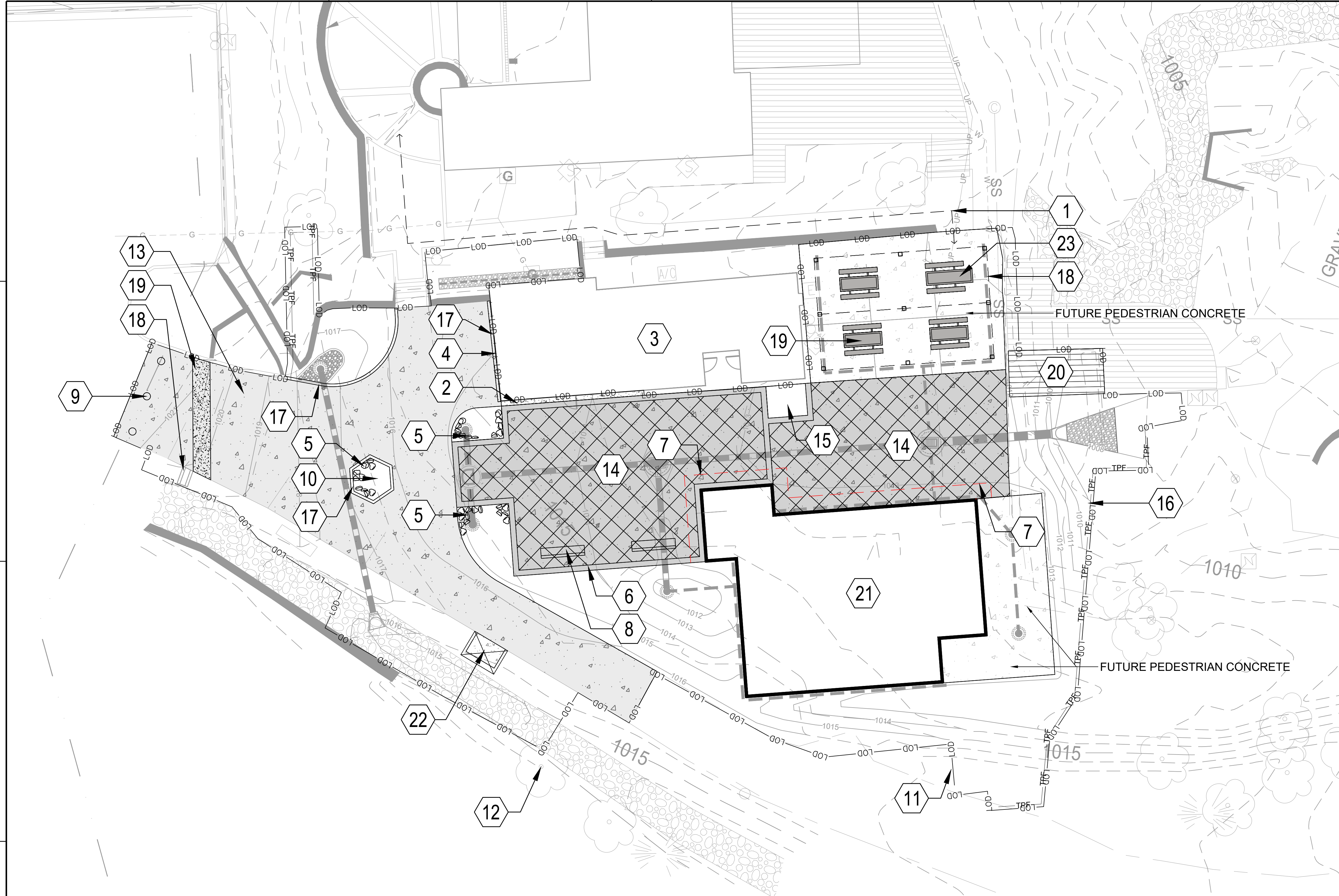
SITE PLAN

SHEET NUMBER

CS101

ORIGINAL SHEET SIZE: 22" X 34"

ISSUED FOR PERMIT



1 SITE PLAN

SCALE: 1" = 10'

HATCH LEGEND

- PEDESTRIAN CONCRETE WITH 3' X 3' SCORING PATTERN ON A 45° ANGLE (ORIENTATION AS SHOWN ON PLANS); 4" GREY EXPOSED AGGREGATE CONCRETE SLAB, BROOM SWEEP FINISH, DIAMOND DOWEL EXPANSION JOINTS (NO ZIP STRIPS), 4" COMPACTED AGGREGATE BASE - SEE DETAIL 1/C-501
- FUTURE PEDESTRIAN CONCRETE: 4" GREY EXPOSED AGGREGATE CONCRETE SLAB, TOP CAST #03 ACID WASH FINISH, 100% MANUFACTURED SAND, #89 GRANITE AGGREGATE, 3500 PSI, DIAMOND DOWEL EXPANSION JOINTS (NO ZIP STRIPS), 4" COMPACTED SUBGRADE BASE - SEE DETAIL 1/C-501
- VEHICULAR RATED CONCRETE: 6" GREY CONCRETE SLAB, LIGHT BROOM FINISH, 4000 PSI, WWM REINFORCEMENT, DIAMOND DOWEL EXPANSION JOINTS (NO ZIP STRIPS), 24" COMPACTED AGGREGATE BASE - SEE DETAIL 5/C-501



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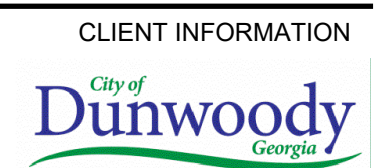
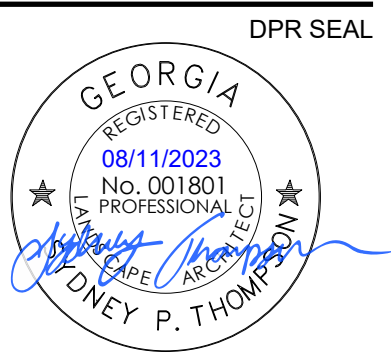
GENERAL SHEET NOTES

1. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
2. REFER TO SHEET CS101 FOR MORE INFORMATION.
3. REFER TO SHEETS C-001 FOR LEGENDS, ABBREVIATIONS, AND NOTES.
4. ALL BUILDING DIMENSIONS SHALL BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL PLANS.
5. SEE SHEET LD101 FOR TREE REMOVAL AND LP101 FOR PROPOSED LANDSCAPING.
6. REFER TO CG101 FOR GRADING AND DRAINAGE.



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PROJECT NAME
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5321 ROBERTS DR,
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30338

DRAWING ISSUE
04/11/2023
06/02/2023
08/11/2023

ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS

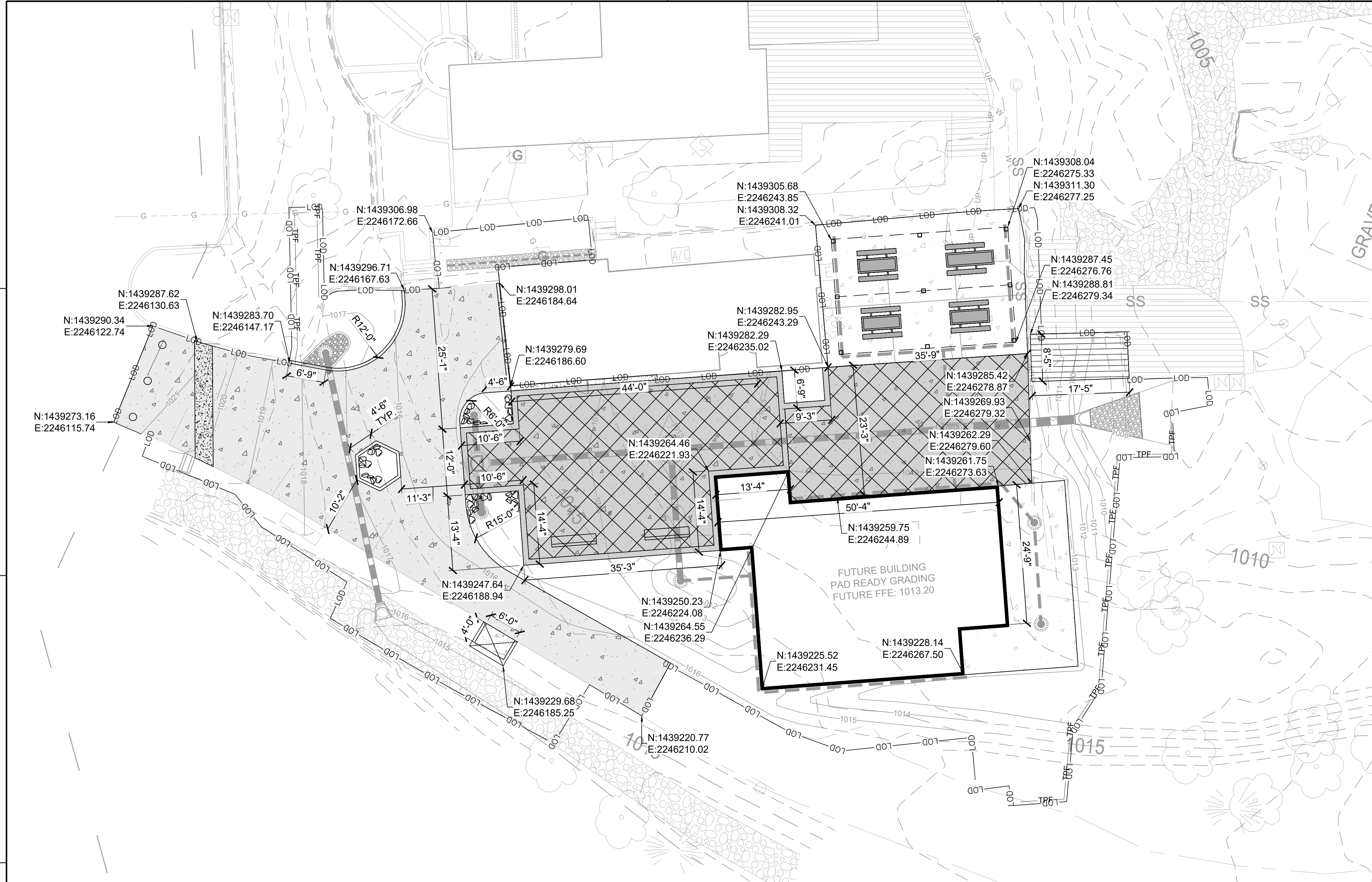
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DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE
LAYOUT PLAN

SHEET NUMBER
CS102

ORIGINAL SHEET SIZE:
22" X 34"

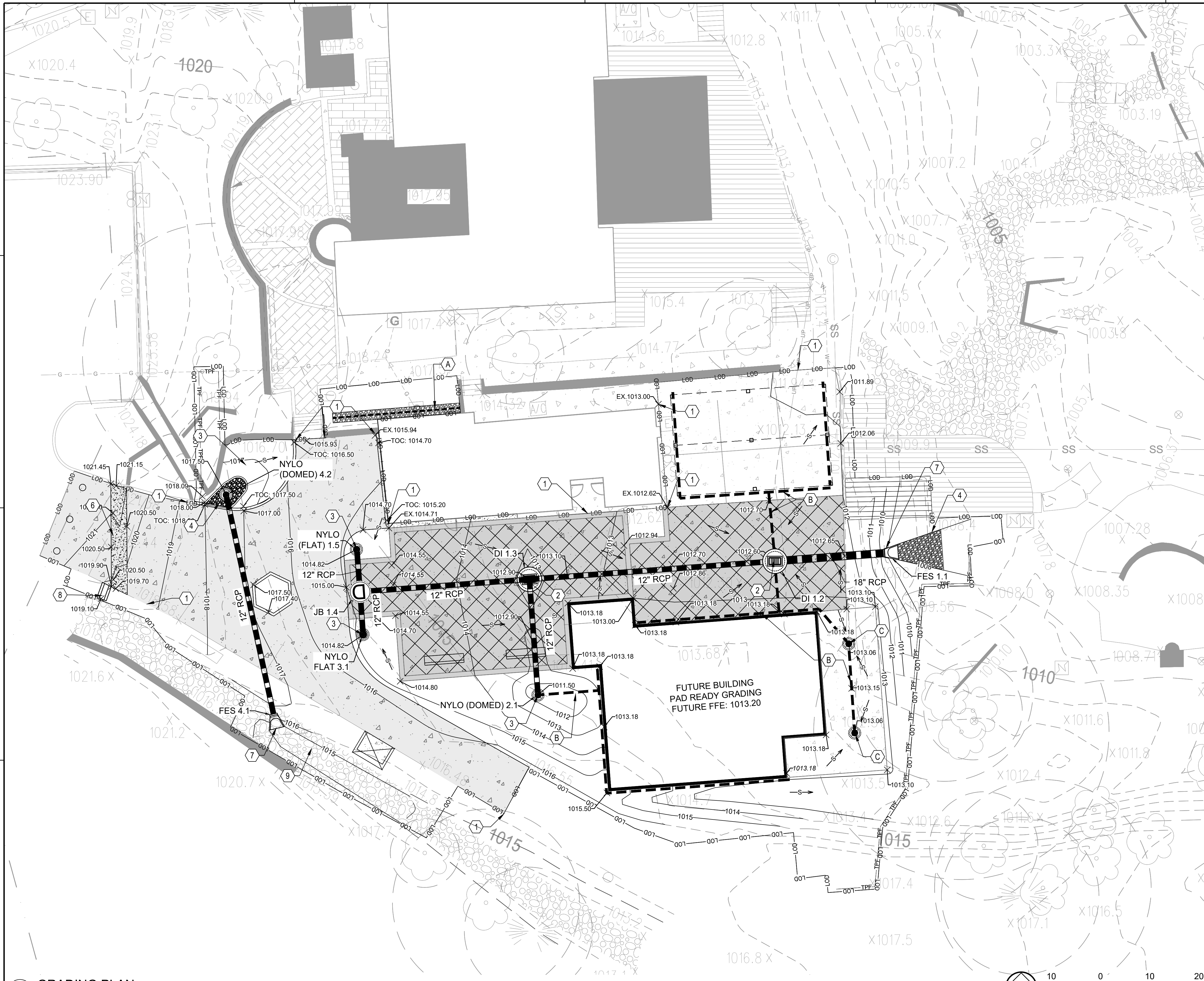


1 LAYOUT PLAN
SCALE: 1" = 10'

LEGEND

- EXISTING TREES TO REMAIN, TYP.
- LOD — LIMITS OF DISTURBANCE, TYP.
- EXISTING TOPOGRAPHY, TYP.
- PROPOSED TOPOGRAPHY, TYP.
- TPF — TREE PROTECTION FENCING, SEE DETAIL 3/L-501

FILE PATH: X:\FY23\1230006\04_CAD_BIM\04_02_CAD\CS101 PLOTTED BY: URUETA, JUAN DATE: 10/21/23



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- REFER TO SHEETS C-001 FOR LEGENDS, ABBREVIATIONS, AND NOTES.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL PLANS.
- SEE SHEET LD101 FOR TREE REMOVAL AND LP101 FOR PROPOSED LANDSCAPING.

SHEET KEYNOTES

- FINISHED GRADE TO MATCH EXISTING GRADE.
- PRE-CAST WATER QUALITY MH WITH SAFL Baffle WITH EAST JORDAN 1310M1 ADA STYLE GRATE OR APPROVED SIMILAR. DETAIL 1/CG201
- 24" NYLOPLAST STORM DRAINAGE YARD INLET (YI) WITH 24" DOMED GRATE PER MANUFACTURES STANDARDS. PROMOTE DRAINAGE TO INLET. DETAIL 1 & 3/C-503.
- RIVER ROCK OUTLET PROTECTION TO MATCH EXISTING ON SITE.
- PROPOSED JUNCTION BOX. DETAIL C-505.
- PROPOSED ROLLEROVER CURB TO DIVERT UPSTREAM FLOW INTO EXISTING CHANNEL. DETAIL 4/C-502.
- CONCRETE FLARED END SECTION-DETAIL 1/C-504.
- CONCRETE FLUME. DETAIL 5/C-502.
- EXCAVATE EXISTING CHANNEL AS NECESSARY AND REUSE EXISTING STONE. SEE DETAIL 3/CG301 FOR CHANNEL TYPICAL SECTION AND INFORMATION.

ALTERNATIVE CONTRACT ITEMS FOR LEARNING LAB:

- A 4" PERFORATED PVC SUB DRAIN ENCASED IN GRAVEL. PIPE TO DIRECT DRAINAGE TO EXISITING RETAINING WALL WEEP HOLE DETAIL 2/C-503.
- B 6" HDPE STORM PIPE FOR FUTURE ROOF DRAINAGE CONNECTION AND DRAIN INLETS. PIPE TO HAVE MINIMUM 12" OF COVER.
- C NYLO PLAST DRAINAGE YARD INLET.

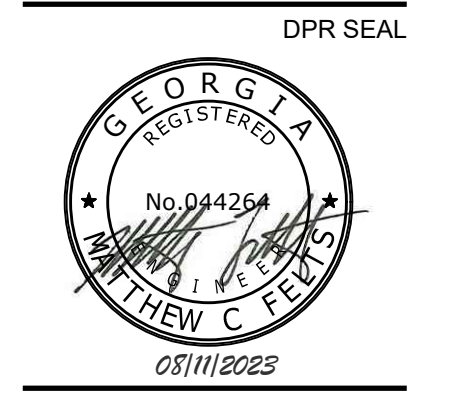
LEGEND

— LOD — LOD — LIMITS OF DISTURBANCE



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5321 ROBERTS DR,
DUNWOODY, GA
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DRAWING ISSUE

04/11/2023	ISSUED FOR PERMIT
06/02/2023	PERMIT COMMENTS REVISIONS
08/11/2023	CITY DESIGN REVISIONS

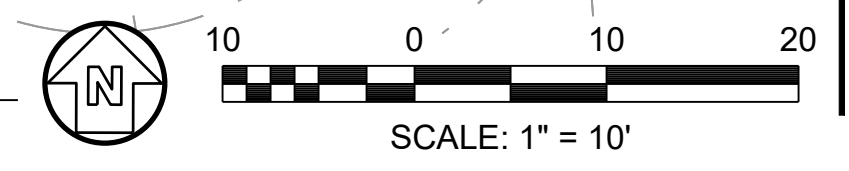
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DRAWN BY:	AB/JU
CHECKED BY:	DM
SUBMITTED BY:	MF
DATE:	08/11/2023
PROJECT #	1230006

SHEET TITLE
GRADING AND DRAINAGE

SHEET NUMBER
CG101

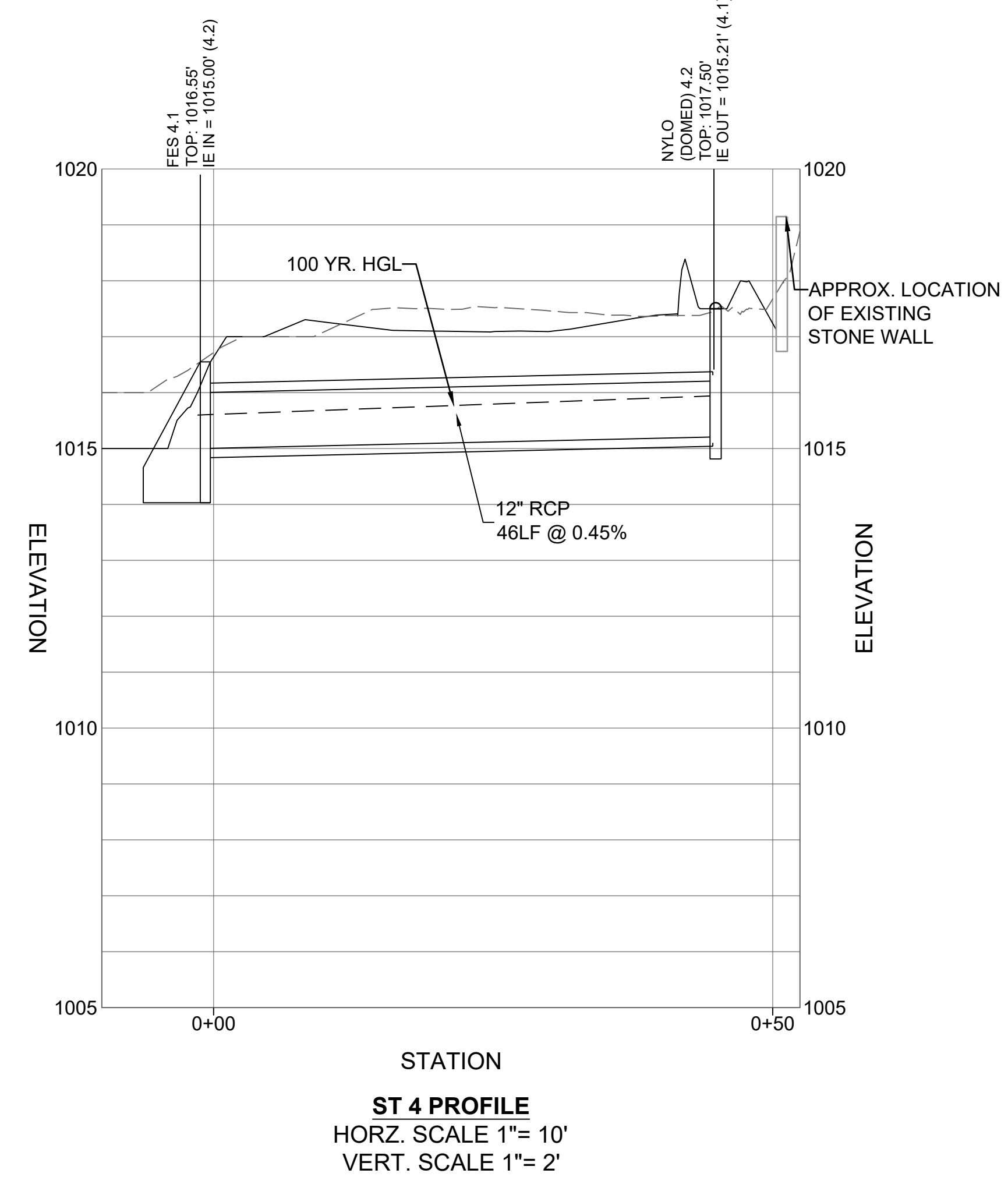
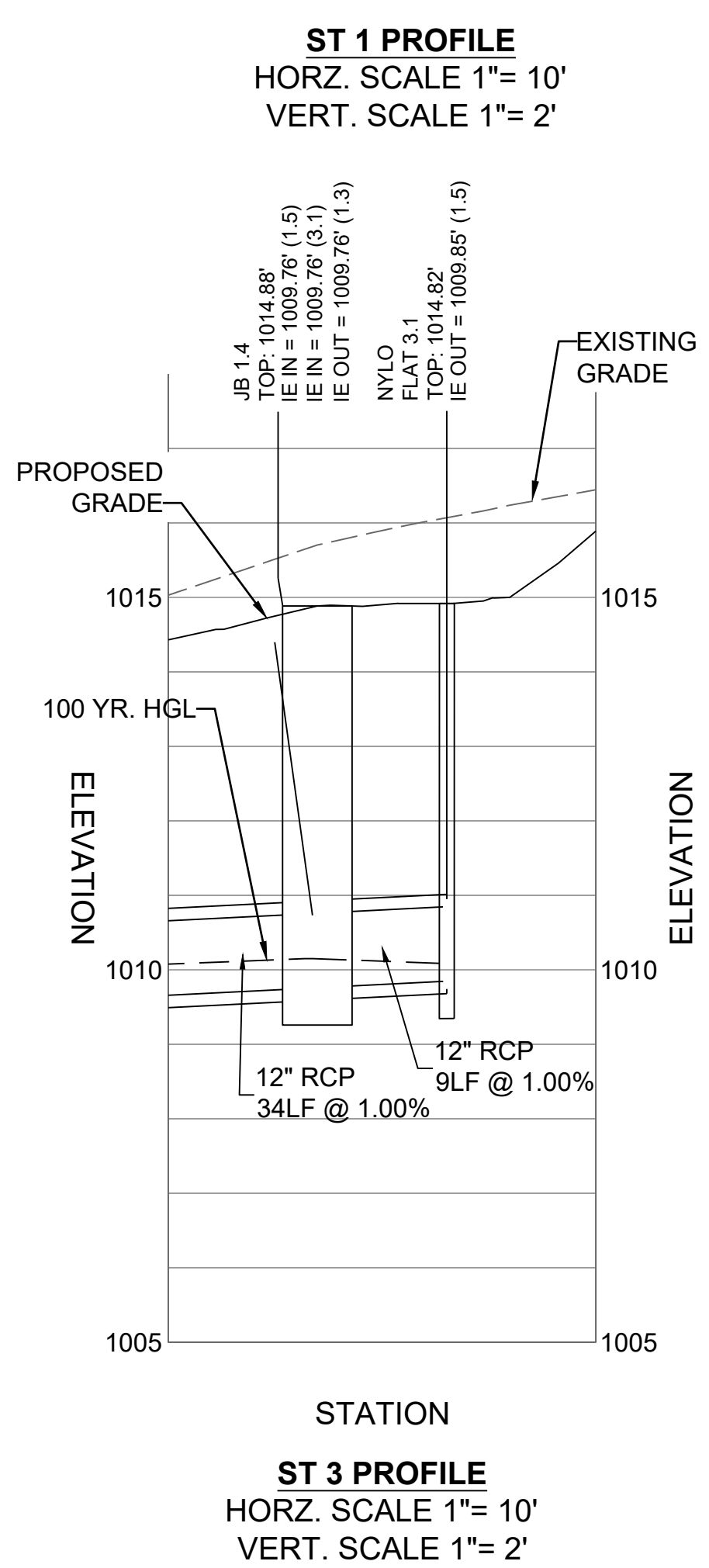
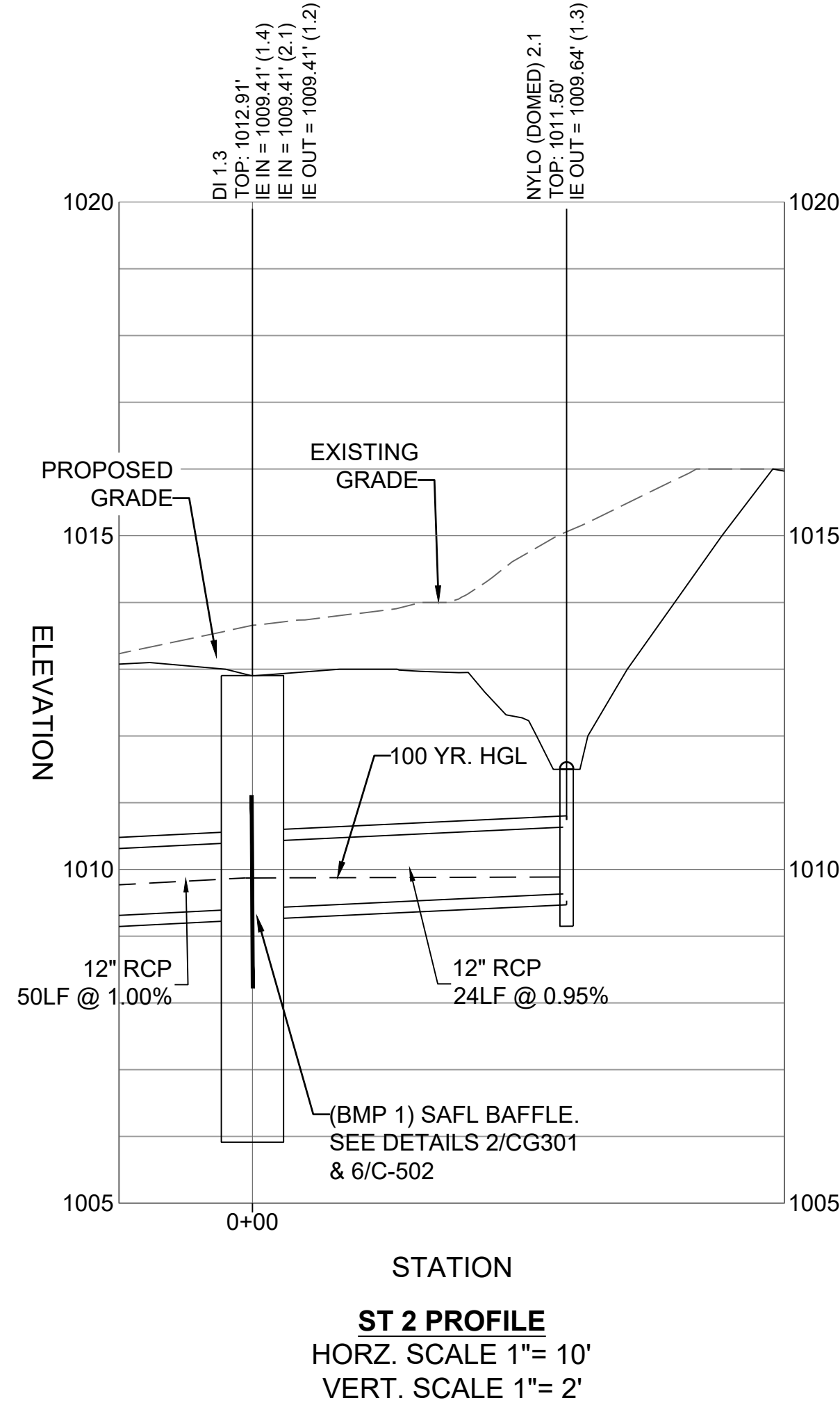
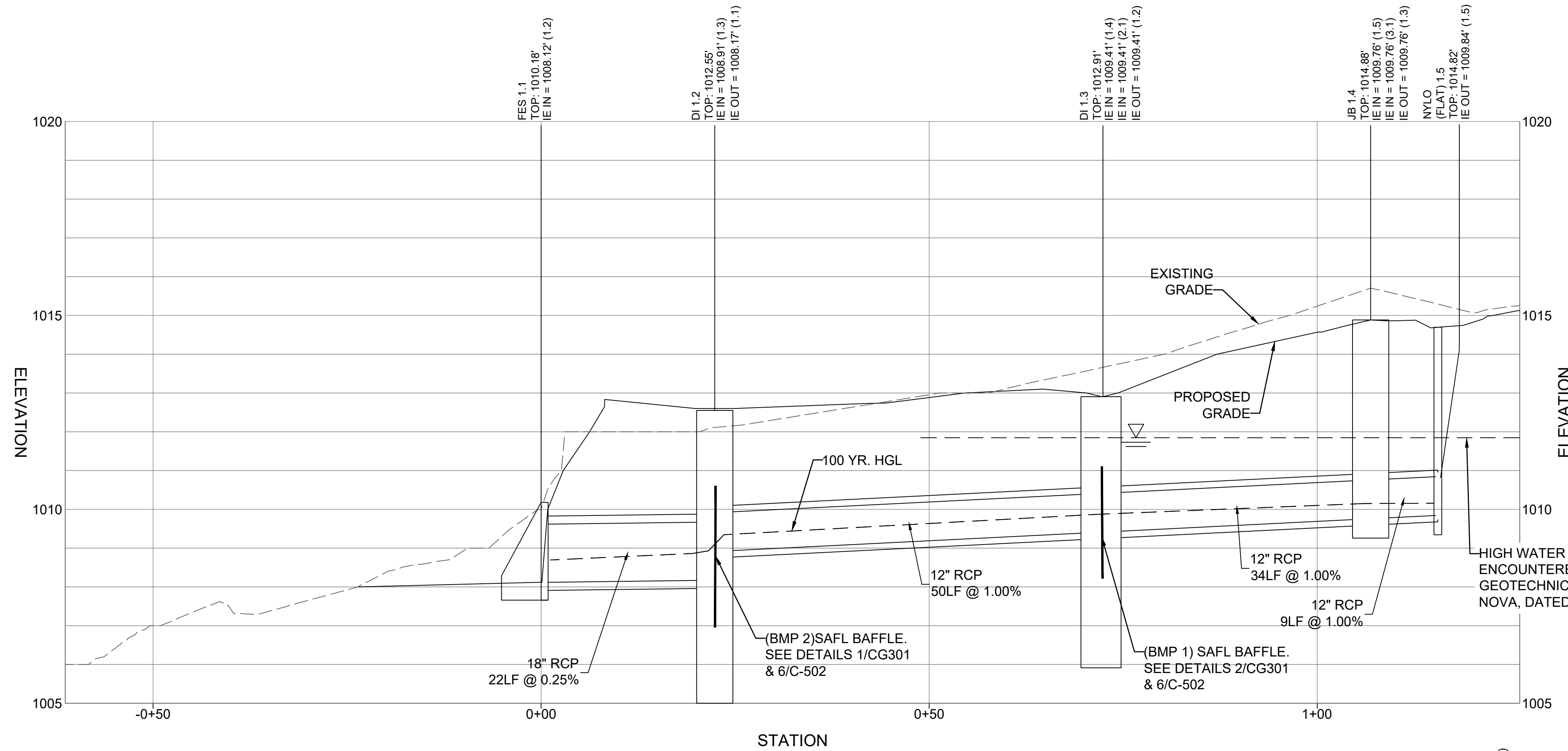
ORIGINAL SHEET SIZE:
22" X 34"

A1 GRADING PLAN
SCALE: 1" = 10'



FILE PATH: X:\FY23\1230006\04 CAD_BIM\04_02 CAD\CG101 PLOTTED BY: URUETA, JUAN DATE: 10/21/23

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City of Dunwoody
 Georgia

PROJECT NAME
DUNWOODY NATURE CENTER
 5321 ROBERTS DR,
 DUNWOODY, GA
 30338

DRAWING ISSUE

ISSUED FOR PERMIT	PERMIT COMMENTS REVISIONS	CITY DESIGN REVISIONS
0	1	2

04/11/2023
 06/02/2023
 08/11/2023

DESIGNED BY: ST/MF
 DRAWN BY: AB/JU
 CHECKED BY: DM
 SUBMITTED BY: MF
 DATE: 08/11/2023
 PROJECT #: 1230006

SHEET TITLE
STORM PROFILES

SHEET NUMBER
CG201

ORIGINAL SHEET SIZE:
 22" X 34"

ISSUED FOR PERMIT

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CLIENT INFORMATION



PROJECT NAME

**DUNWOODY
NATURE
CENTER**

5321 ROBERTS DR,
DUNWOODY, GA
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DESIGNED BY: ST/MF
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SUBMITTED BY: MF
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SHEET TITLE

**WATER QUALITY
STRUCTURES
DETAILS**

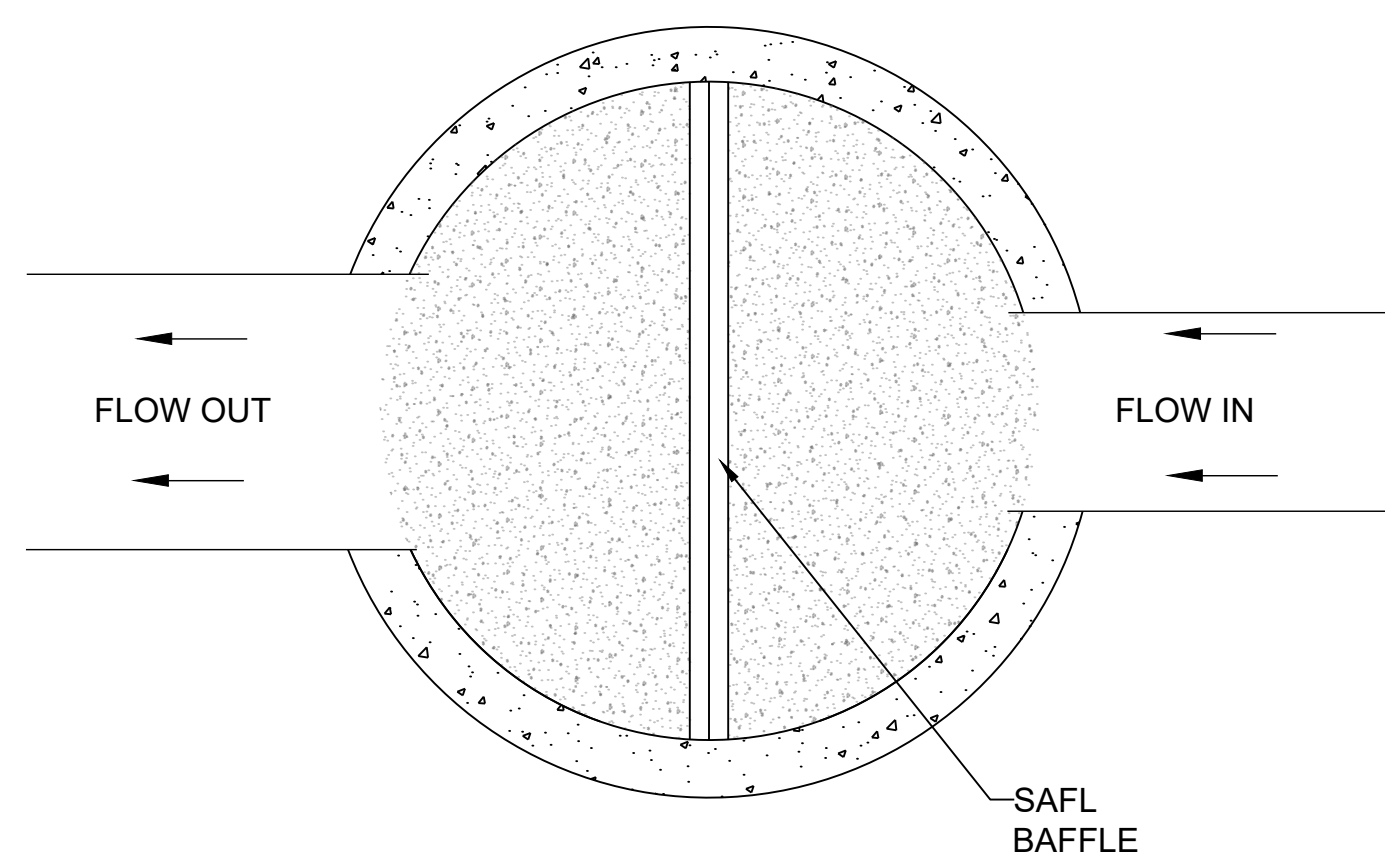
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CG301

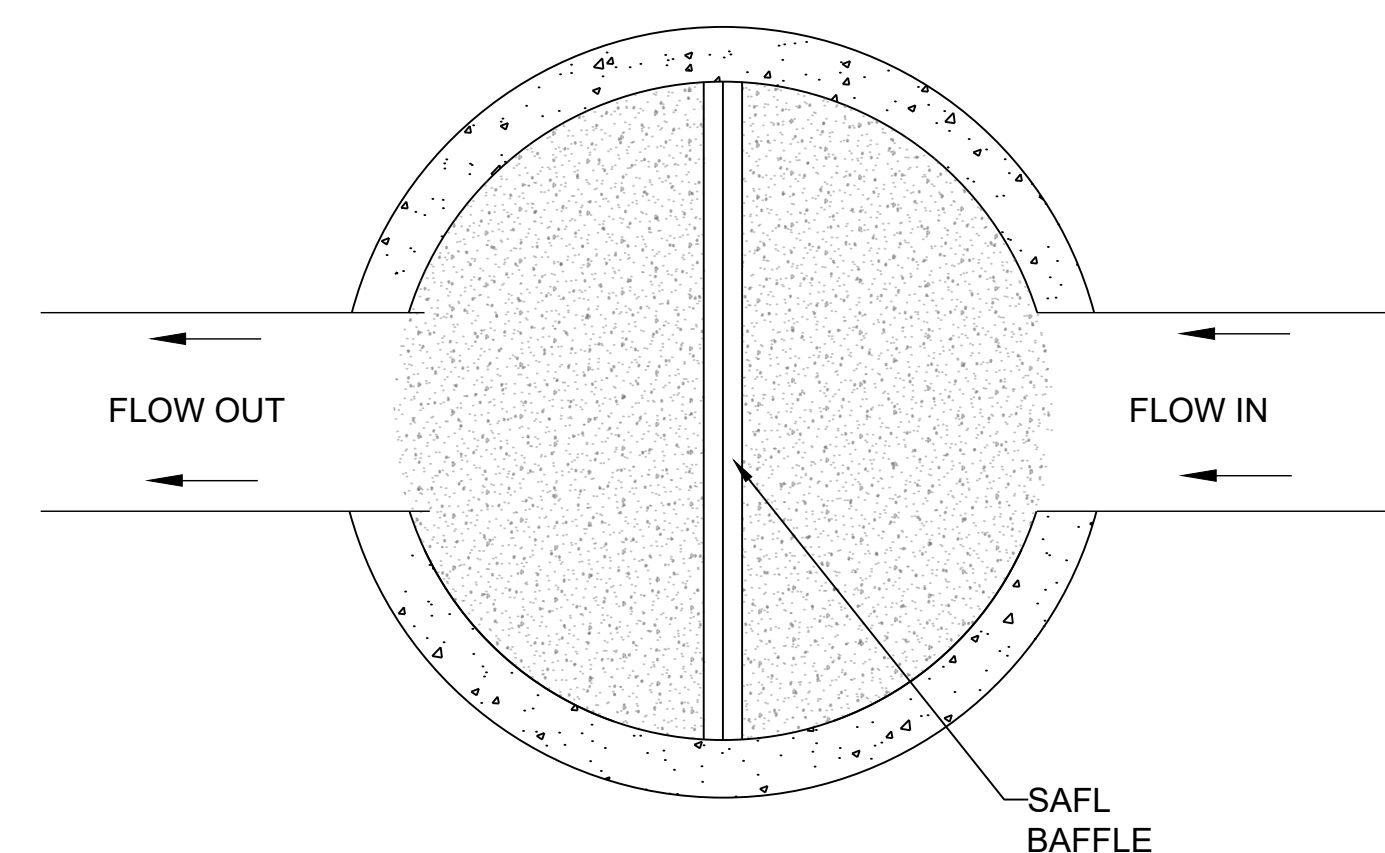
ORIGINAL SHEET SIZE:
22" X 34"

ISSUED FOR PERMIT

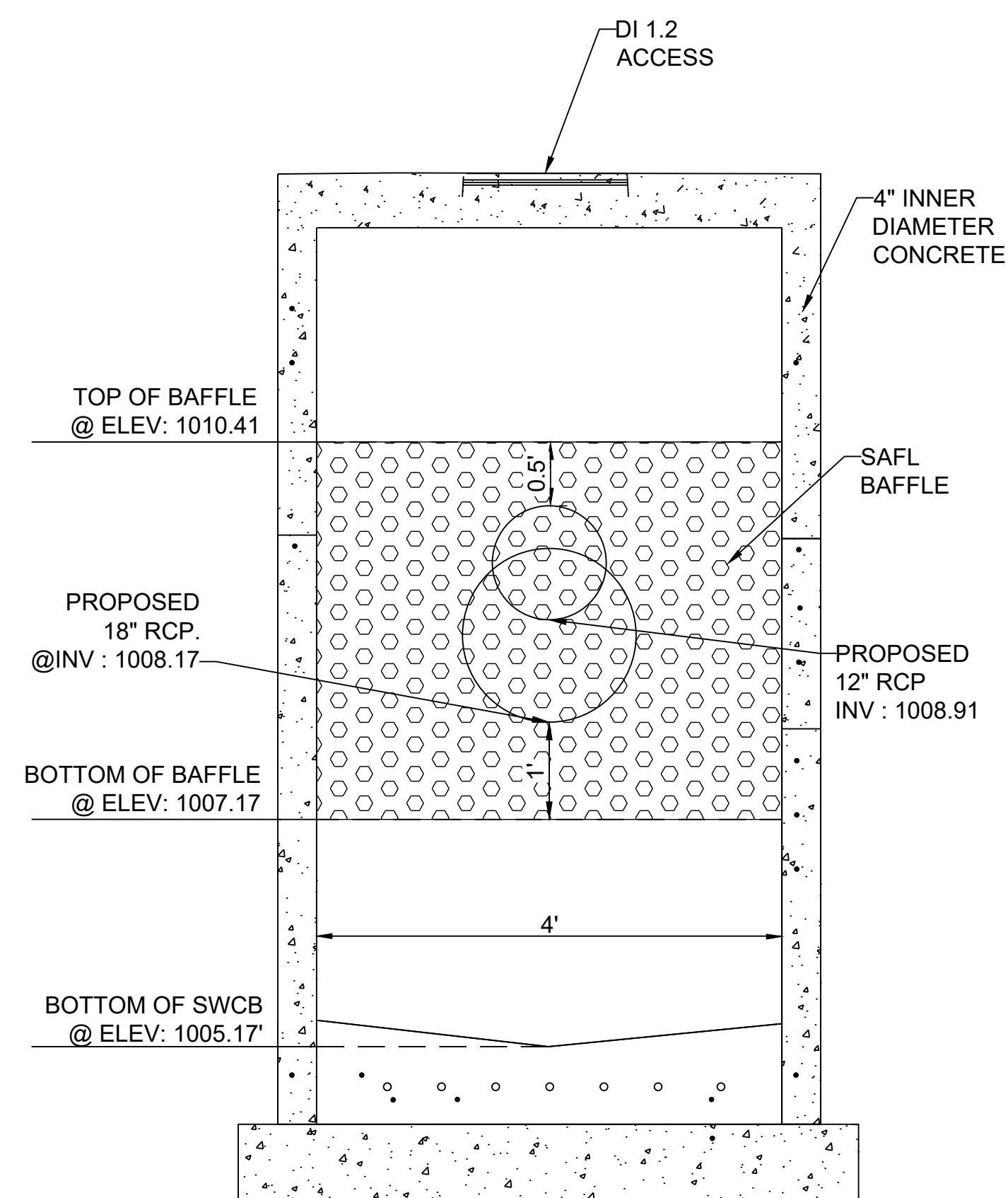
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TOP VIEW



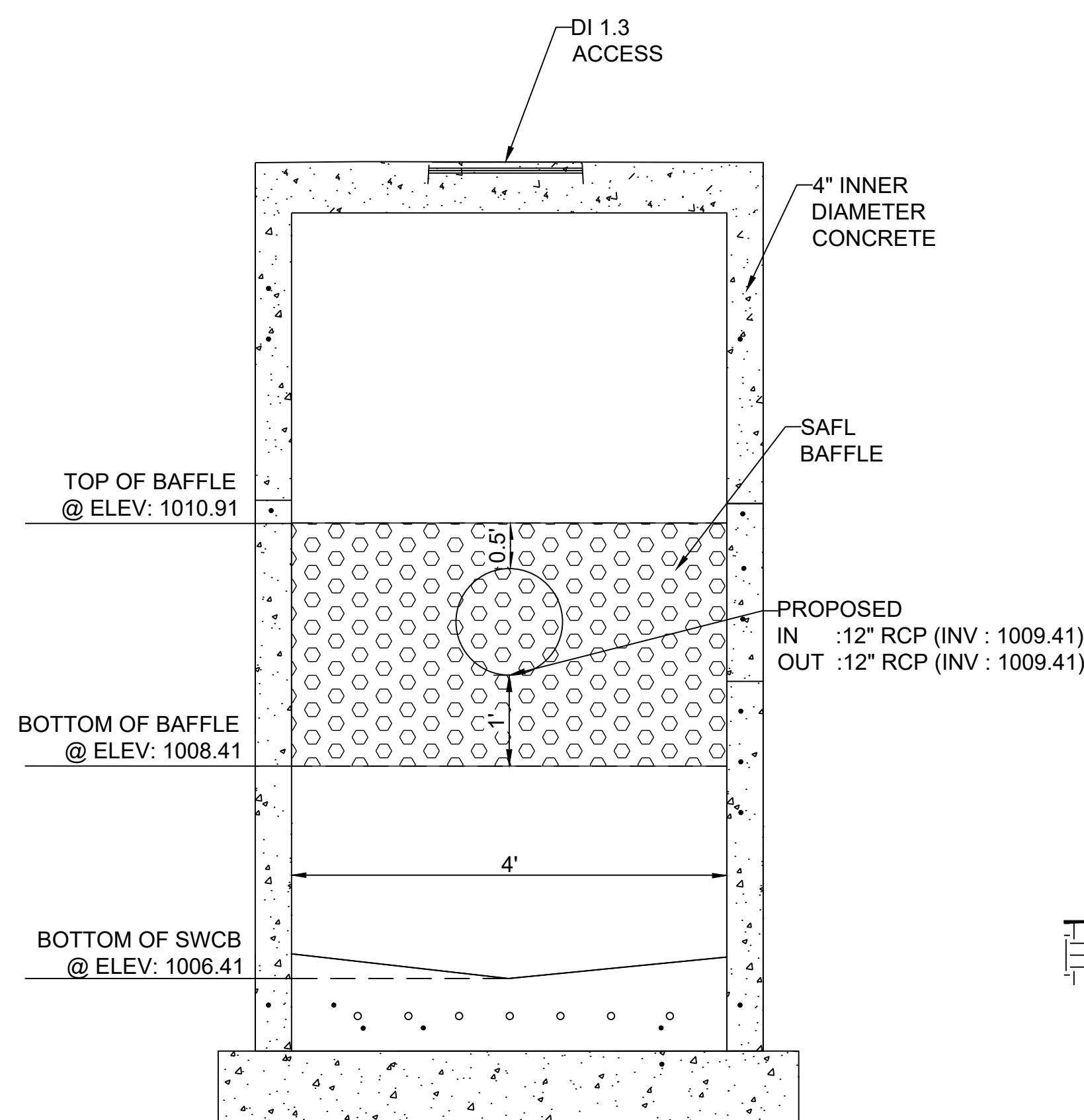
TOP VIEW



PLAN VIEW

1 SAFL BAFFLE IN DI 1.2 (BMP 2)

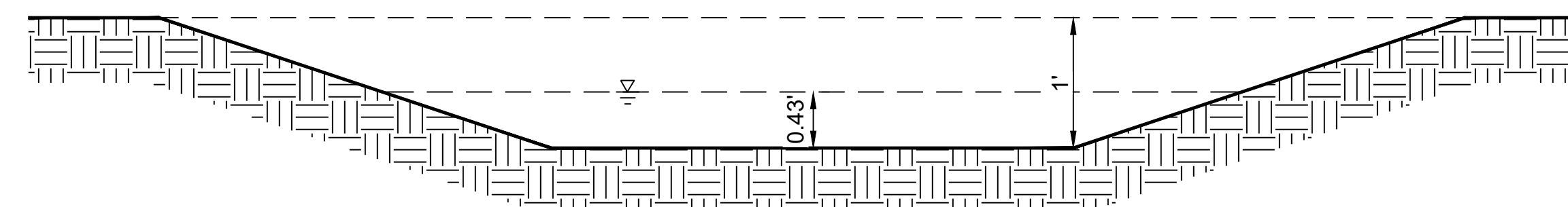
NO SCALE



PLAN VIEW

2 SAFL BAFFLE IN DI 1.3 (BMP 1)

NO SCALE



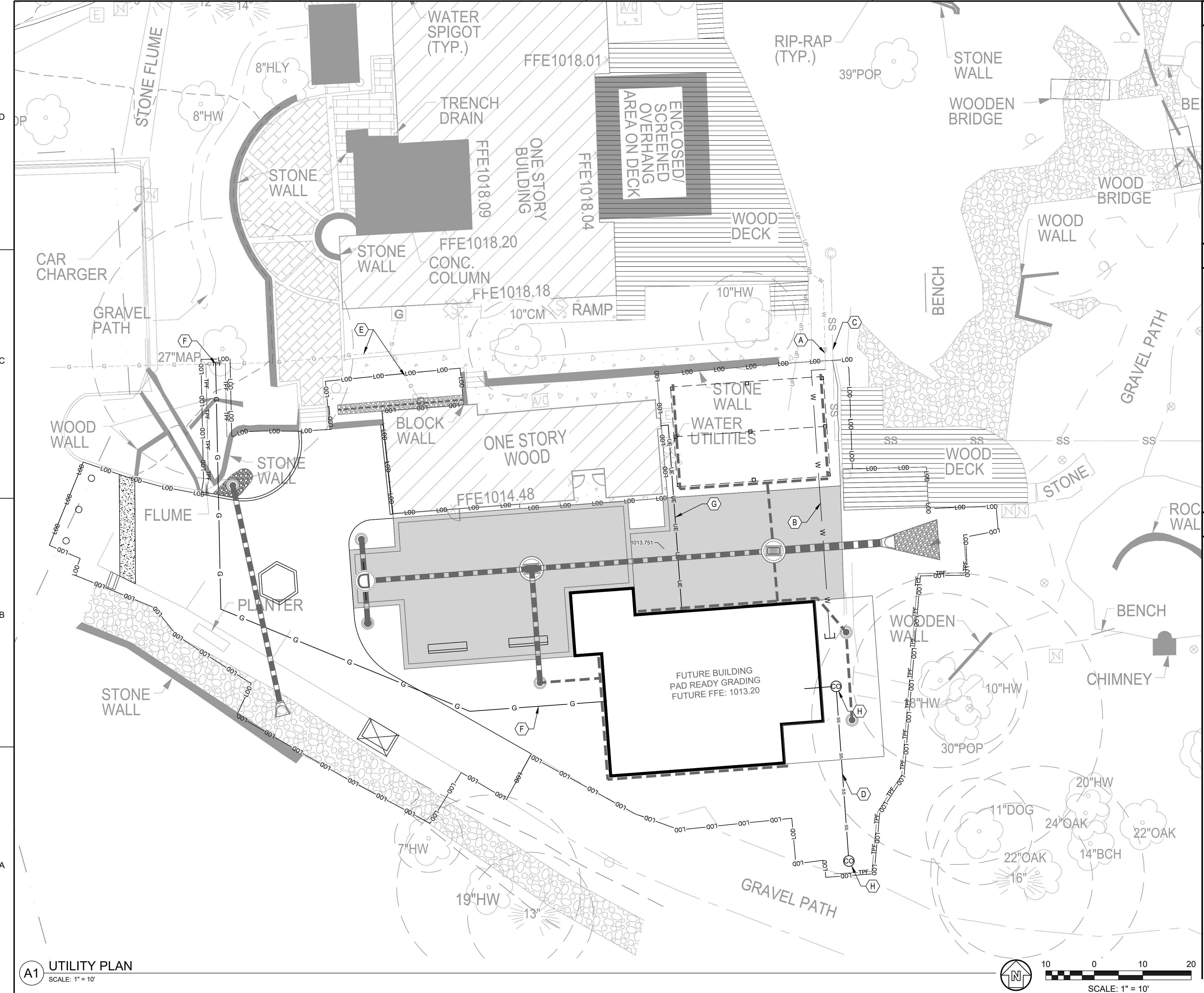
**POST DEVELOPMENT
CHANNEL DETAILS**
Q(100): 7.42 CFS
VEL: 3.60 FPS
FLOW DEPTH: 0.43 FT

3 EXISTING STORMWATER CHANNEL

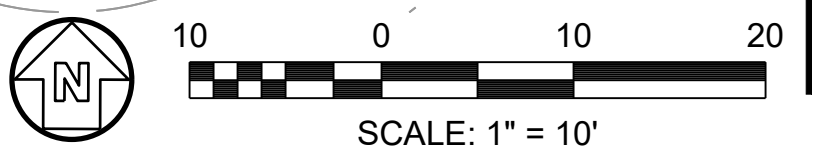
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FILE PATH: X:\FY23\1230006\04\CAD_BIM\04_02\CAD\CU101 PLOTTED BY: URUETA, JUAN DATE: 10/21/23



A1 UTILITY PLAN
SCALE: 1" = 10'



GENERAL SHEET NOTES

- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- REFER TO SHEETS C-001 FOR LEGENDS, ABBREVIATIONS, AND NOTES.
- REFER TO CG101 FOR GRADING AND DRAINAGE.
- NOTE: ALL PROPOSED UTILITIES THAT RUN THROUGH EXISTING TREE CRZS SHALL BE INSTALLED USING A JACK AND BORE METHOD TO MINIMIZE IMPACT TO TREE CRZS AND PROTECT EXISTING TREE HEALTH AS MUCH AS POSSIBLE. REFER TO LD101 FOR TREE PROTECTION INFORMATION.
- ALL TREES MUST BE PLANTED OUTSIDE OF UTILITY EASEMENT, UNLESS APPROVED BY THE CITY ARBORIST OR UTILITY PROVIDED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES PER TOPOGRAPHIC SURVEY BY BASELINE SURVEYING & ENGINEERING, INC. DATED 01/12/2018.

ALTERNATE CONTRACT ITEMS FOR LEARNING LAB:

- APPROXIMATE LOCATION OF EXISTING WATER LINE.
- TAP EXISTING WATER LATERAL AND RELOCATE AS NECESSARY FOR FUTURE BUILDING CONNECTION.
- APPROXIMATE LOCATION OF EXISTING SANITARY SEWER LATERAL.
- PROPOSED 4" PVC SANITARY SEWER STUB OUT FOR FUTURE BUILDING CONNECTION.
- APPROXIMATE LOCATION OF EXISTING GAS LINE.
- PROPOSED NATURAL GAS LATERAL FOR FUTURE BUILDING CONNECTION. COORDINATE CONNECTION WITH UTILITY PROVIDER. CONTRACTOR TO INSTALL NATURAL GAS LINE BY HAND DIGGING ONLY IN TREE'S CRITICAL ROOT ZONE. NO HEAVY MACHINERY ALLOWED. SEE LD101.
- INSTALL ELECTRICAL CONDUIT FOR FUTURE BUILDING CONNECTION.
- PROPOSED SANITARY SEWER CLEANOUT-SEE DETAIL 6/C-503.

LEGEND

— W —	WATER LINE
— G —	GAS LINE
— SS —	4" PVC SANITARY SEWER PIPE
— UE —	ELECTRICAL CONDUIT
— LOD —	LIMITS OF DISTURBANCE

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Peachtree Corners
Georgia 30092
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DPR SEAL

CLIENT INFORMATION

PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE

04/11/2023	ISSUED FOR PERMIT
06/02/2023	PERMIT COMMENTS REVISIONS
08/11/2023	CITY DESIGN REVISIONS

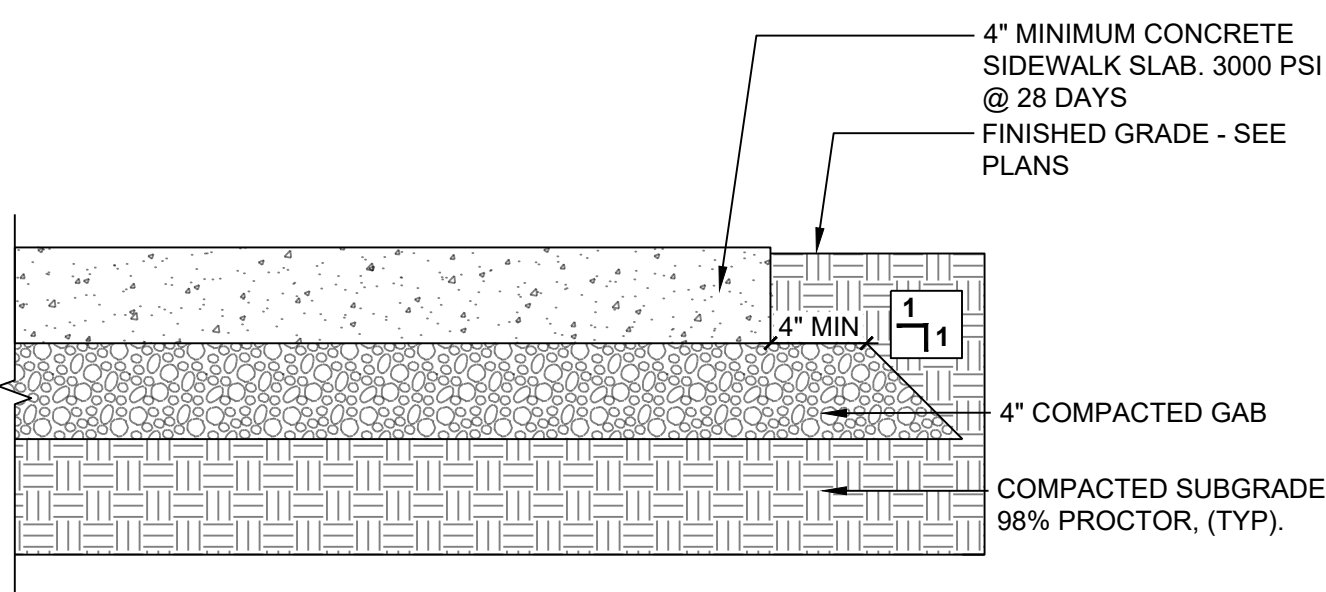
DESIGNED BY:	ST/MF
DRAWN BY:	AB/JU
CHECKED BY:	DM
SUBMITTED BY:	MF
DATE:	08/11/2023
PROJECT #	1230006

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
CU101

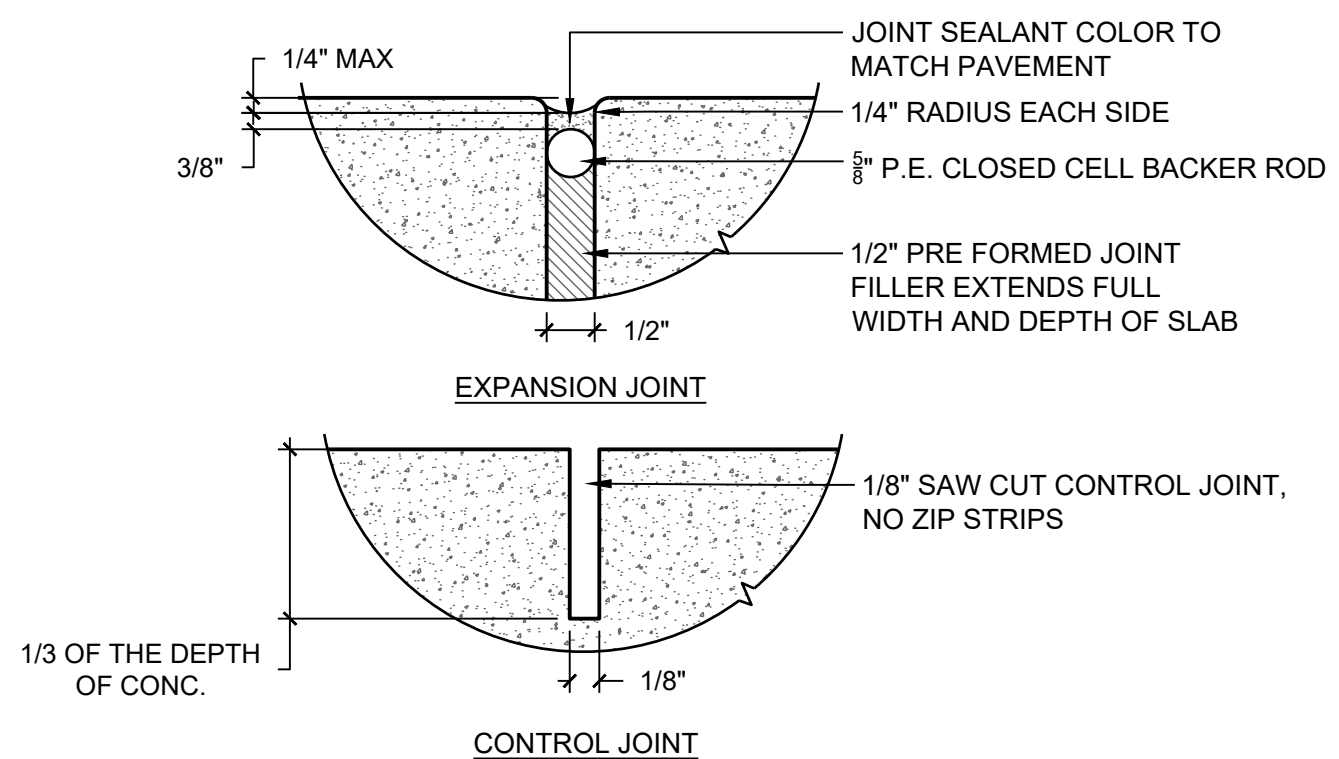
ORIGINAL SHEET SIZE:
22" X 34"

ISSUED FOR PERMIT



- NOTES:**
1. SEAL ALL BROOM FINISHED CONCRETE WITH A SILOXANE OR SILANE BASED SEALER.
 2. SEAL ALL EXPOSED EXPOSED AGGREGATE SURFACES WITH LM SCOFIELD REPELLO.
 3. SEE THE SITE PLAN FOR CONCRETE COLOR AND AGGREGATE TYPE.
 4. SEE DETAIL 2/C-501 FOR JOINT INFORMATION
 5. 3/8" EXPANSION JOINT AT ALL CURBS AND ALL VERTICAL WALLS.

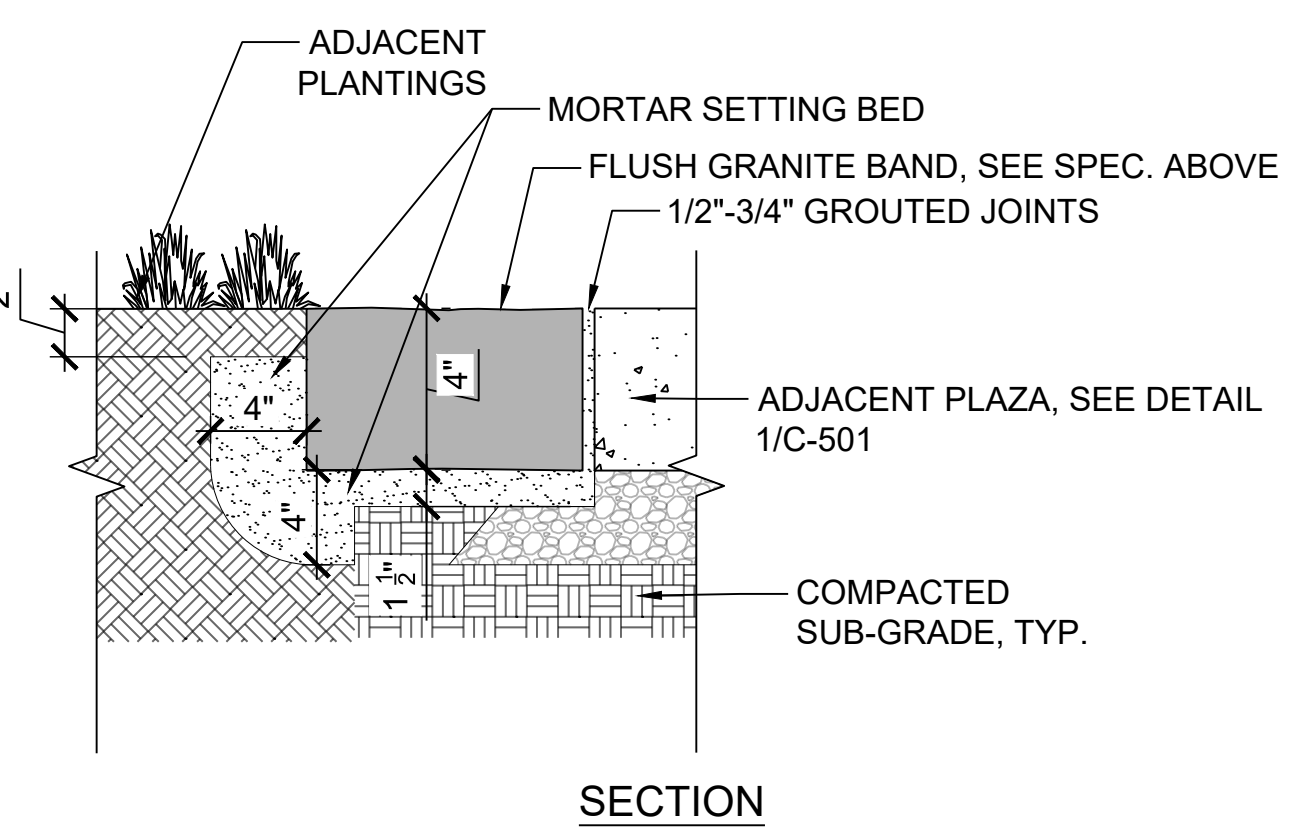
1 PEDESTRIAN CONCRETE
N.T.S. P-1220156-05



- NOTES:**
1. POLYURETHANE ELASTOMERIC SELF-LEVELING SEALANT, TOOL DOWN 1/8", COLOR TO MATCH PAVEMENT SURFACE.
 2. LOCATE EXPANSION JOINTS EVERY 25' MAX. AND AT ALL SIDEWALK JUNCTIONS WITH CURBS, STRUCTURES, AND OTHER SIDEWALKS
 3. CONTRACTION JOINTS AS SHOWN ON THE PLANS.

2 TYP. JOINTS
N.T.S. P-1210754-55

STONE PAVING SPEC.:
STONE: GRANITE
THICKNESS: 4" MIN
STONE SIZE: 12X12 PIECES
FINISH: SPLIT FACE

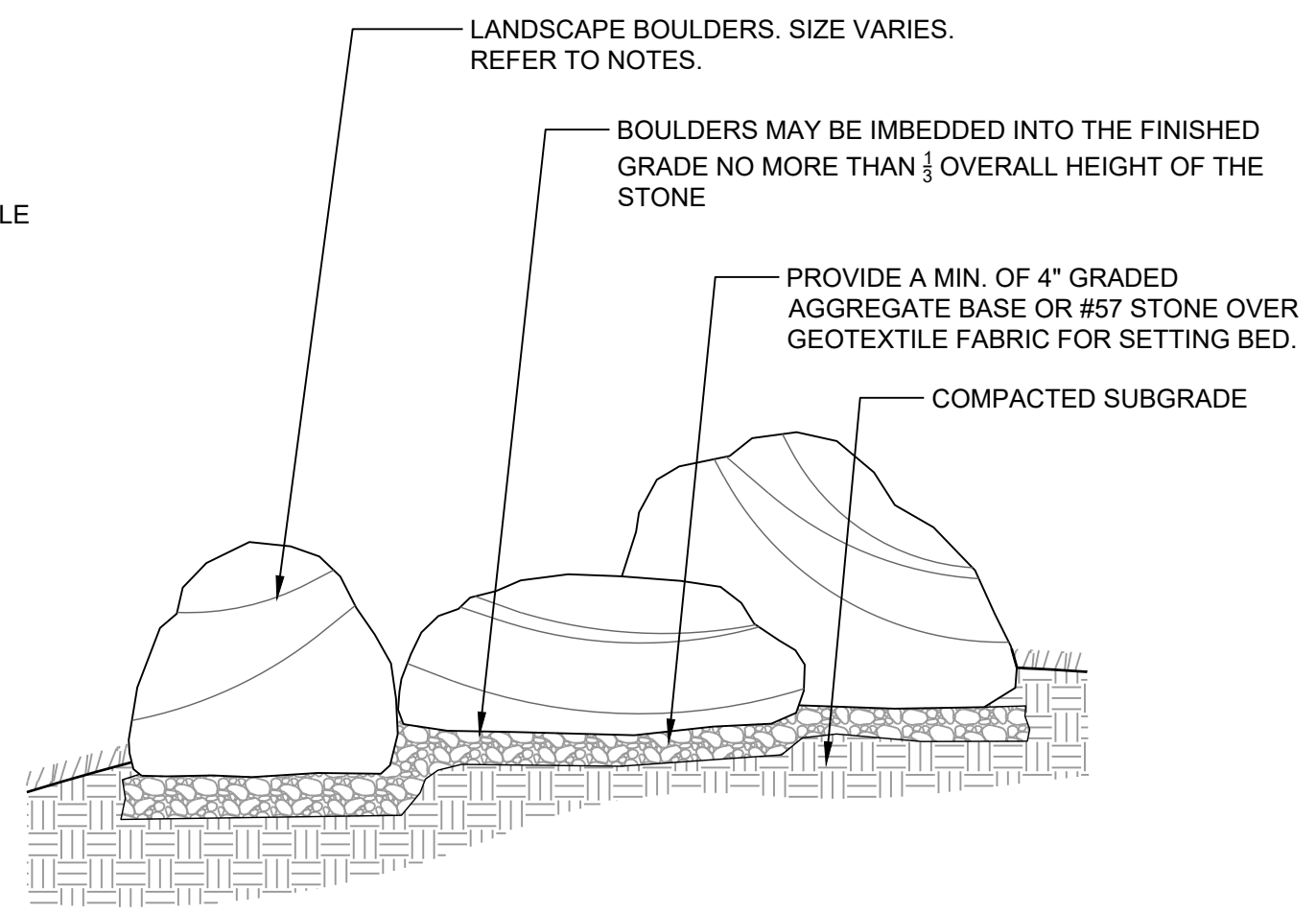


3 FLUSH GRANITE BAND
SCALE: N.T.S. P-1220156-104

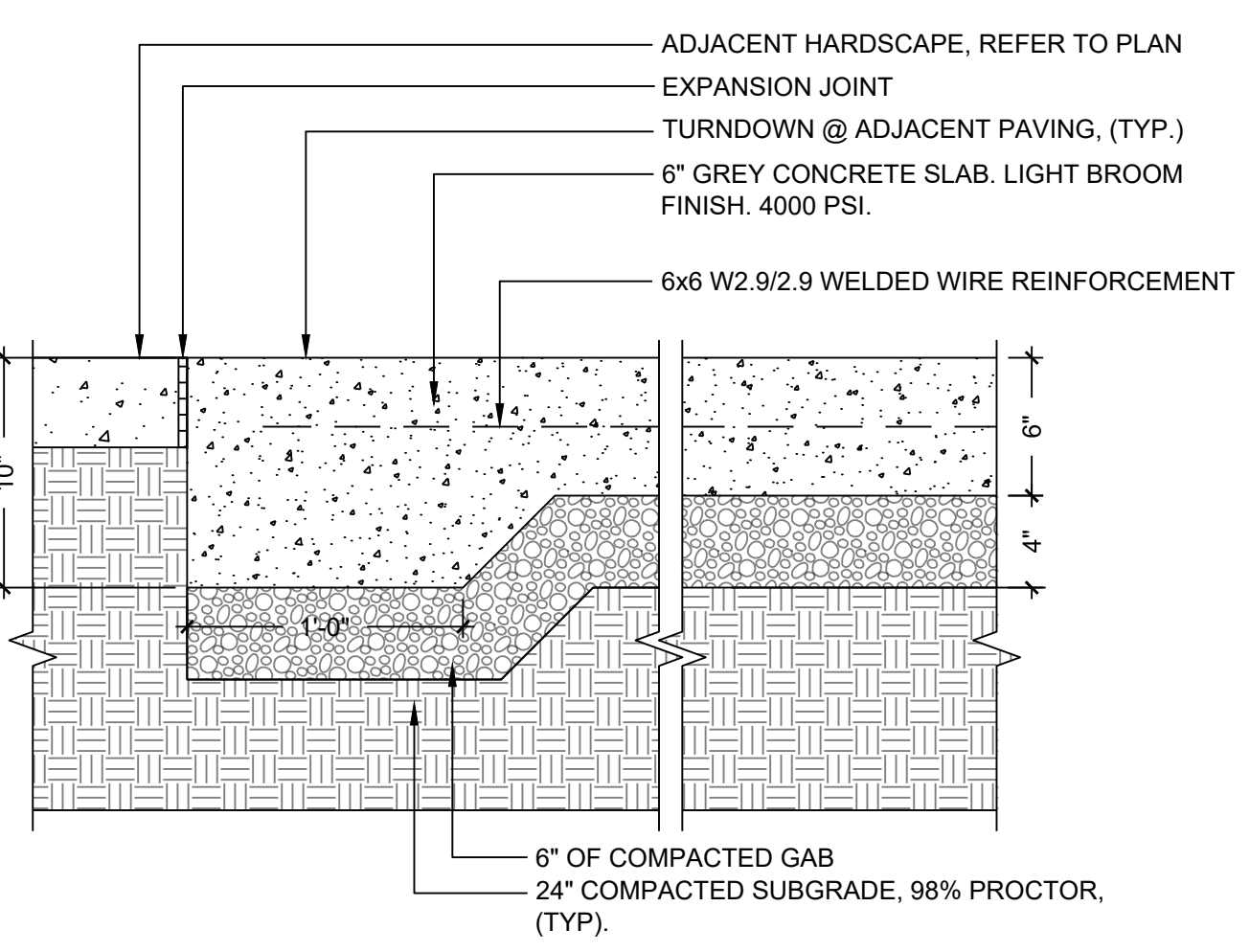
- LANDSCAPE BOULDER SPECIFICATION:**
1. BOULDERS MAY BE TENNESSEE FIELDSTONE WITH ROUNDED EDGES INDICATING A WEATHERED APPEARANCE. EXPOSED FACES MAY NOT BE SPLITFACED OR WORKED TO ACHIEVE A WEATHERED LOOK. COLORS VARY, BUT SHALL INCLUDE VARIATIONS OF NATURAL GRAY, BUFF, AND TAN.
 2. BOULDER WEIGHTS AND SIZES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING PHOTOGRAPHS INDICATED OR SAMPLES ON SITE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE.
 3. COORDINATE PLACEMENT OF ALL BOULDERS WITH OWNER'S REPRESENTATIVE. PLACEMENT SHALL BE IN A MORE OR LESS RANDOM PATTERN TO APPROXIMATE "NATURAL" ROCK OUTCROPPINGS.
 4. AREAS TO RECEIVE BOULDERS SHALL BE FREE OF DEBRIS OR OTHER OBJECTIONABLE MATERIAL, AND PLACED ON A COMPACTED GRAVEL LEVELING PAD.
 5. PLACE VARIABLE SIZE BOULDERS AS INDICATED ON LANDSCAPE PLAN.

ROCK SIZE	ROCK WEIGHT	AVG. DIMENSION
HALF MAN	25-50LBS	6"-12"
1-MAN	50-200 LBS.	12"-18"
2-MAN	200-300 LBS.	18"-28"
3-MAN	300-400 LBS.	28"-36"
4-MAN	400-500 LBS.	36"-54"
5-MAN	500-1000 LBS.	54"-60"
SPECIMEN	>1000 LBS	>60"

NOTE: BOULDERS AT ENTRY FEATURE TO BE GEORGIA GRANITE.



4 LANDSCAPE BOULDERS
N.T.S. P-1220156-99



5 VEHICULAR RATED CONCRETE (TYP.)
N.T.S. P-1220156-94



MANUFACTURER: HAUSER
PRODUCT: SENTRY STAINLESS STEEL REMOVABLE BOLLARD
DIMENSIONS: 8.5" DIA., 31.5" H
FINISH/COLOR: SILVER
WEBSITE: <https://hausersite.com/products/sentry-stainless-steel-removable-bollard?view=product-alt>

6 HAUSER SENTRY REMOVABLE BOLLARD
N.T.S. P-1220156-17



MANUFACTURER: HAUSER
PRODUCT: APEX PICNIC TABLE ADA COMPLIANT
DIMENSIONS: 66" W X 102" L X 31" H
FINISH/COLOR: IPE WOOD, SLATE BLACK FRAME
WEBSITE: <https://hausersite.com/collections/apex-picnic-tables/products/apex-picnic-table-with-aluminum-slat-top-benches-ada-compliant>

7 ADD-ALTERNATE: HAUSER APEX PICNIC TABLE ADA
N.T.S. P-1220156-65



MANUFACTURER: HAUSER
PRODUCT: APEX PICNIC TABLE
DIMENSIONS: 66"W X 84"L X 31"H
FINISH/COLOR: IPE WOOD, SLATE BLACK FRAME
WEBSITE: <https://hausersite.com/collections/apex-picnic-tables/products/apex-picnic-table-with-ipe-wood-slat-top-benches>

8 ADD-ALTERNATE: HAUSER APEX PICNIC TABLE
N.T.S. P-1220156-92



MANUFACTURER: THOMAS STEELE
PRODUCT: 6' MIDVALE BENCH, MVB-6
DIMENSIONS: 70" X 28" X 25"
COLOR/FINISH: IPE, BLACK
WEBSITE: <https://www.thomas-steele.com/midvale-bench>

9 THOMAS STEELE MIDVALE BENCH
N.T.S. P-1220156-93

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GEORGIA REGISTERED
08/11/2023
No. 001801
PROFESSIONAL
DONEY P. THOMPSON
SAFE ARMY

CLIENT INFORMATION
City of
Dunwoody
Georgia

PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE

DATE	ISSUED FOR PERMIT	PERMIT COMMENTS REVISIONS	CITY DESIGN REVISIONS
04/11/2023			
06/02/2023			
08/11/2023			

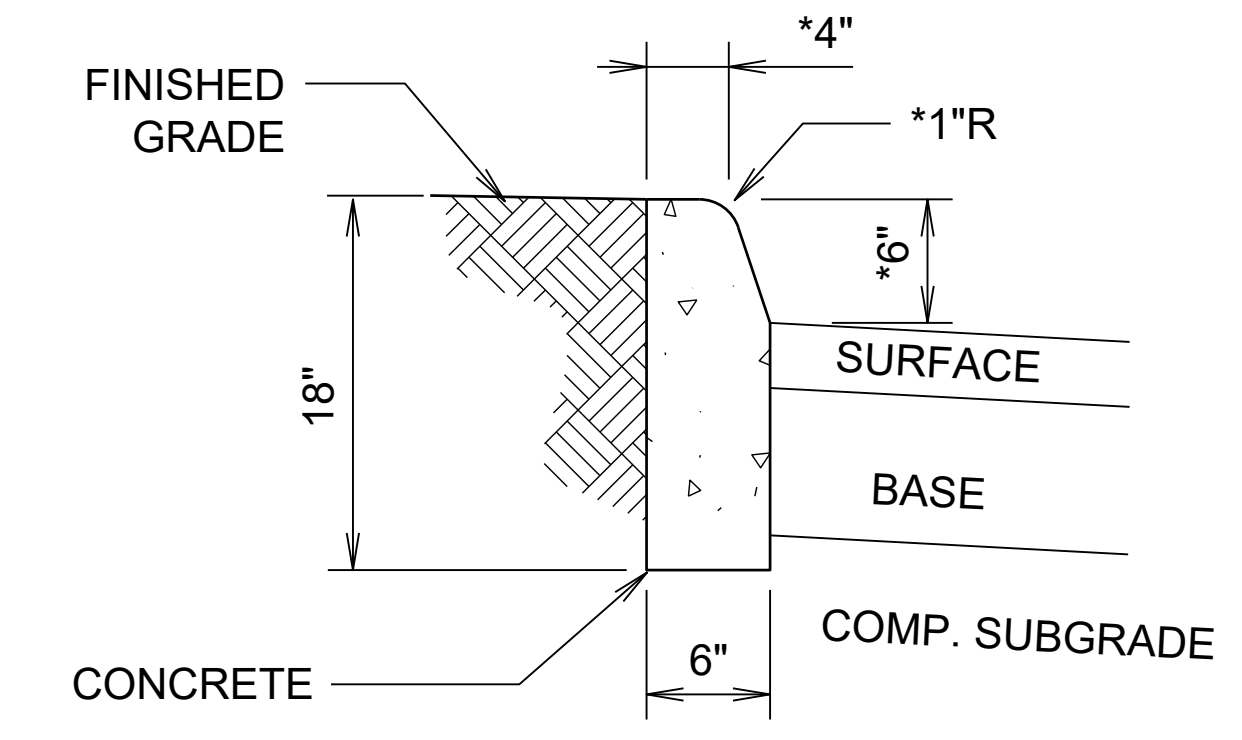
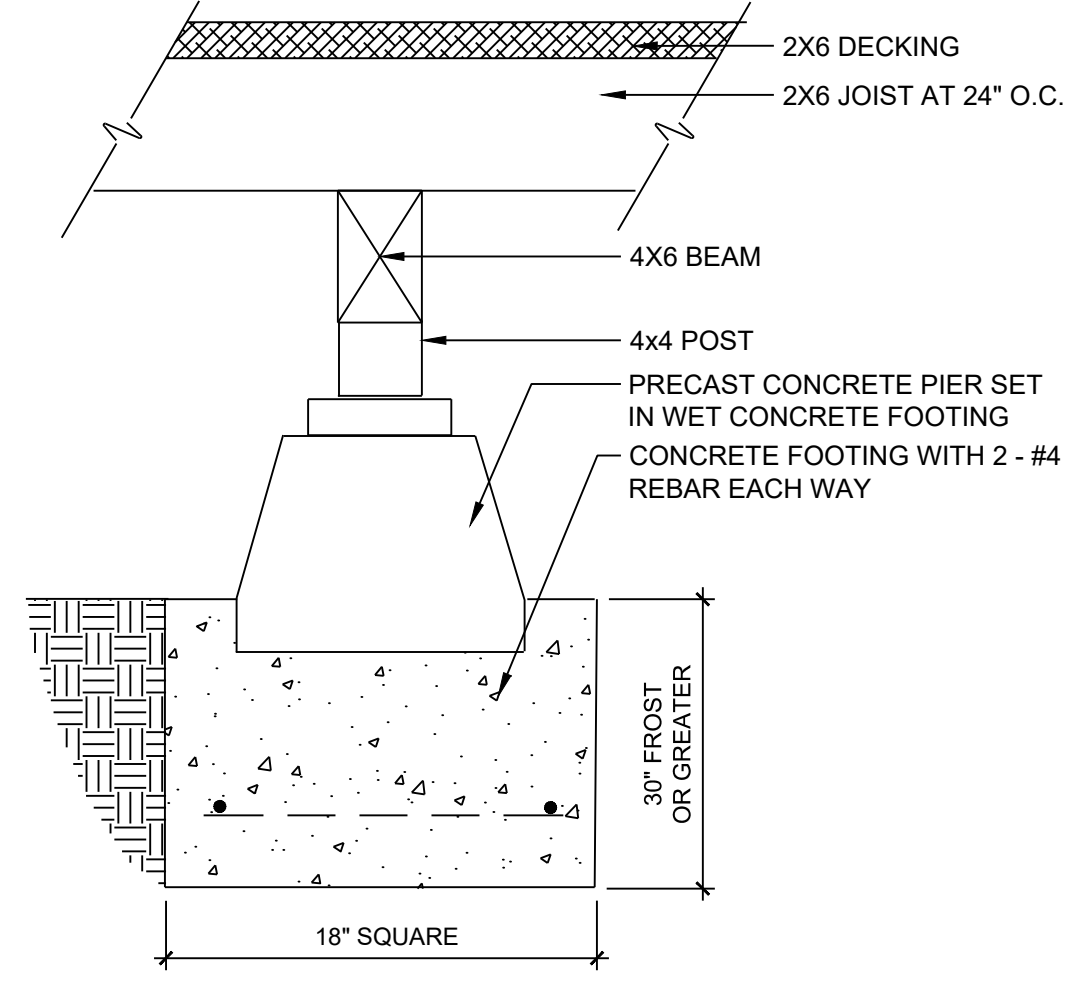
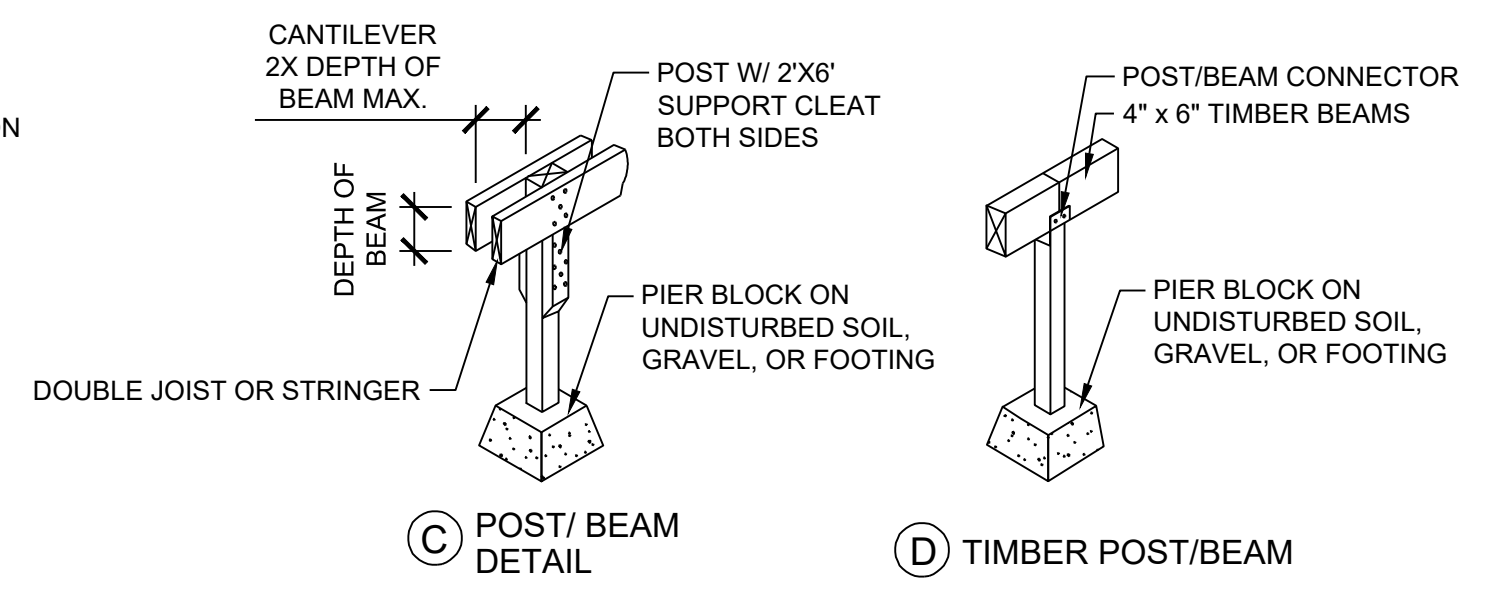
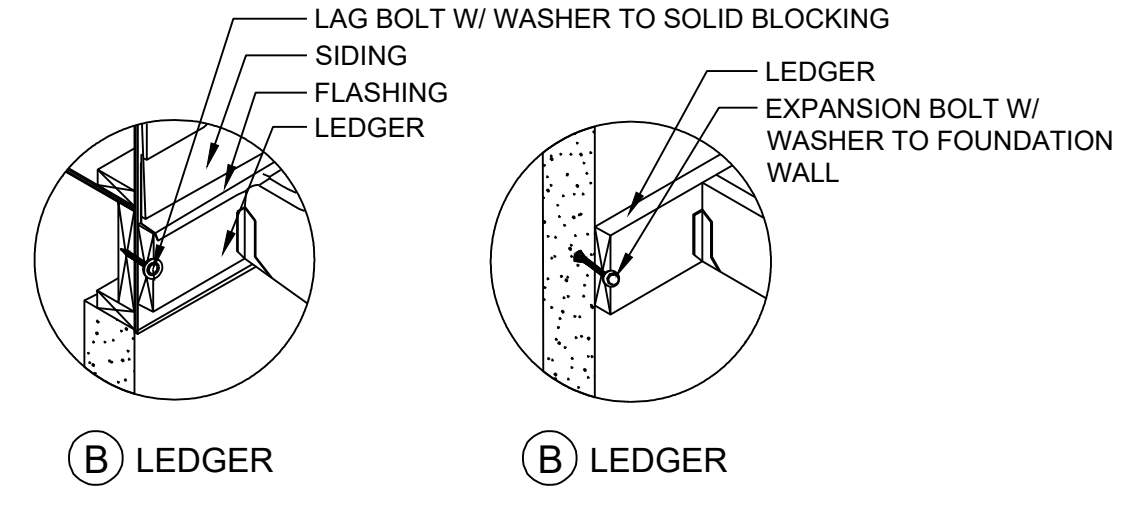
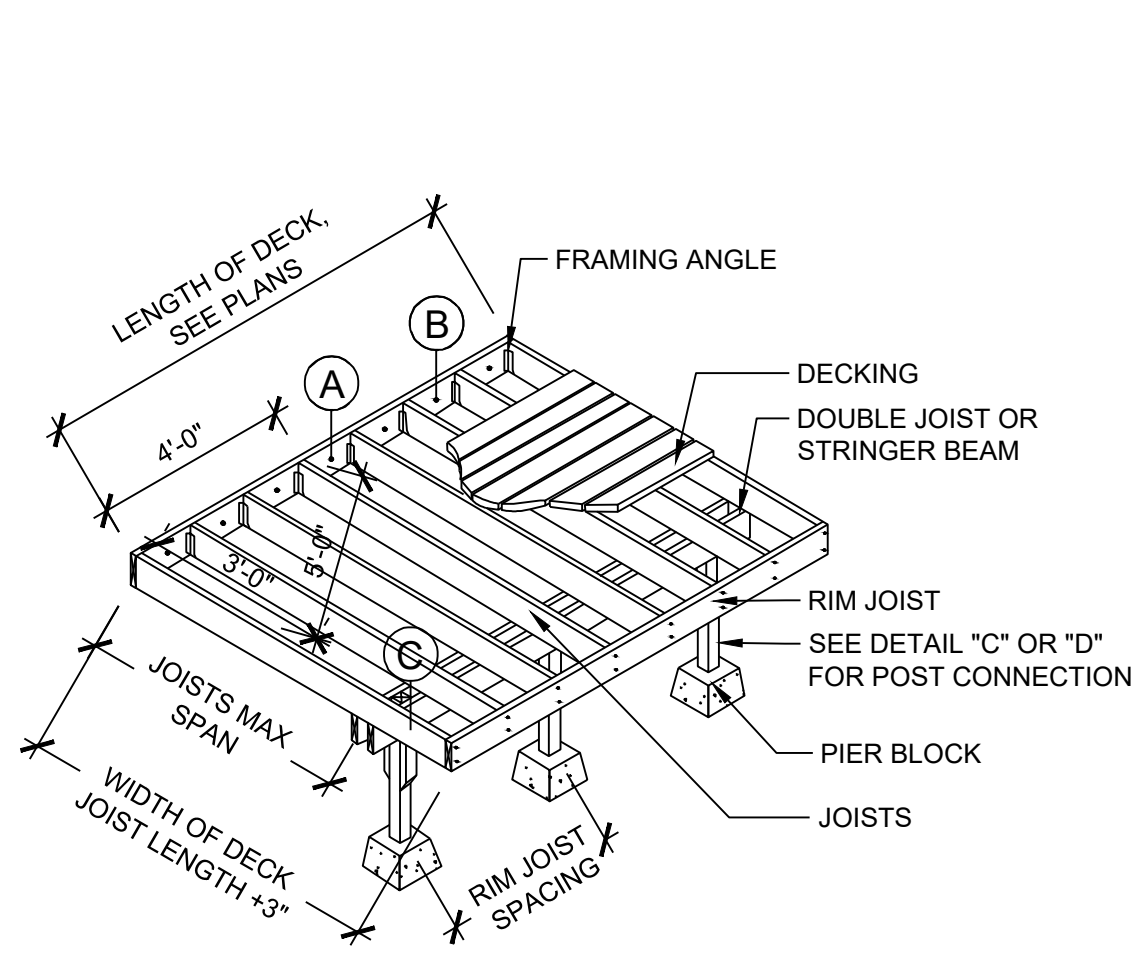
DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT #: 1230006

SHEET TITLE
CONSTRUCTION DETAILS

SHEET NUMBER
C-501

ORIGINAL SHEET SIZE:
22" X 34"

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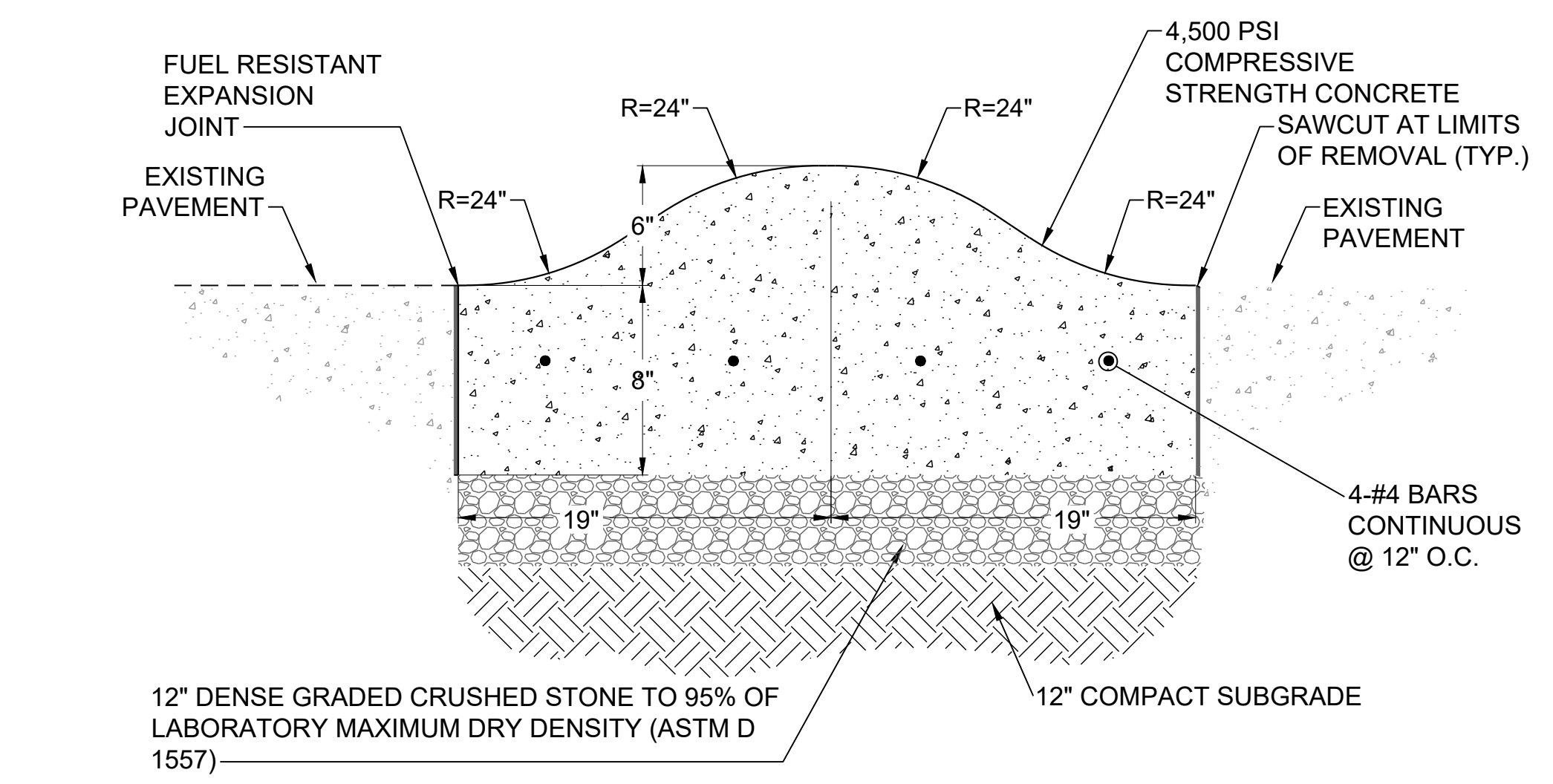


*NOTE: IF PROPOSED HEADER CURB ABUTS EXISTING CURB, DIMENSIONS TO MATCH EXISTING CURB

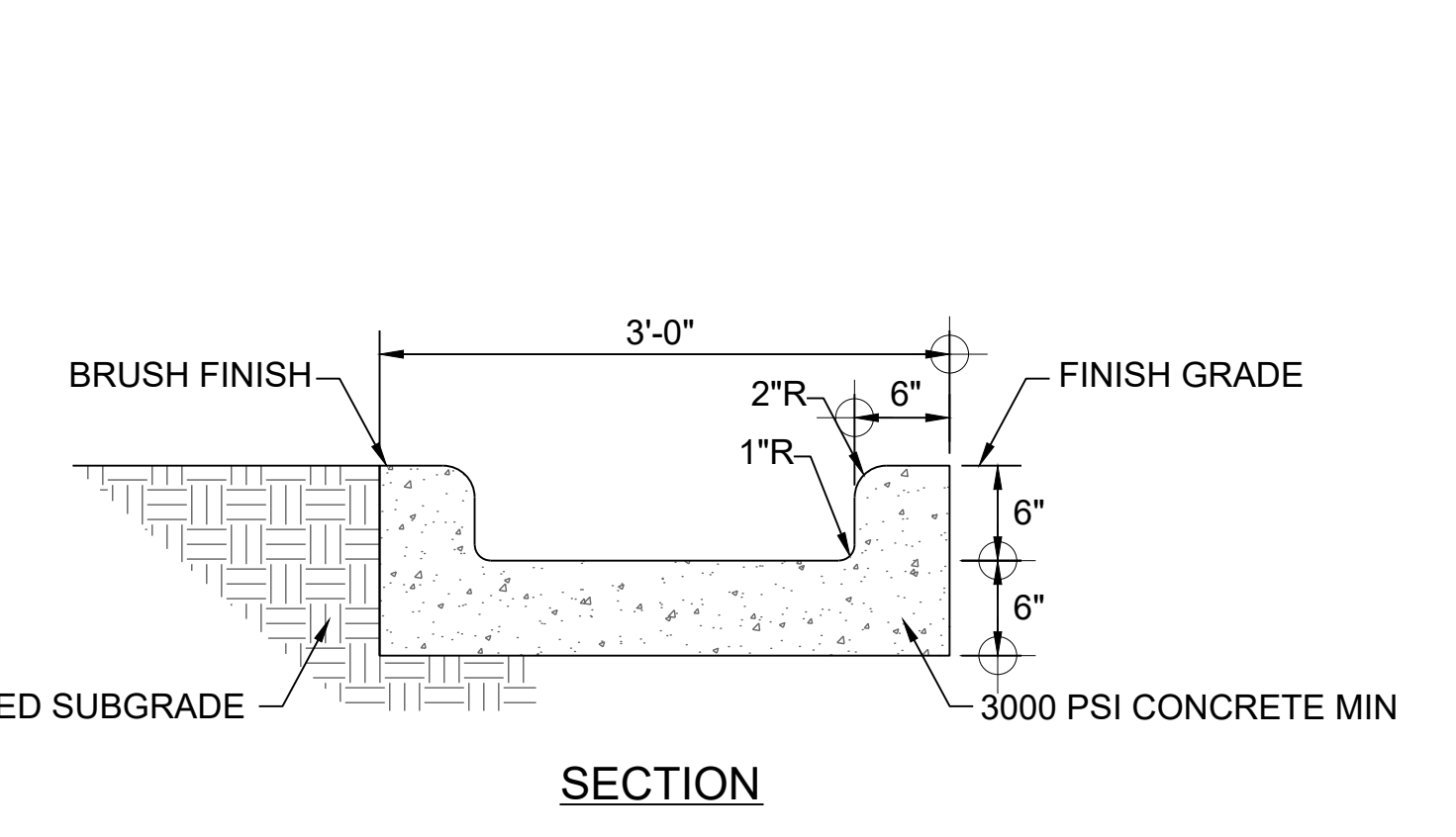
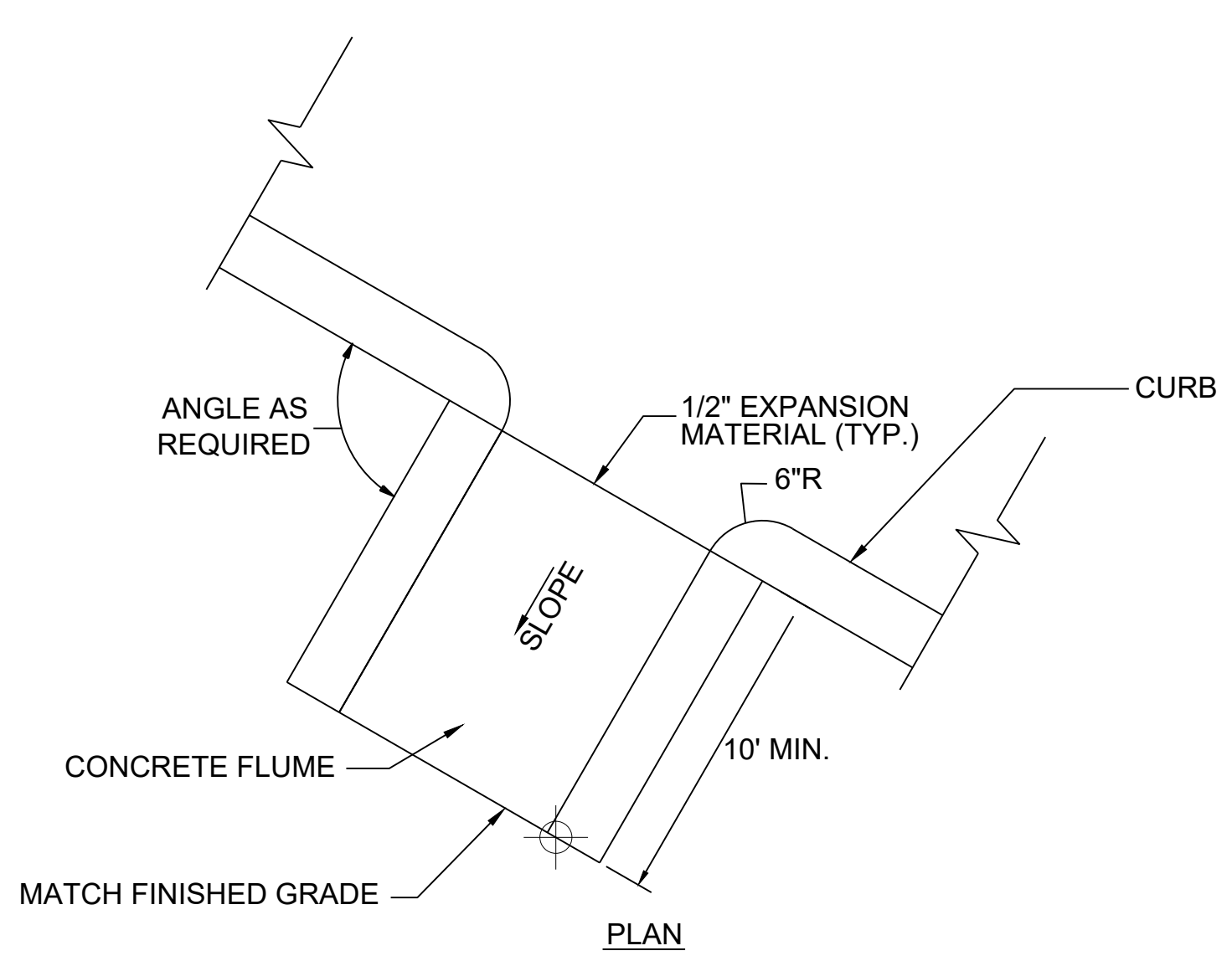
1 ADD-ALTERNATE: GENERAL DECKING DETAIL
N.T.S.

2 ADD-ALTERNATE: GENERAL DECK PIER FOOTING
N.T.S.

3 CONCRETE HEADER CURB DETAIL
N.T.S.



4 ROLLOVER CURB
SCALE: N.T.S.



5 CONCRETE FLUME
N.T.S.

Rev A.2 (05-09-2023)

SAFL BAFFLE SIZING REQUIREMENTS

A	0 to 6" 6" is ideal
B	Inlet pipe inside diameter
C	0 to 6" 0" is ideal
D	12"
E	36" Minimum. 48" or greater is ideal and results in less frequent sump cleanout
W	W = Sump diameter if round or width if rectangular
H	Baffle height = A + B + C + D
Purchase Baffle Size	W x H View the complete list of Available Baffle Sizes Also see: Bracing Guide & Stacking Guide
NOTE 1	If H is greater than 57" two SAFL Baffles may be stacked.
NOTE 2	75% of flow must be horizontal. No more than 25% falling from above
NOTE 3	This detail does not cover sizing the sump for sediment removal efficiency. Contact Upstream for sump sizing or use SHSAM Software
NOTE 4	For more information, see our Design Guide

PATENT PROTECTED Patents: US #8663466B2 - US #8715507B2 - US #9506237B2 - CA #2742207

This generic detail does not encompass the sizing, fit, and applicability of the SAFL Baffle for this specific project. It is the ultimate responsibility of the design engineer to assure that the design is in compliance with all applicable laws and regulations. The SAFL Baffle is a patented technology of Upstream Technologies, Inc. Upstream Technologies does not approve plans, siting, or system designs.

SAFL BAFFLE SIZING DETAIL
UPSTREAM TECHNOLOGIES INC.
5201 EAST RIVER ROAD, SUITE 303
FRIDLEY, MN 55421
651-237-5123

6 SAFL BAFFLE
N.T.S.

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Georgia 30092
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CLIENT INFORMATION
City of Dunwoody
Georgia

PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE

ISSUED FOR PERMIT	04/11/2023
PERMIT COMMENTS REVISIONS	06/02/2023
CITY DESIGN REVISIONS	08/11/2023

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT #: 1230006

SHEET TITLE
CONSTRUCTION DETAILS

SHEET NUMBER
C-502

ORIGINAL SHEET SIZE:
22" X 34"

FILE PATH: X:\FY23\1230006\04_CAD_BIM\04_02_CAD\C-501_PLOTTED BY: URUETA, JUAN DATE: 10/2/17



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CLIENT INFORMATION



PROJECT NAME

**DUNWOODY
NATURE
CENTER**

5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE

04/11/2023
06/02/2023
08/11/2023

ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS

0 1 2

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE

**CONSTRUCTION
DETAILS**

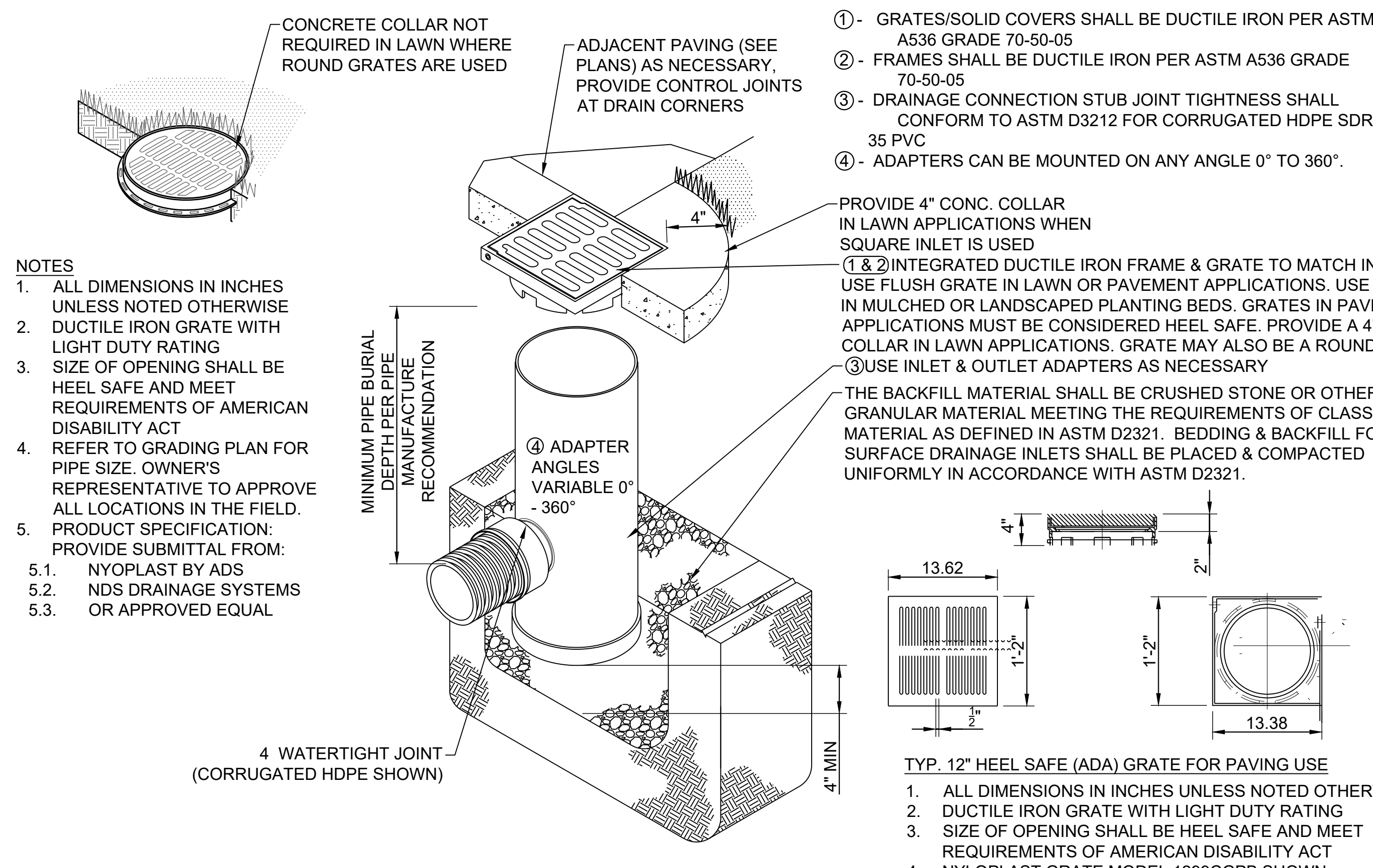
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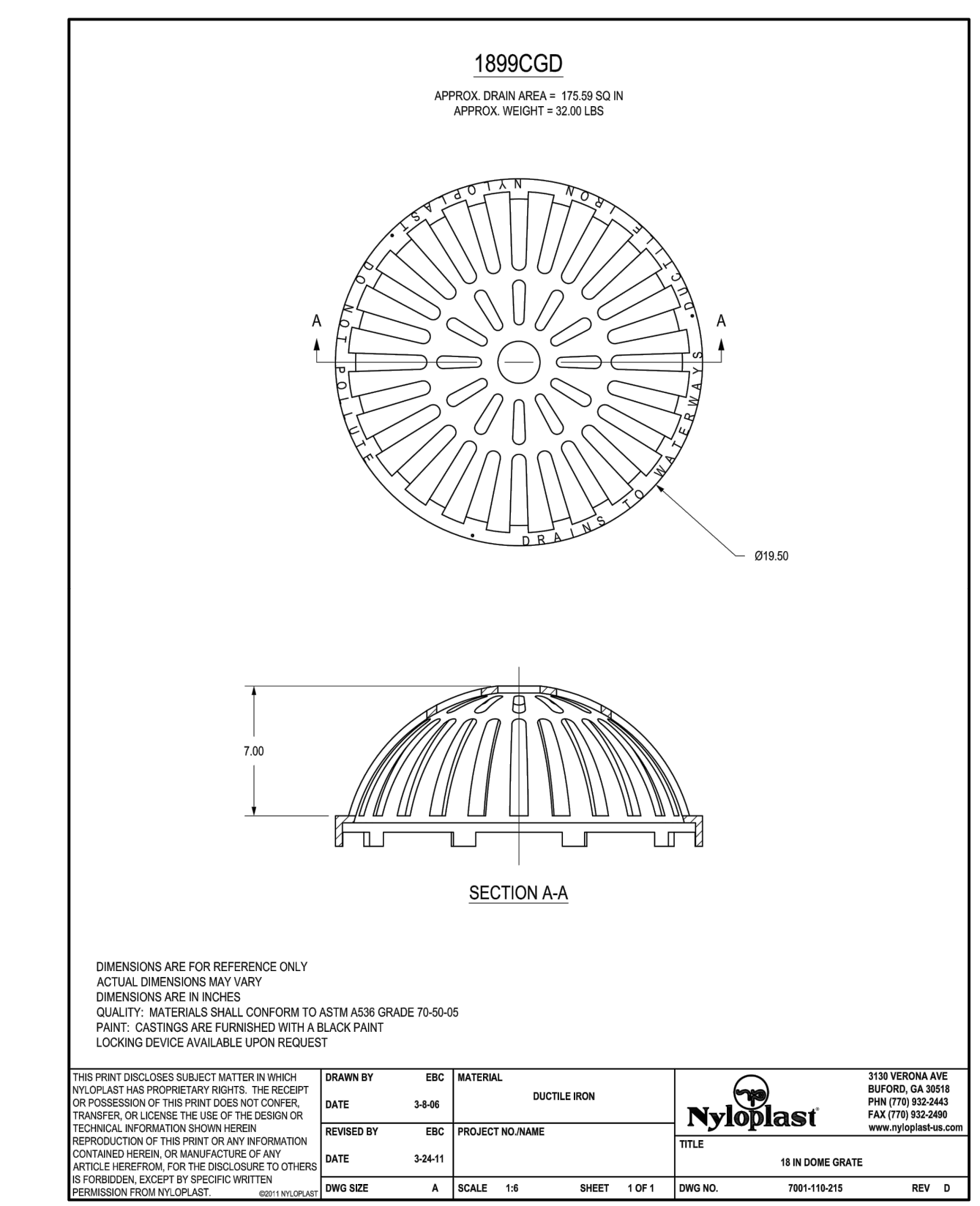
ORIGINAL SHEET SIZE:
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ISSUED FOR PERMIT

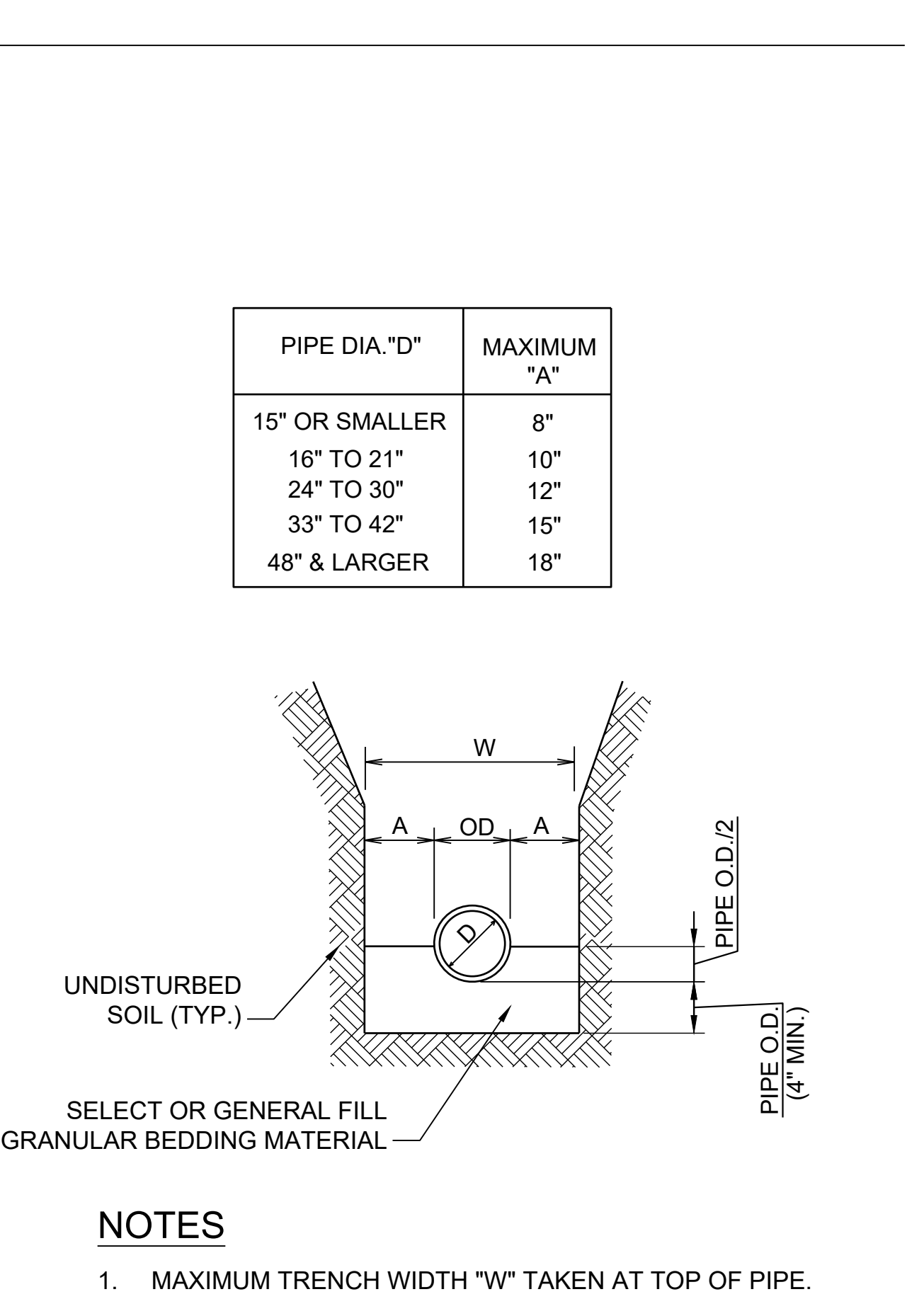
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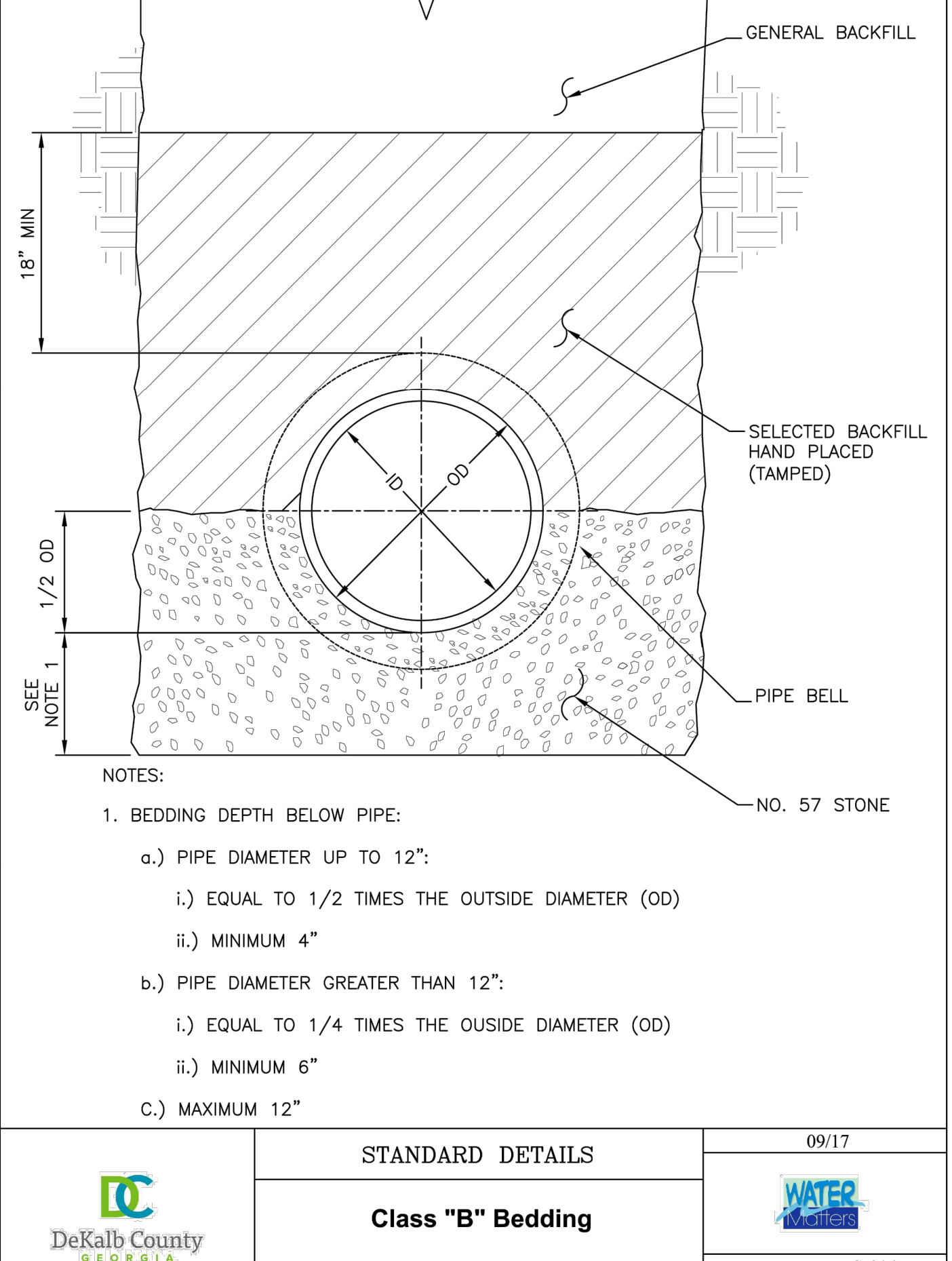
① NYLOPLAST YARD INLET
SCALE: NTS



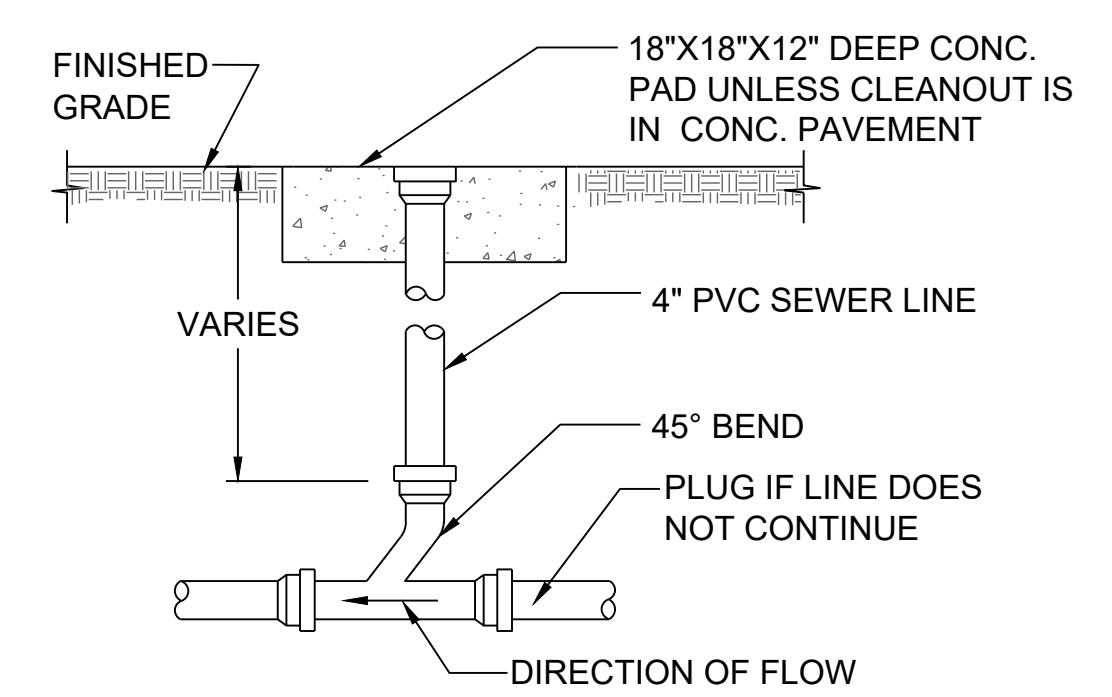
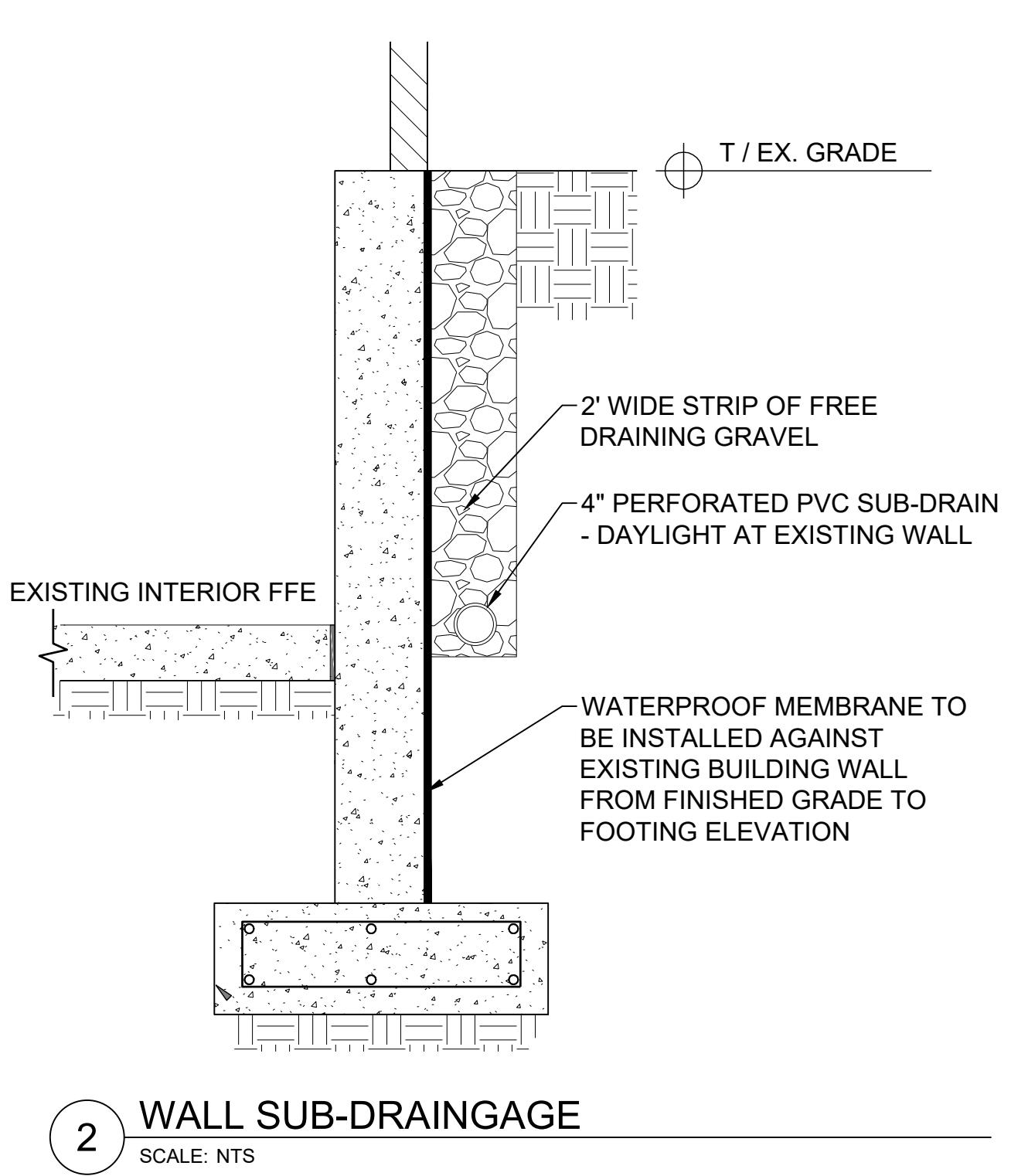
③ DOMED GRATE INLET
SCALE: NTS



④ STANDARD STORM PIPE BEDDING
SCALE: NTS



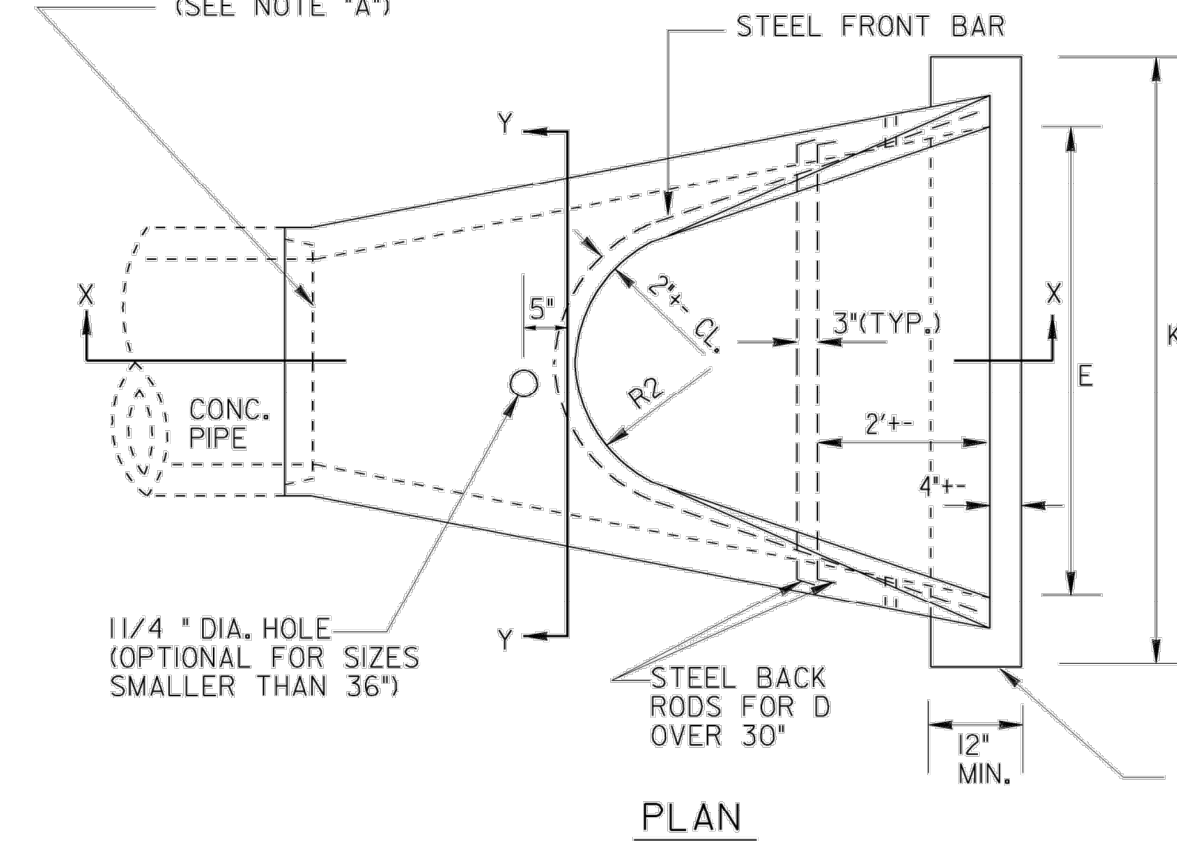
⑤ SANITARY SEWER PIPE BEDDING
SCALE: NTS



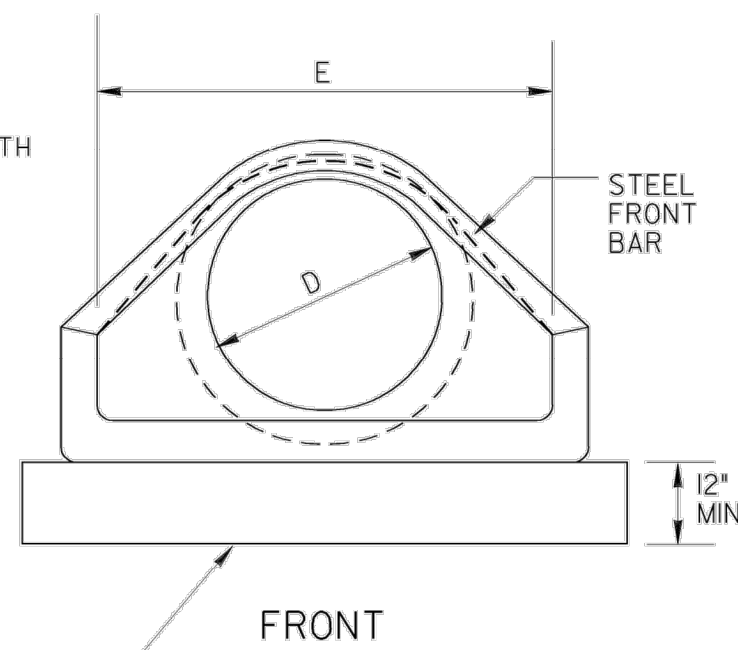
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END SECTION TO PIPE JOINT SHOWN AS TYPICAL: HUB END ON OUTLET END SECTIONS; SOCKET END ON INLET END SECTIONS (SEE NOTE "A")

CONCRETE FLARED END SECTION



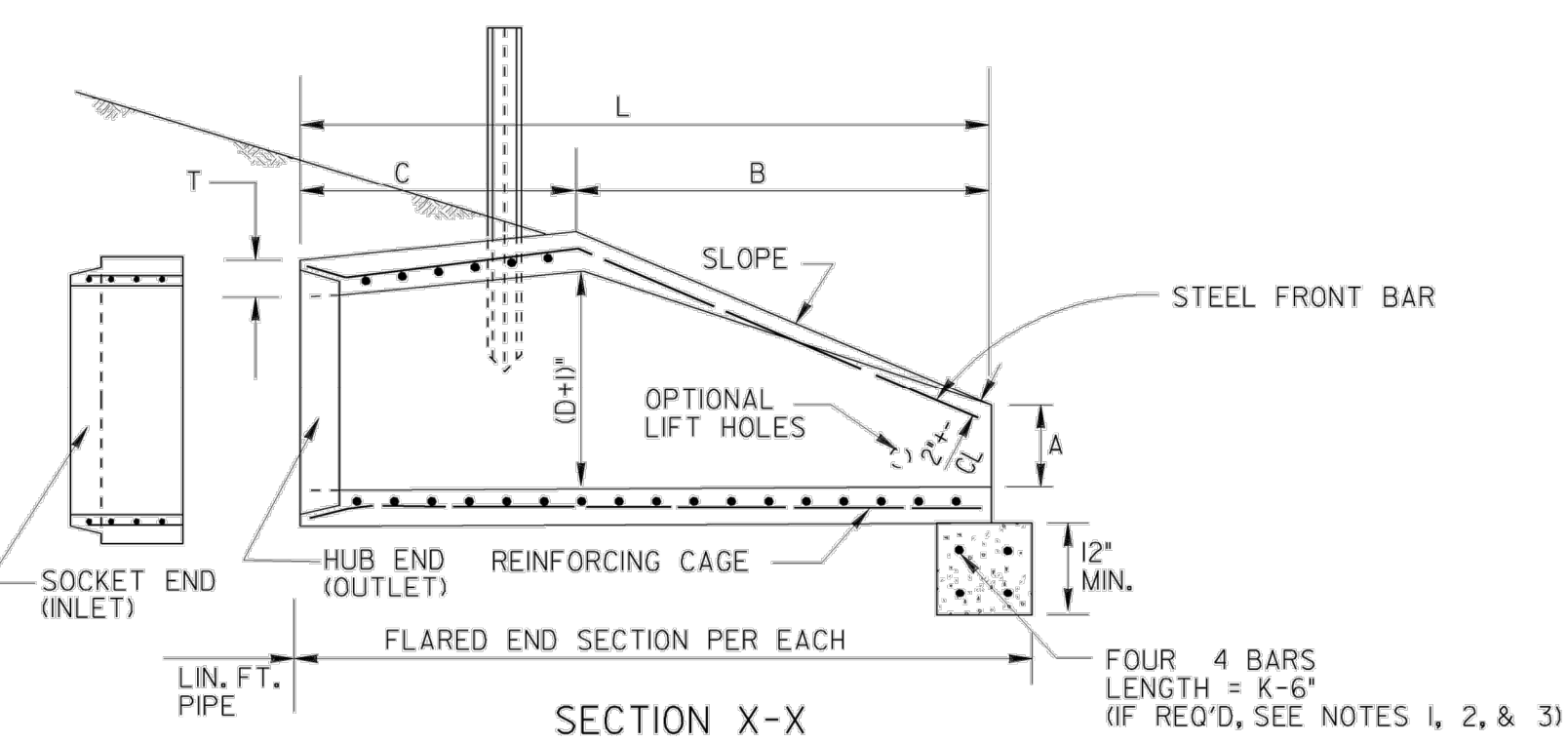
INSTALLATION: (D OVER 30") CABLE, CHAIN, OR LIFTING PIN WILL EXTEND THRU 1 1/4" HOLE WITH A PLATE OR REBAR CONNECTED INSIDE THE CONC. SECTION TO PROVIDE ADEQUATE BEARING AREA OR A LIFTING ASSEMBLY DEVICE MAY BE USED TO GIVE 3 LIFT POINTS, HOOKS CONNECTED DIRECTLY TO CONCRETE IS NOT PERMITTED. DAMAGE FROM IMPROPER HANDLING SHALL BE CAUSE FOR REJECTION.



FRONT

TOEWALL IF REQ'D. (TYPICAL FOR STORM DRAIN OUTLETS, SEE GEN. NOTES #1, 2, 3)

NOTE: DO NOT CUT CONCRETE PIPE. USE FULL LENGTH SECTIONS ONLY. WARP SLOPE TO CONFORM WITH PIPE LENGTH AND END SECTION.



SECTION X-X

REINFORCING CAGE:

- (1) WIRE FABRIC HAVING EQUAL STEEL AREA AS INNER CAGE FOR CLASS II PIPE, AASHTO M-10. (2) ALTERNATE: * 3 BARS SPACED 12" LONGITUDINALLY WITH * 2 BARS TRANSVERSELY AT 6" O.C. MAX. SPACING, SPOT WELDED OR TIED TO FORM CAGE. (BACK RODS MAY BE OMITTED.)

NOTE "A":

CONTRACTOR WILL INFORM PRODUCER IF CONCRETE FLARED END SECTION IS FOR INLET OR FOR OUTLET END. SOCKET (TONGUE OR SPIGOT) END IS REQUIRED FOR INLETS. HUB (GROOVE OR BELL) END IS REQUIRED FOR OUTLETS. SOCKET TO SOCKET OR HUB TO HUB JOINT WILL NOT BE ACCEPTED UNLESS A REINFORCED CONCRETE COLLAR IS BUILT AROUND THE JOINT WITH NO PAYMENT BEING MADE FOR THE COLLAR.

FLARED END SECTIONS SHALL BE JOINTED TO PIPE WITH ALL SPACE IN THE JOINT FILLED WITH EITHER BITUMINOUS PLASTIC CEMENT OR PREFORMED PLASTIC GASKET (SEC. 848).

WALL THICKNESS (T) IS SHOWN AS NOMINAL AND MAY BE INCREASED AT PRODUCER'S OPTION FOR DESIRED JOINT DESIGN OR TO ALLOW A FLAT OUTSIDE BOTTOM ON THE FLARE, WITH INSIDE DIMENSIONS OF FLARE RETAINED AS SHOWN.

T = PIPE WALL THICKNESS (0.0833D + 1"± TYPICAL)

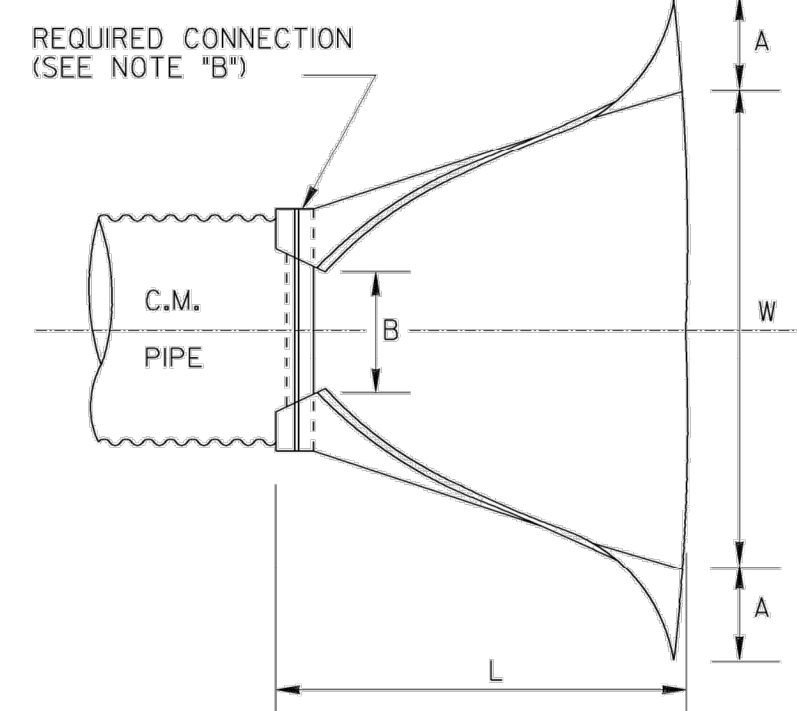
Table with columns: PIPE DIA, FRONT BAR, BACK RODS, SLOPE, A, B, C, L, E, P, R1, R2, K/E + 2', CU.YDS. CONC.

NOTE: SPECIFIED REINFORCING IS MINIMAL AND MAY BE INCREASED AT PRODUCERS OPTION TO AID CASTING & HANDLING. ALTERNATE REINFORCEMENT PERMITTED IF APPROVED.

* NOTE: "C" AND "L" DIMENSION MAY BE MEASURED TO EITHER END OF JOINT CONNECTION AT PIPE.

METAL FLARED END SECTION

(USE ONLY WITH COR. METAL PIPE)



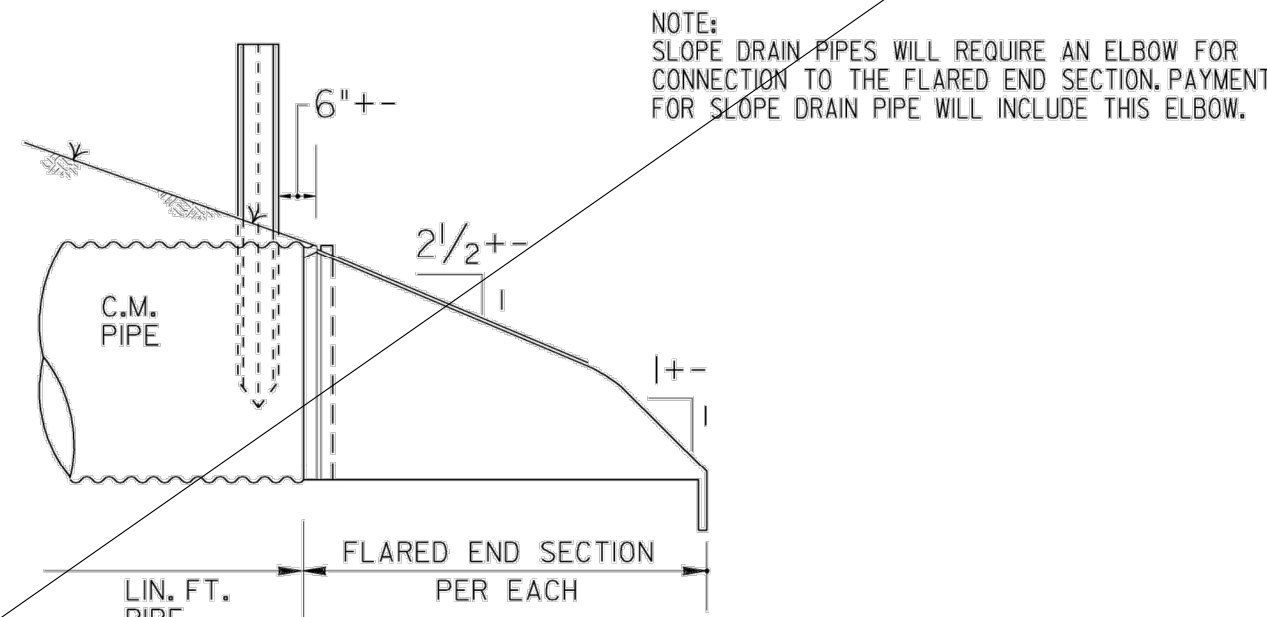
PLAN

NOTE: GALVANIZED STEEL FLARED END SECTIONS ARE TO BE USED ONLY WITH CORRUGATED STEEL PIPE AND ALUMINUM FLARED END SECTIONS ARE TO BE USED ONLY WITH CORRUGATED ALUMINUM PIPE UNLESS OTHERWISE APPROVED BY D.O.T. OFFICE OF MATERIALS AND TESTS.

FLARED END SECTION DIMENSIONS

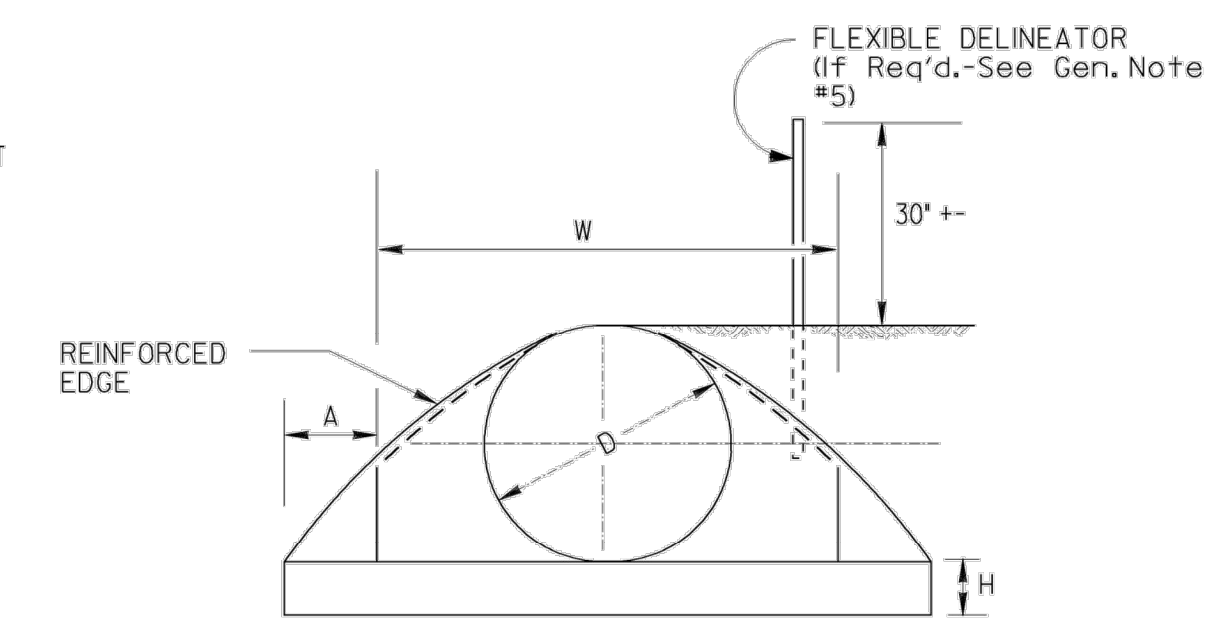
Table with columns: PIPE SIZE "D", THICKNESS (GALV. STEEL, ALUM.), A, B, H, L, W

NOTE: WHERE METAL FLARED END SECTIONS ARE USED WITH MULTIPLE PIPE LINES, THE STANDARD SPACING BETWEEN PIPES (S=D OR 3 FT.) MAY HAVE TO BE INCREASED (S=1.75 D TYPICAL) TO PREVENT OVERLAP OF END SECTION WINGTIPS. SEE ALSO STD. 1030D.



SIDE

NOTE: SLOPE DRAIN PIPES WILL REQUIRE AN ELBOW FOR CONNECTION TO THE FLARED END SECTION. PAYMENT FOR SLOPE DRAIN PIPE WILL INCLUDE THIS ELBOW.



FRONT

NOTE "B":

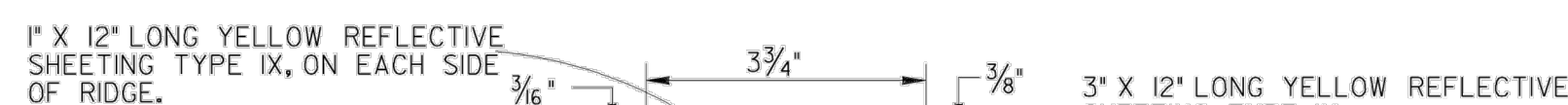
THE CONNECTION BETWEEN METAL FLARED END SECTION AND C.M. PIPE WILL BE ONE OF THE FOLLOWING:

- (a) A STRAP BAND OR THREADED ROD PROVIDED BY THE MANUFACTURER WILL LOCK END SECTION ONTO PIPE, A CORRUGATION AT THE PIPE AND WILL BE NON-SPIRALED (PERPENDICULAR TO CL OF PIPE)
(b) A DIMPLE BAND COLLAR WILL BE SHOP BOLTED TO END SECTION. PIPE WILL BE INSERTED INTO BAND COLLAR TO MEET THE END SECTION.
(c) A STUB PIPE WILL BE RIVETED TO THE END SECTION AND THE MAIN PIPE CONNECTED TO THE STUB WITH A NORMAL CONNECTING BAND.
(d) OTHER TYPE CONNECTION IF RECOMMENDED BY MANUFACTURER AND APPROVED BY THE D.O.T.

SPECIAL NOTE: FLARED END SECTIONS ARE NORMALLY LIMITED TO USE OUTSIDE THE CLEAR ZONE OR BEHIND BARRIER AND WHERE HYDRAULICS PERMIT. SEE OTHER STANDARDS OR DETAILS FOR TAPERED HEADWALLS, SAFETY SLOPE END SECTIONS OR OTHER PIPE END STRUCTURES.

GENERAL NOTES :

- 1. TOEWALLS ARE REQ'D. FOR OUTLETS OF CONC. STORM DRAINS, EXCEPT WHERE DITCH PAVING OR OTHER EROSION PROTECTION IS PROVIDED OR WHERE THE OUTLET VELOCITY IS LESS THAN 8 FT/SEC. TOEWALLS ARE NOT REQUIRED FOR SIDE DRAINS, SLOPE DRAINS OR INLETS OF STORM DRAINS THIS CRITERIA MAY BE VARIED WHERE SPECIFIED BY THE DESIGNER OR THE ENGINEER.
2. TOEWALLS WILL BE PAID FOR AS CU. YDS. OF CLASS "A" OR "B" CONCRETE. CONTRACTOR MAY ELECT TO CONSTRUCT TOE WALL WITH SAND CEMENT BAG RIPRAP OR STONE RIPRAP TO SAME MINIMUM DIMENSIONS WITH NO ADDITIONAL PAYMENT.
3. PRECAST TOEWALLS SHALL BE CL. "A" CONCRETE; CAST-IN-PLACE TOEWALLS MAY BE CL. "A" OR "B" CONCRETE AND MAY BE TRENCH FORMED. WHERE PLANS ITEMIZE ONE CLASS OF CONCRETE AND CONTRACTOR ELECTS TO USE OTHER CLASS, NO ADDITIONAL PAYMENT IS MADE. NO PAYMENT IS MADE FOR STEEL IN TOEWALL.
4. CENTERLINE OF FLARED END SECTION WILL ALIGN WITH CENTERLINE OF PIPE, IF PIPE IS SKEWED, THE EMBANKMENT SLOPE WILL BE WARPED TO CONFORM WITH END SECTION.
5. FLEXIBLE DELINEATORS SHALL BE REQUIRED AT CROSS DRAIN FLARED END SECTIONS, BOTH INLET AND OUTLET. PAYMENT FOR FLARED END SECTION WILL INCLUDE DELINEATORS, SEE DETAIL AND NOTES BELOW. DELINEATORS NOT REQ'D. FOR SIDE DRAIN, SLOPE DRAIN, OR LONG PIPE.



DELINEATOR POST SECTION (TYP.)

NOTE: DELINEATOR POST SHALL CONFORM TO SEC. 911 FOR FLEXIBLE DELINEATOR POST EXCEPT REFLECTIVE SHEETING IS NOT REQUIRED AND LENGTH IS 4'-6" FROM TOP TO BOTTOM POINT. ALTERNATES PERMITTED IF APPROVED BY D.O.T. LABORATORY.

SPECIAL NOTE :

PIPE SIZES (D) ARE "NOMINAL-MINIMUM" INSIDE DIAMETERS IN ACCORDANCE WITH GEORGIA STANDARD FOR PIPE CULVERTS. "D" DIMENSION FOR FLARED END SECTION SHALL EQUAL THE "D" DIMENSION FOR CONNECTING PIPE CULVERT.

Table with columns: STATE, PROJECT NUMBER, SHEET NO., TOTAL SHEETS



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CLIENT INFORMATION



PROJECT NAME

DUNWOODY NATURE CENTER

5321 ROBERTS DR, DUNWOODY, GA 30338

DRAWING ISSUE

04/11/2023 06/02/2023 08/11/2023

ISSUED FOR PERMIT PERMIT COMMENTS REVISIONS CITY DESIGN REVISIONS

0 1 2

DESIGNED BY: ST/MF DRAWN BY: AB/JU CHECKED BY: DM SUBMITTED BY: MF DATE: 08/11/2023 PROJECT #: 1230006

SHEET TITLE

CONSTRUCTION DETAILS

DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA

STANDARD FLARED END SECTIONS FOR PIPES

NO SCALE REV. & REDR. SEPT., 1999

DES. (SUBMITTED) STATE ROAD & AIRPORT DESIGN ENGINEER REV. (APPROVED) CHIEF ENGINEER

NUMBER 1120

SHEET NUMBER

C-504

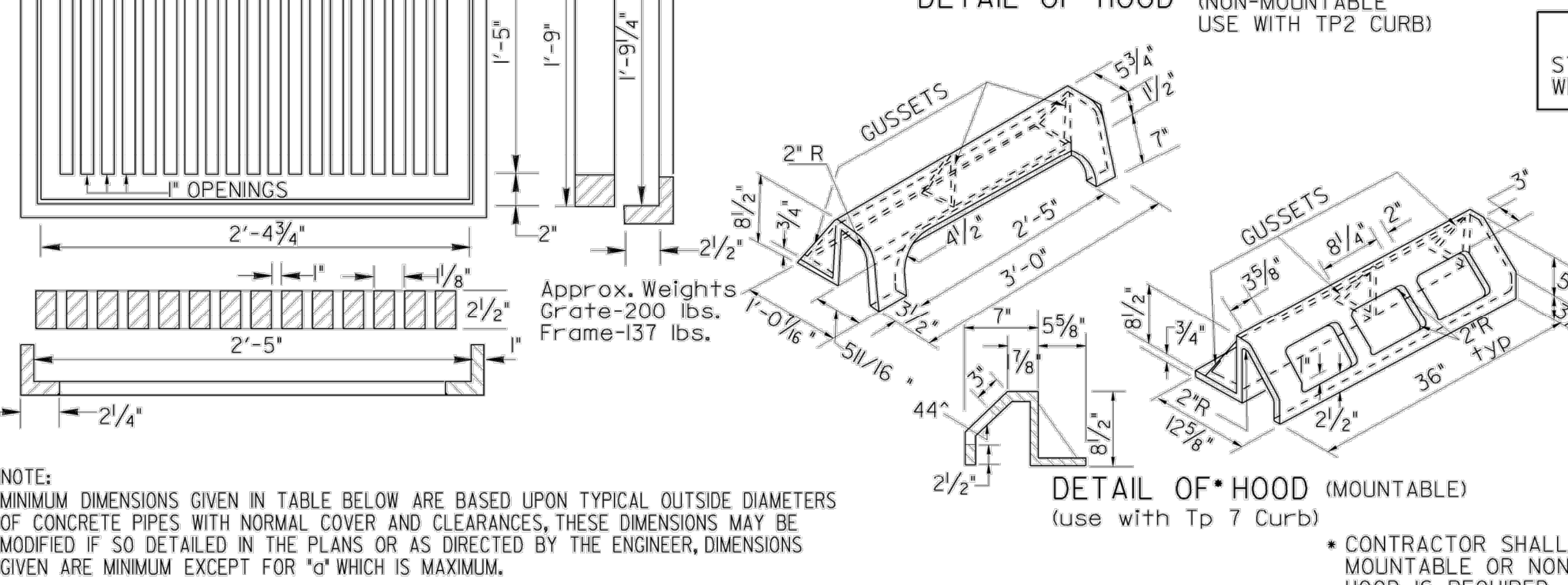
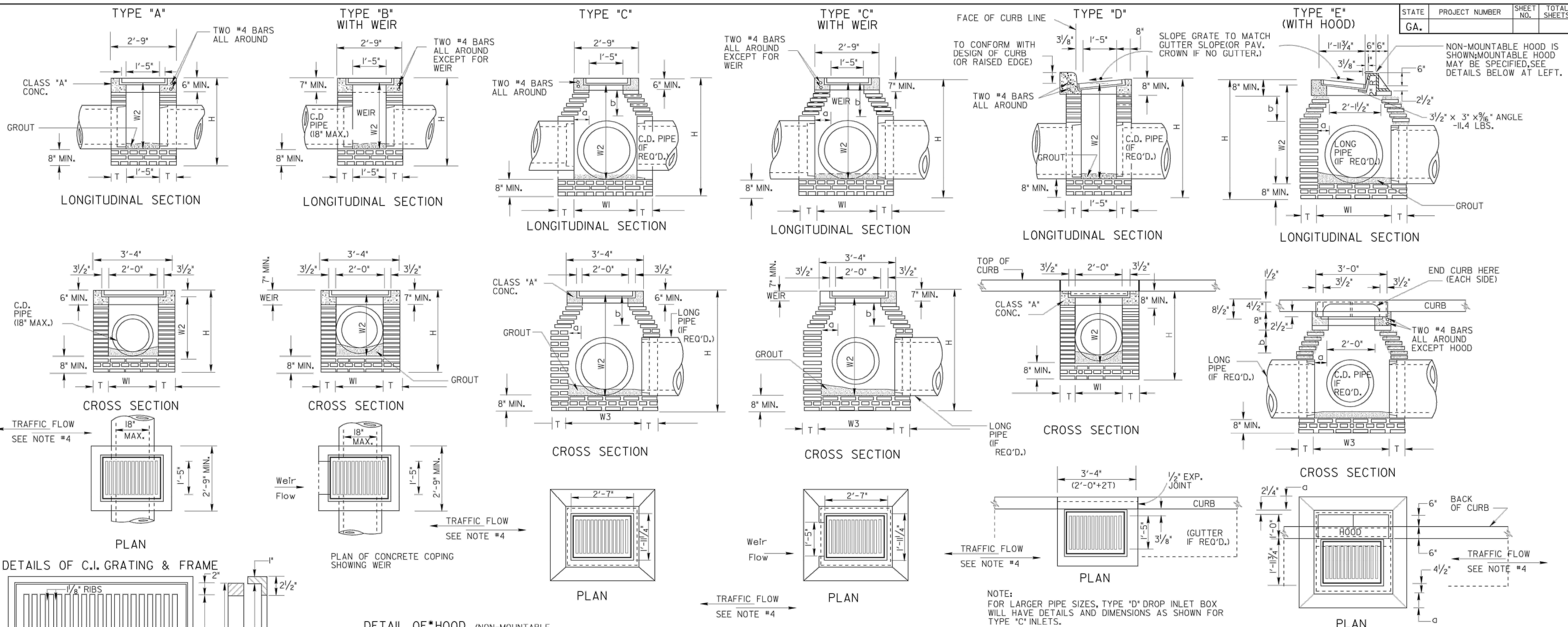
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ISSUED FOR PERMIT

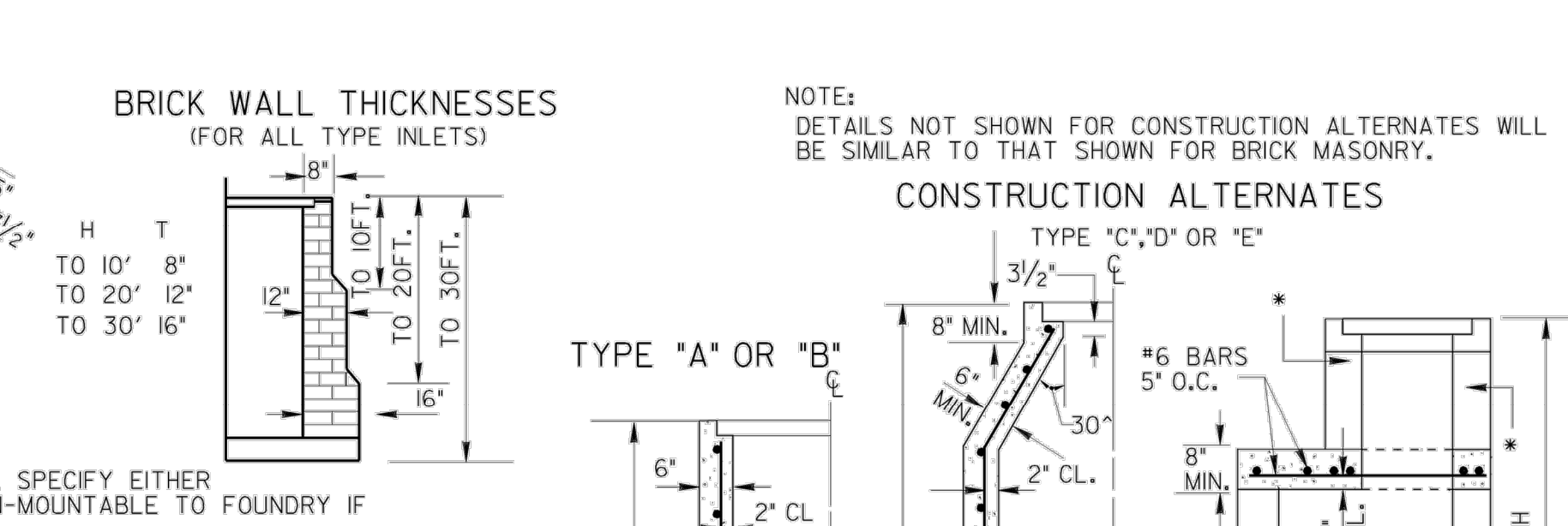
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6/7/2006 11:00:07 AM \\S00T-DSK1\B0PLOT\0CF\qo-111f-ouput-af, gowens M:\GARF\1019A F1X\1019A.drf 00-P06



SPECIAL NOTE:
STANDARD 1019A INLETS ARE FOR USE AT LOW POINTS & WHERE HYDRAULIC LOW CAPACITY GRATES ARE SUFFICIENT. WHERE HIGHER CAPACITY GRATES ARE NEEDED ON A CONTINUOUS GRADE, STANDARD 1019B IS RECOMMENDED.



GENERAL NOTES:

- SPECIFICATIONS: GEORGIA STANDARD AND CURRENT EDITION, AND SUPPLEMENTS THERETO.
- 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE RIGID PAVEMENT, CONCRETE SIDEWALK OR CONCRETE GUTTER MEETS DROP INLETS.
- ALIGNMENT, NUMBER AND SIZES OF PIPES SHOWN ARE ONLY TYPICAL, SEE PLANS FOR ACTUAL PIPE CULVERT REQUIREMENTS.
- ALL TYPE DROP INLETS WILL BE CONSTRUCTED (AS SHOWN), SO THAT THE GRATE BARS ARE PERPENDICULAR TO THE FLOW OF TRAFFIC EXCEPT ON LIMITED ACCESS PROJECTS OR WHERE BICYCLES ARE PROHIBITED.
- BRICK MASONRY WITH CLASS 'A' CONC. TOP PORTION IS SHOWN AS STANDARD CONSTRUCTION WITH ALTERNATES PERMITTED AS SHOWN, BOTTOM SLAB MAY BE 8" MIN. NON-REINFORCED CONCRETE, 8" BRICK OR 6" MIN. REINFORCED CONCRETE, SEE APPLICABLE STANDARDS FOR ALTERNATE PRECAST CONSTRUCTION.

TABLE OF MINIMUM DIMENSIONS FOR DROP INLETS

D	TYPES 'A' or 'B' BRICK OR REINF. CONC.			TYPE 'C' OR 'D' (BRICK)					TYPE 'E' (BRICK)					TYPE 'C', 'D' OR 'E' (REINFORCED CONCRETE)								
	W1	W2	H(min.)	W1	W2	W3	a (MAX.)	b	H(min.)	W1	W2	W3	a (MAX.)	b	H(min.)	W1	W2	W3	a (MAX.)	b	H(min.)	
15"	2'-0"	2'-7"	3'-3 1/2"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	3'-9 1/2"	3'-2 1/8"	3'-1"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	3'-11 1/2"	2'-0"	2'-1"	2'-7"	2'-0"	3 1/2"	6"	3'-6"
18"	2'-0"	2'-7"	3'-7"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	4'-1"	3'-2 1/8"	3'-4 1/2"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	4'-1"	2'-0"	2'-1"	3'-0"	2'-0"	3 1/2"	6"	3'-11"
24"	2'-0"	2'-10"	3'-7"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	4'-1"	3'-2 1/8"	3'-4 1/2"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	4'-8 1/4"	2'-8"	2'-9"	3'-8"	2'-6"	6 1/2"	11 1/4"	4'-7"
30"	2'-0"	2'-10"	3'-7"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	4'-1"	3'-2 1/8"	3'-4 1/2"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	4'-8 1/4"	2'-8"	2'-9"	3'-8"	2'-6"	6 1/2"	11 1/4"	4'-7"
36"	2'-0"	2'-10"	3'-7"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	4'-1"	3'-2 1/8"	3'-4 1/2"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	4'-8 1/4"	2'-8"	2'-9"	3'-8"	2'-6"	6 1/2"	11 1/4"	4'-7"
42"	2'-0"	2'-10"	3'-7"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	4'-1"	3'-2 1/8"	3'-4 1/2"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	4'-8 1/4"	2'-8"	2'-9"	3'-8"	2'-6"	6 1/2"	11 1/4"	4'-7"
48"	2'-0"	2'-10"	3'-7"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	4'-1"	3'-2 1/8"	3'-4 1/2"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	4'-8 1/4"	2'-8"	2'-9"	3'-8"	2'-6"	6 1/2"	11 1/4"	4'-7"
54"	2'-0"	2'-10"	3'-7"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	4'-1"	3'-2 1/8"	3'-4 1/2"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	4'-8 1/4"	2'-8"	2'-9"	3'-8"	2'-6"	6 1/2"	11 1/4"	4'-7"
60"	2'-0"	2'-10"	3'-7"	2'-11"	2'-9 1/2"	3'-3 1/2"	0'-4 3/8"	0'-7 1/8"	4'-1"	3'-2 1/8"	3'-4 1/2"	3'-0 3/8"	0'-7 3/8"	1'-1 1/8"	4'-8 1/4"	2'-8"	2'-9"	3'-8"	2'-6"	6 1/2"	11 1/4"	4'-7"

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA

STANDARD DROP INLETS (BUILT-IN-PLACE)

SCALE AS SHOWN REV. & REDR. AUG., 1999

DES. (SUBMITTED) *James H. Kaul* STATE ROAD & AIRPORT DESIGN ENGR.
 TR. (APPROVED) *Paul L. Smith* CHIEF ENGINEER
 CHR.

NUMBER 1019A

6/7/2006 11:00:07 AM \\S00T-DSK1\B0PLOT\0CF\qo-111f-ouput-af, gowens M:\GARF\1019A F1X\1019A.drf 00-P06

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 CLIENT INFORMATION

City of **Dunwoody** Georgia

PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

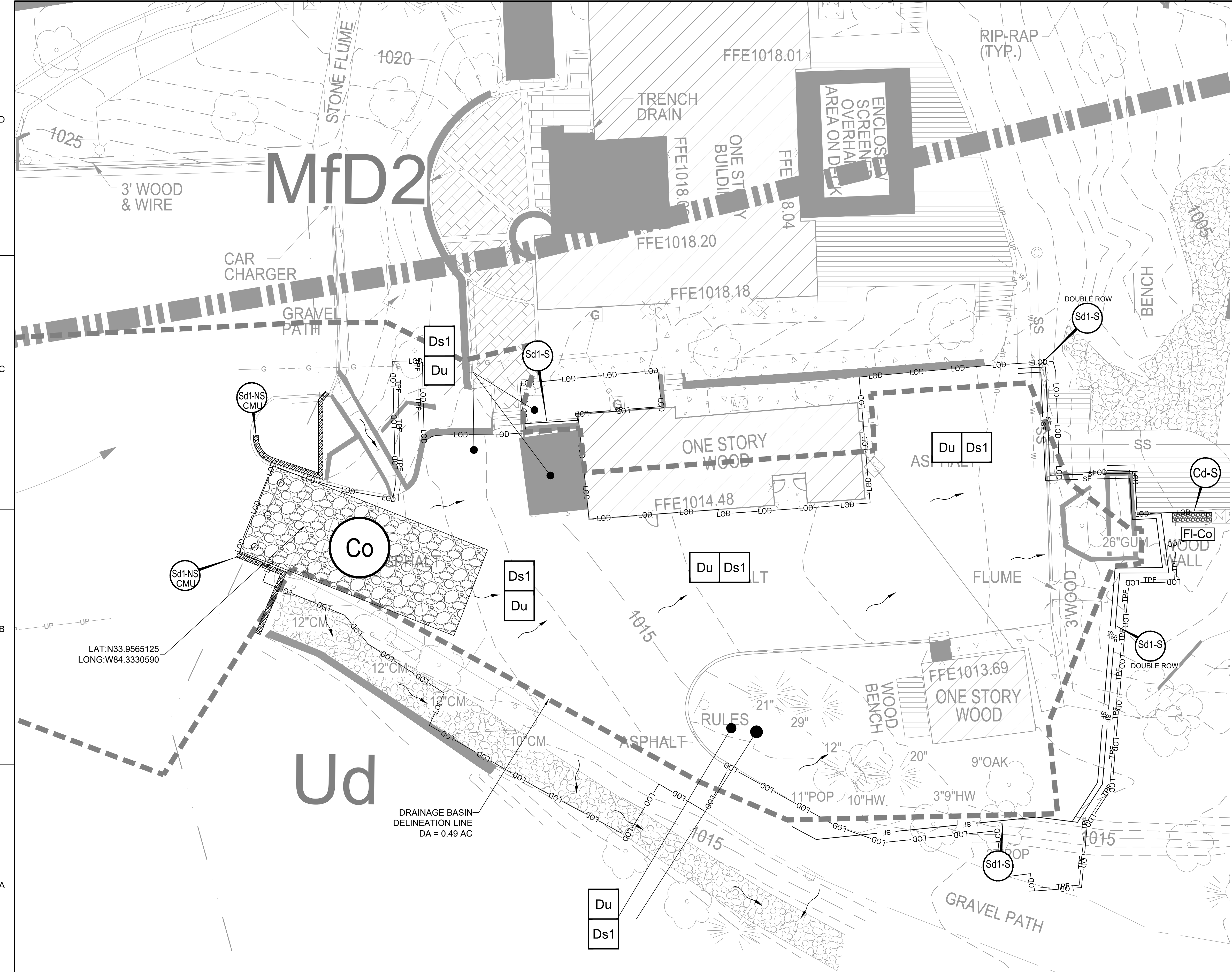
DRAWING ISSUE
04/11/2023
06/02/2023
08/11/2023
ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT #: 1230006

SHEET TITLE
CONSTRUCTION DETAILS

SHEET NUMBER
C-505

ORIGINAL SHEET SIZE: 22" X 34"



GENERAL SHEET NOTES

- REFER TO SHEET CE001 & CE002 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF EROSION CONTROL PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- THERE ARE NO KNOWN WETLANDS LOCATED ONSITE.
- NO STATE WATERS EXIST ONSITE.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ANY DISTURBED AREA LEFT IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH PERMANENT SEEDING.

INITIAL EROSION CONTROL NARRATIVE

DURING THE INITIAL PHASE, ONE CONSTRUCTION EXIT (Co) WILL BE INSTALLED AT THE ENTRANCE TO THE SITE. SILT FENCE WILL BE INSTALLED PRIOR TO CLEARING AND GRADING OPERATIONS TO KEEP SEDIMENT CONTAINED WITHIN THE SITE AS NECESSARY. DISTURBED AREA STABILIZATION SHALL BE STABILIZED WITH MULCH (Ds1), TEMPORARY SEEDING (Ds2) AND DUST CONTROL (Du) WILL BE UTILIZED DURING THIS PHASE. SEDIMENT STORAGE WILL BE PROVIDED BY SILT FENCE (Sd1). PHASE I DISTURBANCE SHALL BE LIMITED TO AREAS NECESSARY TO INSTALL PERIMETER CONTROLS AND SEDIMENT STORAGE.

SHEET LEGEND

- SILT FENCE
- LIMITS OF DISTURBANCE
- TREE PROTECTION FENCE
- DRAINAGE BASIN LINE DELINEATION
- SOIL TYPE (SEE CE002 FOR SOIL TYPE AND LEGEND)

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CLIENT INFORMATION

City of
Dunwoody
 Georgia

PROJECT NAME

DUNWOODY NATURE CENTER

5321 ROBERTS DR,
 DUNWOODY, GA
 30338

DRAWING ISSUE

ISSUED FOR PERMIT	04/11/2023
PERMIT COMMENTS REVISIONS	06/02/2023
CITY DESIGN REVISIONS	08/11/2023

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DESIGNED BY: ST/MF
 DRAWN BY: AB/JU
 CHECKED BY: DM
 SUBMITTED BY: MF
 DATE: 08/11/2023
 PROJECT #: 1230006

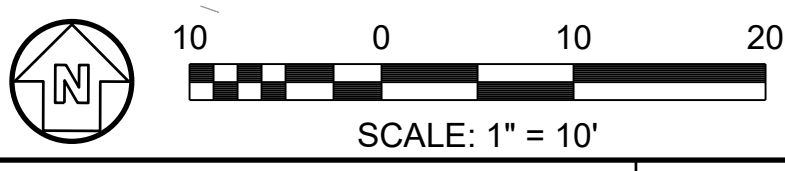
INITIAL EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER

CE101

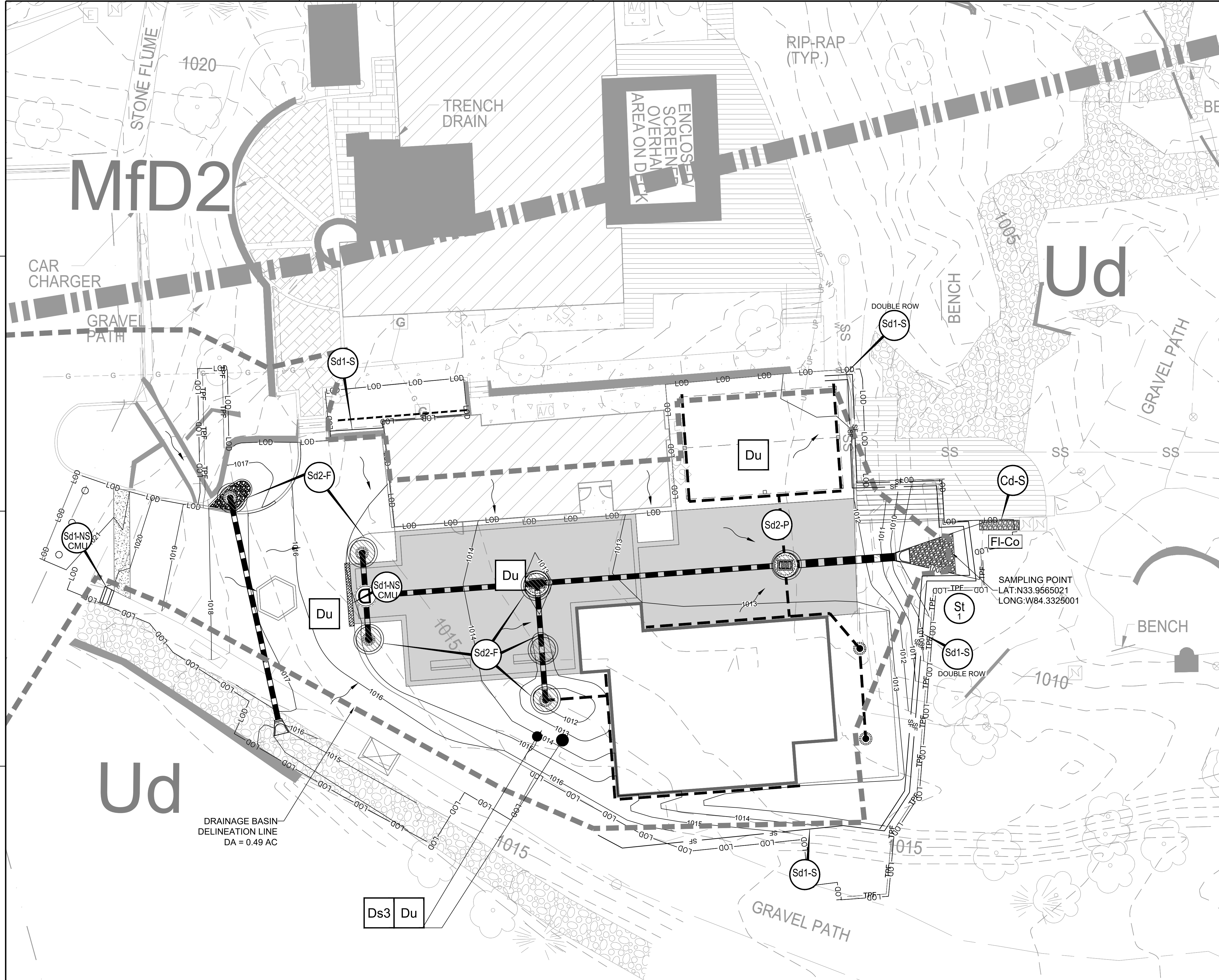
ORIGINAL SHEET SIZE:
 22" X 34"

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A1 INITIAL CONTROL AND SEDIMENT CONTROL PLAN
 SCALE: 1" = 10'

FILE PATH: X:\FY23\1230006\04 CAD_BIM\04_02 CAD\CE101 PLOTTED BY: URUETA, JUAN DATE: 10/2/17



GENERAL SHEET NOTES

- REFER TO SHEET CE001 & CE002 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF EROSION CONTROL PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- THERE ARE NO KNOWN WETLANDS LOCATED ONSITE.
- NO STATE WATERS EXIST ONSITE.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ANY DISTURBED AREA LEFT IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH PERMANENT SEEDING.

FINAL EROSION CONTROL NARRATIVE

DURING THE FINAL PHASE, MOST OF THE CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED AND ALL DISTURBED AREAS SHALL RECEIVE FINAL STABILIZATION. PERMANENT SEEDING (Ds3) SHALL BE INSTALLED. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE UPSTREAM SITE IS STABILIZED. CONTRACTOR TO COORDINATE WITH LANDSCAPE PLANS FOR PERMANENT LANDSCAPING AND PERMANENT SODDING. INLET SEDIMENT TRAP PROTECTION WILL BE USED TO HELP PREVENT SEDIMENT FROM ENTERING ANY EXISTING INLETS. SEDIMENT STORAGE OF 67 CY PER DISTURBED ACRE IS PROVIDED BY IN THE SILT FENCE AND THE COMPOST FILTER SOCKS.

SHEET LEGEND

	SILT FENCE
	LIMITS OF DISTURBANCE
	TREE PROTECTION FENCE
	DRAINAGE BASIN LINE DELINEATION
	SOIL TYPE (SEE CE002 FOR SOIL TYPE AND LEGEND)

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CLIENT INFORMATION

PROJECT NAME
DUNWOODY NATURE CENTER
 5321 ROBERTS DR,
 DUNWOODY, GA
 30338

DRAWING ISSUE

ISSUED FOR PERMIT	04/11/2023
PERMIT COMMENTS REVISIONS	06/02/2023
CITY DESIGN REVISIONS	08/11/2023

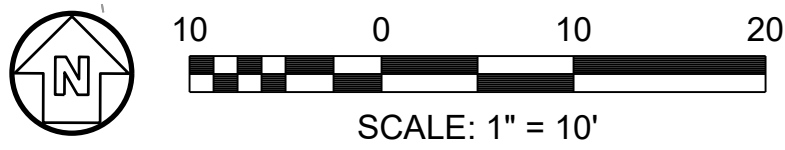
DESIGNED BY:	ST/MF
DRAWN BY:	AB/JU
CHECKED BY:	DM
SUBMITTED BY:	MF
DATE:	08/11/2023
PROJECT #	1230006

FINAL EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER
CE201

ORIGINAL SHEET SIZE:
 22" X 34"

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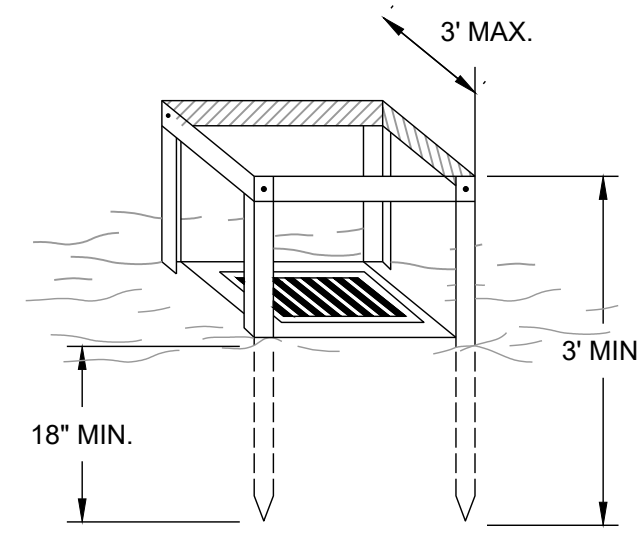


A1 FINAL EROSION CONTROL PLAN
 SCALE: 1" = 10'

FILE PATH: X:\FY23\1230006\04 CAD_BIM\04_02 CAD\CE101 PLOTTED BY: URUETA, JUAN DATE: 10/21/23

ISSUED FOR PERMIT

NOTE:
 PETROLEUM STORAGE SHALL BE DONE IN ACCORDANCE WITH ONE OF THE TWO FOLLOWING METHODS TO PREVENT STORM WATER DISCHARGES ON THE SITE: A). ALL PETROLEUM STORAGE CONTAINERS SHALL BE COVERED WITH PLASTIC SHEATHING OR BE LOCATED UNDER A TEMPORARY ROOF. B). ALL PETROLEUM STORAGE CONTAINERS SHALL BE LOCKED IN A SECONDARY CONTAINMENT AREA.

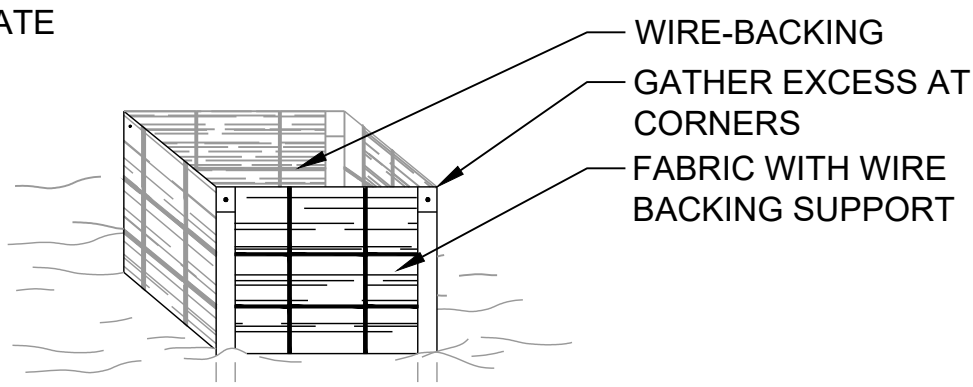
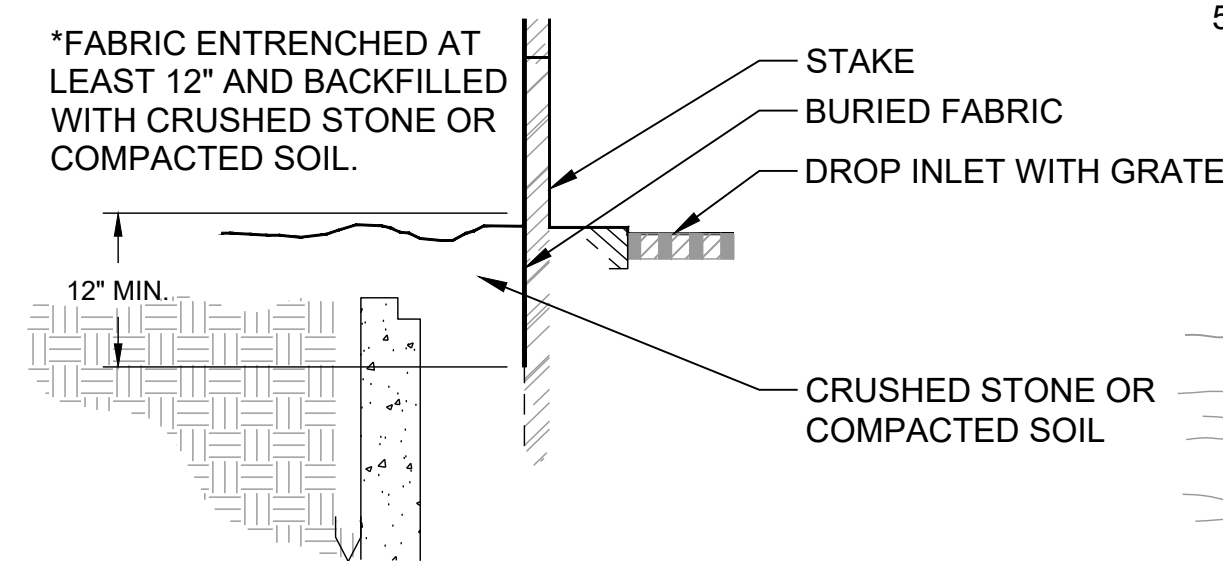
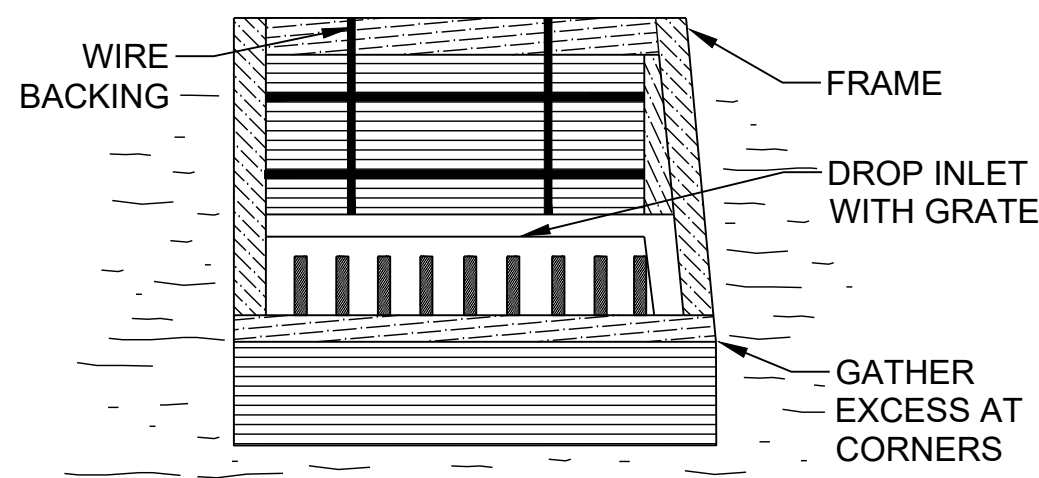


MAINTENANCE

THE TRAP SHALL BE INSPECTED DAILY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT TRAP AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET, AGAIN. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHALL BE REMOVED, AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHALL BE BROUGHT TO PROPER GRADE, THEN SMOOTHED AND COMPACTED. APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET.

INSTALLATION NOTES

- DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
- STAKES SHALL BE STEEL POSTS @ 3' MIN. & 1.3 LBS/FT.
- THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
- THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
- THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.



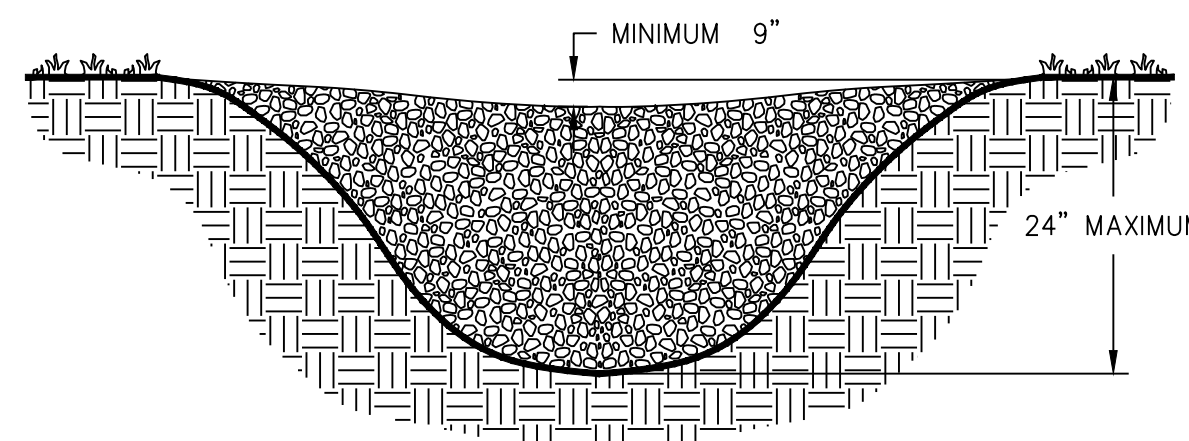
INLET SEDIMENT TRAP - FILTER FABRIC WITH SUPPORTING FRAME

B4 NO SCALE

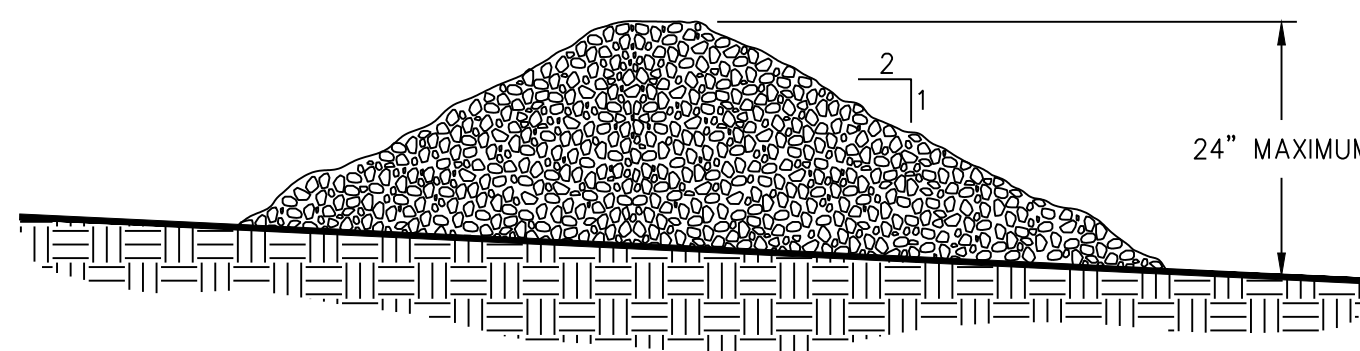
Sd2-F

STONE CHECK DAM

CROSS SECTION



PROFILE VIEW



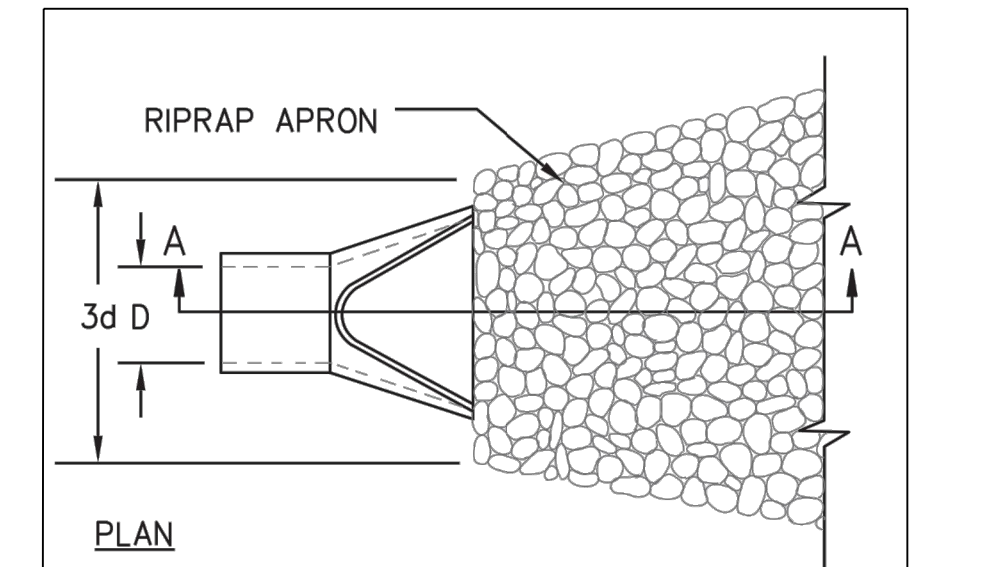
NOTES:

- CHECK DAMS ARE TO BE USED ONLY IN SMALL OPEN CHANNELS (THEY ARE NOT TO BE USED IN LIVE STREAMS).
- THE DRAINAGE AREA FOR STONE CHECK DAMS SHALL NOT EXCEED TWO ACRES.
- THE CENTER OF THE CHECK DAM MUST BE AT LEAST 9 INCHES LOWER THAN THE OUTER EDGES.
- THE DAM HEIGHT SHOULD BE A MAXIMUM OF 2 FEET FROM CENTER TO RIM EDGE.
- THE SIDE SLOPES OF THE CHECK DAM SHALL NOT EXCEED A 2:1 SLOPE.
- GEOTEXTILE SHALL BE USED TO PREVENT THE MITIGATION OF SUBGRADE SOIL PARTICLES INTO THE STONES (REFER TO AASHTO M288-96, SECTION 7.3, TABLE 3).

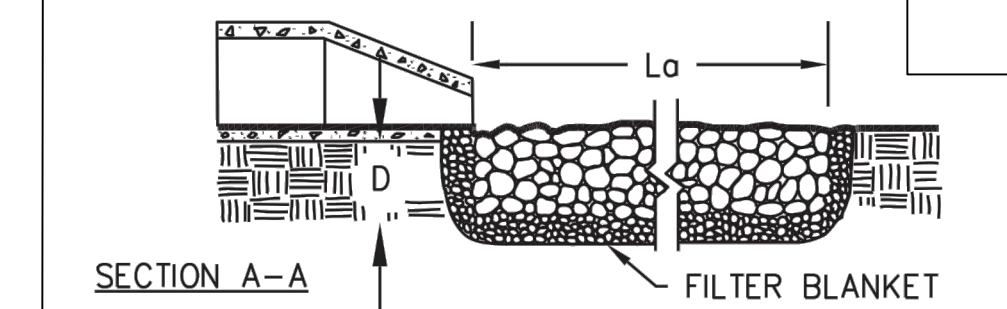
A2 NO SCALE

STONE CHECK DAM

Cd-S

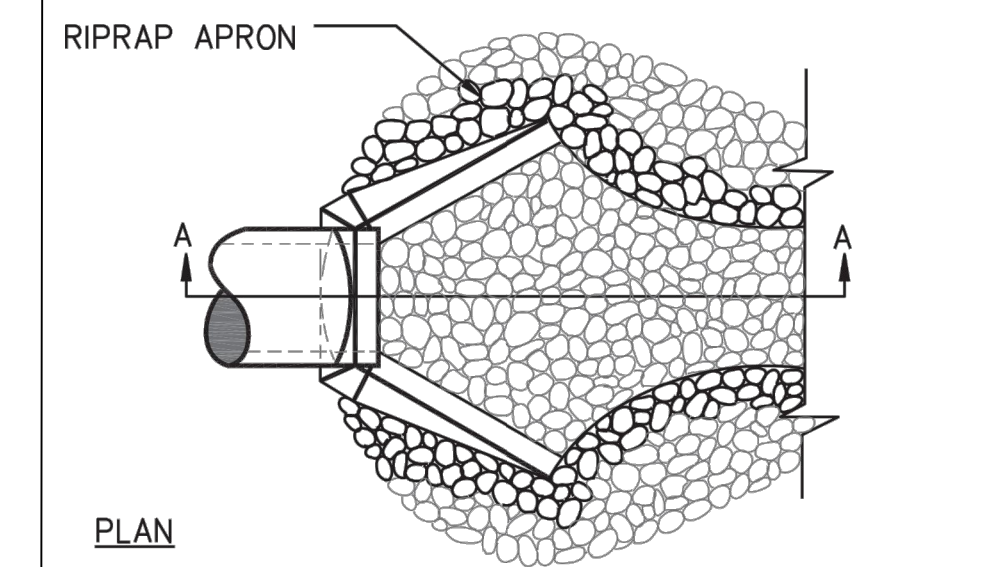


PLAN

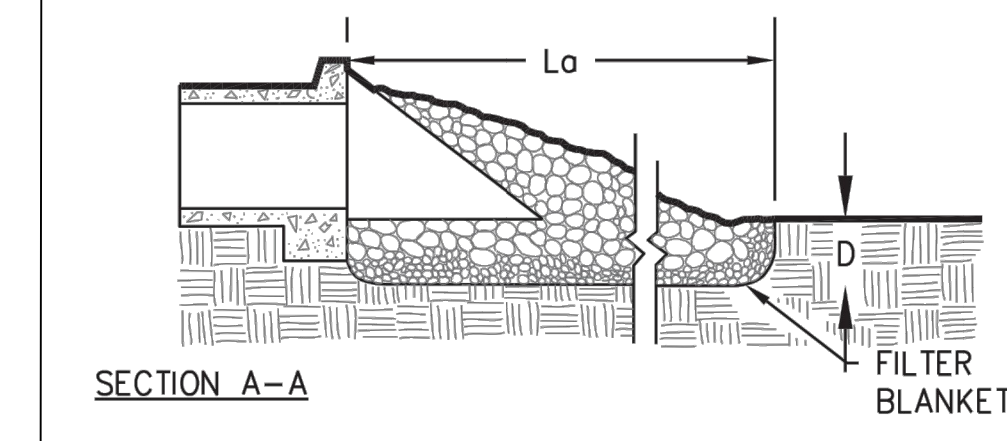


SECTION A-A

PIPE OUTLET TO WELL DEFINED CHANNEL



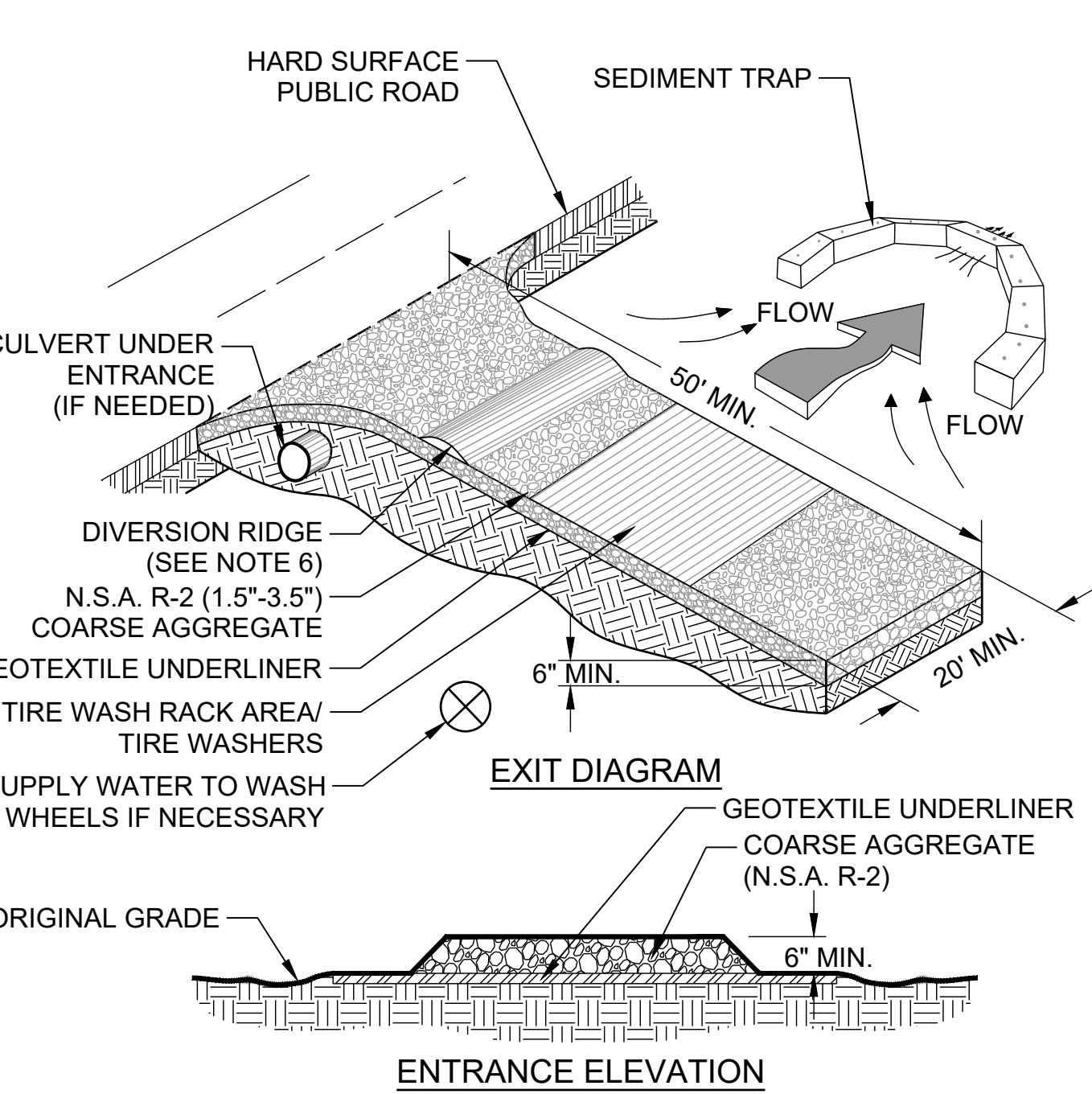
PLAN



SECTION A-A

NOTES:

- Lo IS THE LENGTH OF THE RIPRAP APRON.
- D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
- IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
- A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.



NOTES

- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
- REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
- AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
- GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
- PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
- A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
- INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
- WASH RACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASH RACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
- MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

B2 CONSTRUCTION ENTRANCE

NO SCALE

Co

Operation and Maintenance

Application rates shall conform to manufacturer's guidelines for application. Maintenance shall consist of reapplying FI-Co via one of means above when turbidity levels are no longer met or the FI-Co is used up. Bricks, blocks, socks, logs and bags shall be maintained when sediment sediment accumulates on the products.

A1 FLOCCULANTS COAGULANTS

NO SCALE

FI-Co

Riprap Apron Summary											
(St)	Pipe Diameter (Do)	Flow Rate (cfs)	Velocity (fps)	Tailwater (Min/Max)	Riprap size (d50)	Max Stone Size	Apron Thickness	Apron Length (La)	Apron Width at HW (W=3Do)	Apron Width at End (W=Do+La)	Apron Weight (tons)
1	18	12.5	3.91	Min	0.5	0.75	1.125	9	4.5	10.5	2.9
						0	0	0	0	0	0.0

A2 STORM OUTLET PROTECTION

NO SCALE

St

24-HOUR EROSION AND SEDIMENTATION CONTROL CONTACT: CARL B. THOMAS SR. 678.382.6700

DESIGN PROFESSIONAL: MATT FELTS, P.E. LEVEL II CERTIFICATION No.: 0000087020 EXPIRES: 05/01/2025



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DPR SEAL



CLIENT INFORMATION



PROJECT NAME

DUNWOODY NATURE CENTER

5321 ROBERTS DR, DUNWOODY, GA 30338

DRAWING ISSUE

04/11/2023
06/02/2023
08/11/2023

ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS

0 1 2

DESIGNED BY: ST/MF
 DRAWN BY: AB/JU
 CHECKED BY: DM
 SUBMITTED BY: MF
 DATE: 08/11/2023
 PROJECT # 1230006

SHEET TITLE

EROSION AND SEDIMENT CONTROL DETAILS

SHEET NUMBER

CE501

ORIGINAL SHEET SIZE: 22" X 34"

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Packet page:...

**UNIFORM CODING SYSTEM
EROSION CONTROL LEGEND
FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES**

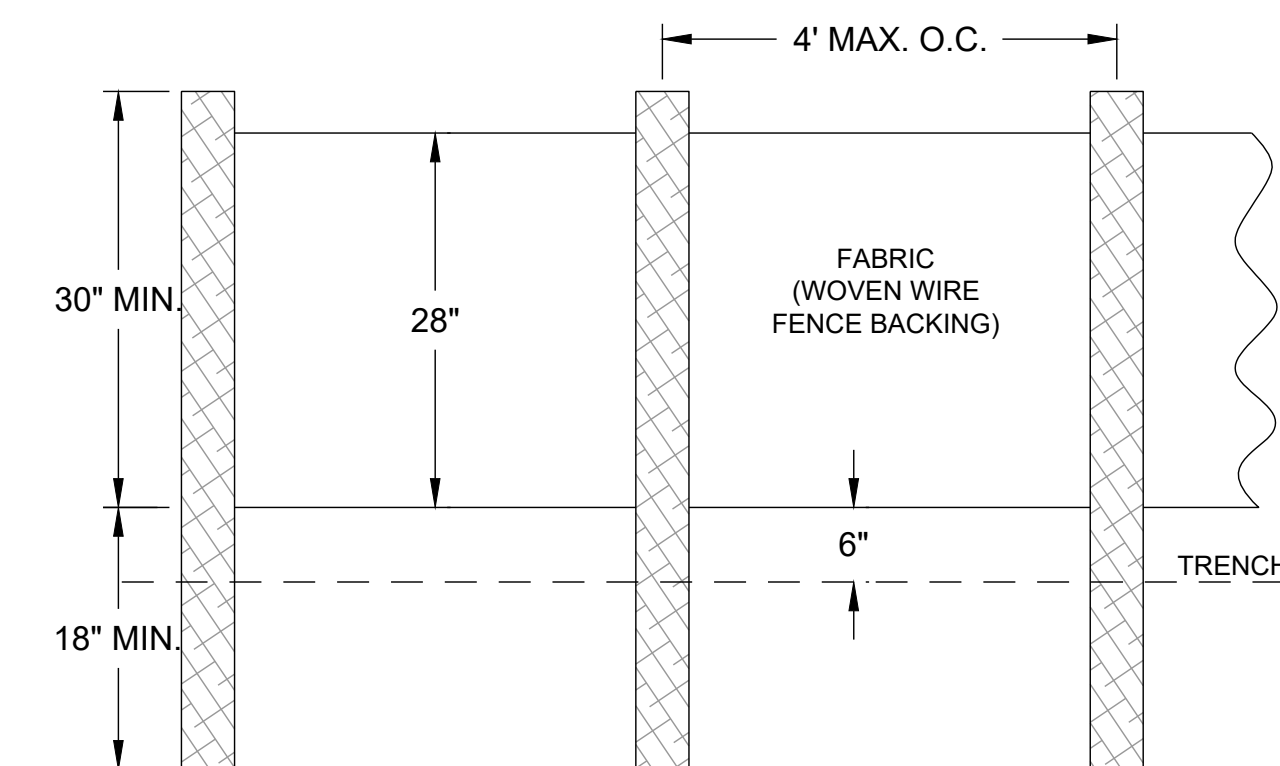
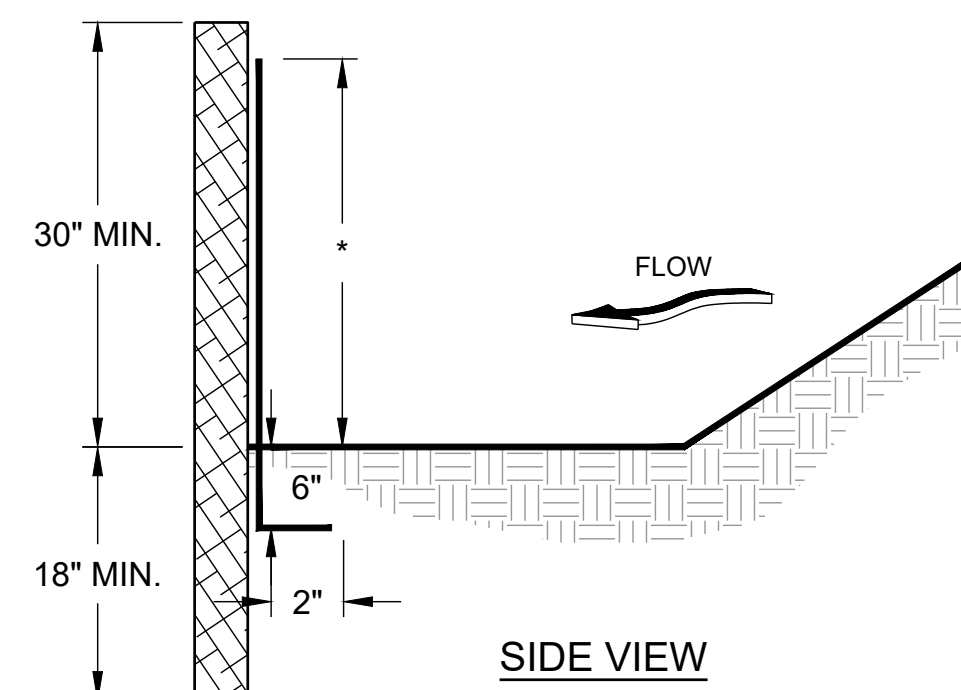
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Cr	CONSTRUCTION ROAD STABILIZATION			A gravelway constructed as part of a construction plan including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes.
Dc	STREAM DIVERSION CHANNEL			A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.
Di	DIVERSION			An earth channel or dike located above, below or across a slope to divert runoff. This may be a temporary or permanent structure.
Dn1	TEMPORARY DOWNDRAIN STRUCTURE			A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary and inexpensive.
Dn2	PERMANENT DOWNDRAIN STRUCTURE			A paved chute, pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.
Fr	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pond outlets.
Ga	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.
Gr	GRADE STABILIZATION STRUCTURE			Permanent structures installed to protect channels or waterways where otherwise the slope would be sufficient for the running water to form gullies.
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed soils.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainageways.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Rt	RETRO FITTING			A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Sd3	TEMPORARY SEDIMENT BASIN			A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.
Sk	FLOATING SURFACE SKIMMER			A buoyant device that releases/drains water from the surface of sediment ponds, traps, or basins at a controlled rate of flow.
Spb	SEEP BERM			Linear control device constructed as a diversion perpendicular to the direction of runoff to enhance dissipation and infiltration, while creating multiple sedimentation chambers with the employment of intermediate dikes.

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sr	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROUGHENING			A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Tc	TURBIDITY CURTAIN			A floating or staked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
Tp	TOPSOILING			The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION			To protect desirable trees from injury during construction activity.
Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL			Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)			Planting vegetation on dunes that are denuded artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SODDING)			A permanent vegetative cover using sods on highly erodible or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.
Fl-Co	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (USING PERM VEGETATION)			The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TACKIFIERS AND BINDERS			Substance used to anchor straw or hay mulch by causing the organic material to bind together.

FOR FURTHER EXPLANATION OF THE SYMBOLS AND CONSTRUCTION PRACTICES, WE REFER YOU TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, SIXTH EDITION 2016.



MAINTENANCE

SEDIMENT SHALL BE REMOVED ONCE IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER. FILTER FABRIC SHALL BE REPLACED WHENEVER IT HAS DETERIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE FABRIC IS REDUCED (APPROXIMATELY SIX MONTHS). TEMPORARY SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL SEDIMENT ACCUMULATED AT THE BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OF BEFORE THE BARRIER IS REMOVED.

NOTES

- USE STEEL POSTS AS REQUIRED BY GWINNETT COUNTY.
- HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

SILT FENCE CALCULATIONS

	BASIN 1
AREA DISTURBED	0.49
STORAGE REQUIRED (CY)	33
STORAGE PROVIDED (CF)	2454
SF PROVIDED (LF)	296
STORAGE PROVIDED (CF)	14528
STORAGE PROVIDED (CY)	538
LENGTH REQUIRED (LF)	18

C4 TYPE 'S' SILT FENCE
NO SCALE

Sd1-S 30"

METHODS AND MATERIALS

A. TEMPORARY METHODS

MULCHES
SEE MULCHING. SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL.

VEGETATIVE COVER
SEE TEMPORARY SEEDING.

SPRAY-ON ADHESIVES
THESE ARE USED ON MINERALS SOILS. KEEP TRAFFIC OFF THESE AREAS.

SPRINKLING
THE SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED. THIS METHOD IS ESPECIALLY EFFECTIVE ON HAUL ROADS AND OTHER TRAFFIC ROUTES.

BARRIERS
SOLID BOARD FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.

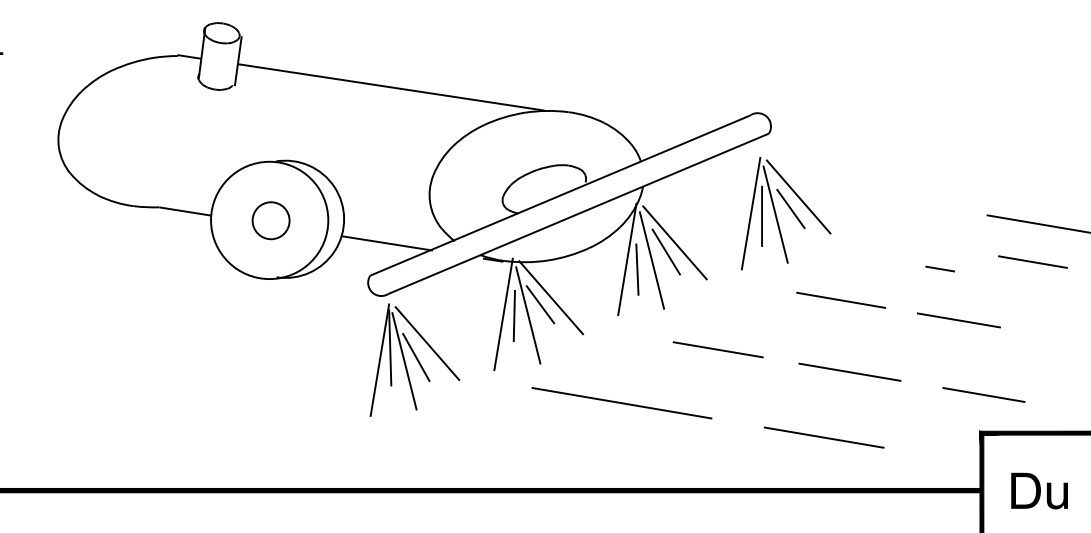
B4 DUST CONTROL
NO SCALE

B. PERMANENT METHODS

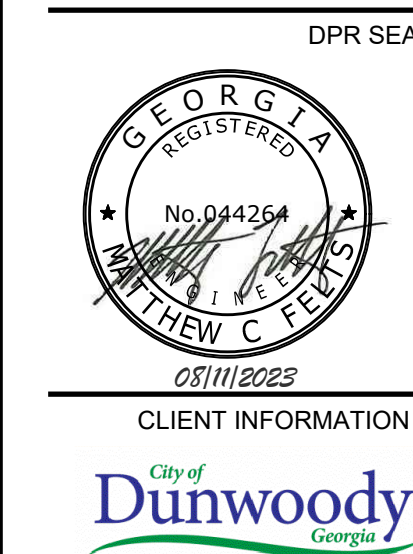
PERMANENT VEGETATION
SEE STANDARD FOR PERMANENT SEEDING, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

TOPSOILING
THIS ENTAILS COVERING THE SURFACE WITH LESS EROSION SOIL MATERIAL. SEE TOPSOILING.

STONE
COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



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Georgia 30092
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CLIENT INFORMATION
Dunwoody
Georgia

PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE

04/11/2023
06/02/2023
08/11/2023

ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS

0 1 2

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE

EROSION AND SEDIMENT CONTROL DETAILS

SHEET NUMBER

CE502

ORIGINAL SHEET SIZE:
22" X 34"

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24-HOUR EROSION AND SEDIMENTATION CONTROL CONTACT:
CARL B. THOMAS SR.
678.382.6700

DESIGN PROFESSIONAL:
MATT FELTS, P.E.
LEVEL II CERTIFICATION
No.: 0000087020
EXPIRES: 05/01/2025

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS, BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATION TECHNIQUES SHALL BE EMPLOYED. REFER TO Ds2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING), Ds3 - DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING), AND Ds4 - DISTURBED AREA STABILIZATION (WITH SODDING).

MULCHING WITHOUT SEEDING

THIS STANDARD APPLIES TO GRADED OR CLEARED AREAS WHERE SEEDINGS MAY NOT HAVE SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER, BUT CAN BE STABILIZED WITH A MULCH COVER.

SITE PREPARATION

- GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH.
- INSTALL NEEDED EROSION CONTROL MEASURES AS REQUIRED SUCH AS DIKES, DIVERSIONS, BERMS, TERRACES, AND SEDIMENT BARRIERS.
- LOOSEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

MULCHING MATERIALS

SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED:

- DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. ONE ADVANTAGE OF THIS MATERIAL IS EASY APPLICATION.
- WOOD WASTE (CHIPS, SAWDUST OR BARK) SHALL BE APPLIED AT A DEPTH OF 2 TO 3 INCHES. ORGANIC MATERIAL FROM THE CLEARING STAGE OF DEVELOPMENT SHOULD REMAIN ON SITE, BE CHIPPED, AND APPLIED AS MULCH. THIS METHOD OF MULCHING CAN GREATLY REDUCE EROSION CONTROL COSTS.
- POLYETHYLENE FILM SHALL BE SECURED OVER BANKS OR STOCKPILED SOIL MATERIAL FOR TEMPORARY PROTECTION. THIS MATERIAL CAN BE SALVAGED AND RE-USED.

APPLYING MULCH

MULCHING RATE: MULCH APPLIED TO SEEDED AREAS SHALL ACHIEVE 75% SOIL COVER. WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA.

- DRY STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.
- IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION, 20-30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL AMOUNT SHALL BE APPLIED TO OFFSET THE UPTAKE OF NITROGEN CAUSED BY THE DECOMPOSITION OF THE ORGANIC MULCHES.
- APPLY POLYETHYLENE FILM ON EXPOSED AREAS.

ANCHORING MULCH

- STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK". DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MUCH OF IT IN AN UPRIGHT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED, TACKIFIERS, BINDERS, AND HYDRAULIC MULCH WITH TACKIFIER SPECIFICALLY DESIGNED FOR TACKING STRAW CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT. PLEASE REFER TO SPECIFICATION Tac - TACKIFIERS. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN ONE INCH BY ONE INCH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- NETTING OF THE APPROPRIATE SIZE SHALL BE USED TO ANCHOR WOOD WASTE. OPENINGS OF THE NETTING SHALL NOT BE LARGER THAN THE AVERAGE SIZE OF THE WOOD WASTE CHIPS.
- POLYETHYLENE FILM SHALL BE ANCHOR TRENCHED AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY.

CONSTRUCTION SPECIFICATIONS

GRADING & SHAPING

- GRADING AND SHAPING MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED. VERTICAL BANKS SHALL BE SLOPED TO ENABLE PLANT ESTABLISHMENT.
- WHEN CONVENTIONAL SEEDING AND FERTILIZING ARE TO BE DONE, GRADE AND SHAPE WHERE FEASIBLE AND PRACTICAL, SO THAT EQUIPMENT CAN BE USED SAFELY AND EFFICIENTLY DURING SEEDBED PREPARATION, SEEDING, MULCHING AND MAINTENANCE OF THE VEGETATION.
- CONCENTRATIONS OF WATER THAT WILL CAUSE EXCESSIVE SOIL EROSION SHALL BE DIVERTED TO A SAFE OUTLET. DIVERSIONS AND OTHER TREATMENT PRACTICES SHALL CONFORM WITH THE APPROPRIATE STANDARDS AND SPECIFICATIONS.

LIME AND FERTILIZER RATES AND ANALYSIS

- AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERMANENT PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. AGRICULTURAL LIME SHALL BE WITHIN THE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF AGRICULTURE.
- LIME SPREAD BY CONVENTIONAL EQUIPMENT SHALL BE "GROUND LIMESTONE." GROUND LIMESTONE IS CALCITIC OR DOLOMITIC LIMESTONE GROUND SO THAT 90% OF THE MATERIAL WILL PASS THROUGH A 10-MESH SIEVE, NOT LESS THAN 50% WILL PASS THROUGH A 50-MESH SIEVE AND NOT LESS THAN 25% WILL PASS THROUGH A 100-MESH SIEVE.
- FAST ACTING LIME SPREAD BY HYDRAULIC SEEDING EQUIPMENT SHOULD BE "FINELY GROUND LIMESTONE" SPANNING FROM THE 180 MICRON SIZE TO THE 5 MICRON SIZE. FINELY GROUND LIMESTONE IS CALCITIC OR DOLOMITIC LIMESTONE GROUND SO THAT 95% OF THE MATERIAL WILL PASS THROUGH A 100-MESH SIEVE.
- IT IS DESIRABLE TO USE DOLOMITIC LIMESTONE IN THE SAND HILLS, SOUTHERN COASTAL PLAIN AND ATLANTIC COAST FLATWOODS MLRAs (SEE FIGURE 6-4.1).
- AGRICULTURAL LIME IS GENERALLY NOT REQUIRED WHERE ONLY TREES ARE PLANTED.
- INITIAL FERTILIZATION, NITROGEN, TOPDRESSING, AND MAINTENANCE FERTILIZER REQUIREMENTS FOR EACH SPECIES OR COMBINATION OF SPECIES ARE LISTED IN TABLE 6-5.1

LIME AND FERTILIZER APPLICATION

- WHEN HYDRAULIC SEEDING EQUIPMENT IS USED, THE INITIAL FERTILIZER SHALL BE MIXED WITH SEED, INNOCULANT (IF NEEDED), AND WOOD CELLULOSE OR WOOD PULP FIBER MULCH AND APPLIED IN A SLURRY. THE INNOCULANT, IF NEEDED, SHALL BE MIXED WITH THE SEED PRIOR TO BEING PLACED INTO THE HYDRAULIC SEEDER. THE SLURRY MIXTURE WILL BE AGITATED DURING APPLICATION TO KEEP THE INGREDIENTS THOROUGHLY MIXED. THE MIXTURE WILL BE SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER BEING PLACED IN THE HYDROSEEDER.
- FINELY GROUND LIMESTONE CAN BE APPLIED IN THE MULCH SLURRY OR IN COMBINATION WITH THE TOP DRESSING.
- WHEN CONVENTIONAL PLANTING IS TO BE DONE, LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY IN ONE OF THE FOLLOWING WAYS:
 - APPLY BEFORE LAND PREPARATION SO THAT IT WILL BE MIXED WITH THE SOIL DURING SEEDBED PREPARATION.
 - MIX WITH THE SOIL USED TO FILL THE HOLES, DISTRIBUTE IN FURROWS.
 - BROADCAST AFTER STEEP SURFACES ARE SCARIFIED, PITTED OR TRENCHED.
 - A FERTILIZER PELLET SHALL BE PLACED AT ROOT DEPTH IN THE CLOSING HOLE BESIDE EACH PINE TREE SEEDLING.

* REVISED PER LATEST EDITION OF MANUAL FOR EROSION & SEDIMENT CONTROL IN GEORGIA.

FERTILIZER REQUIREMENTS

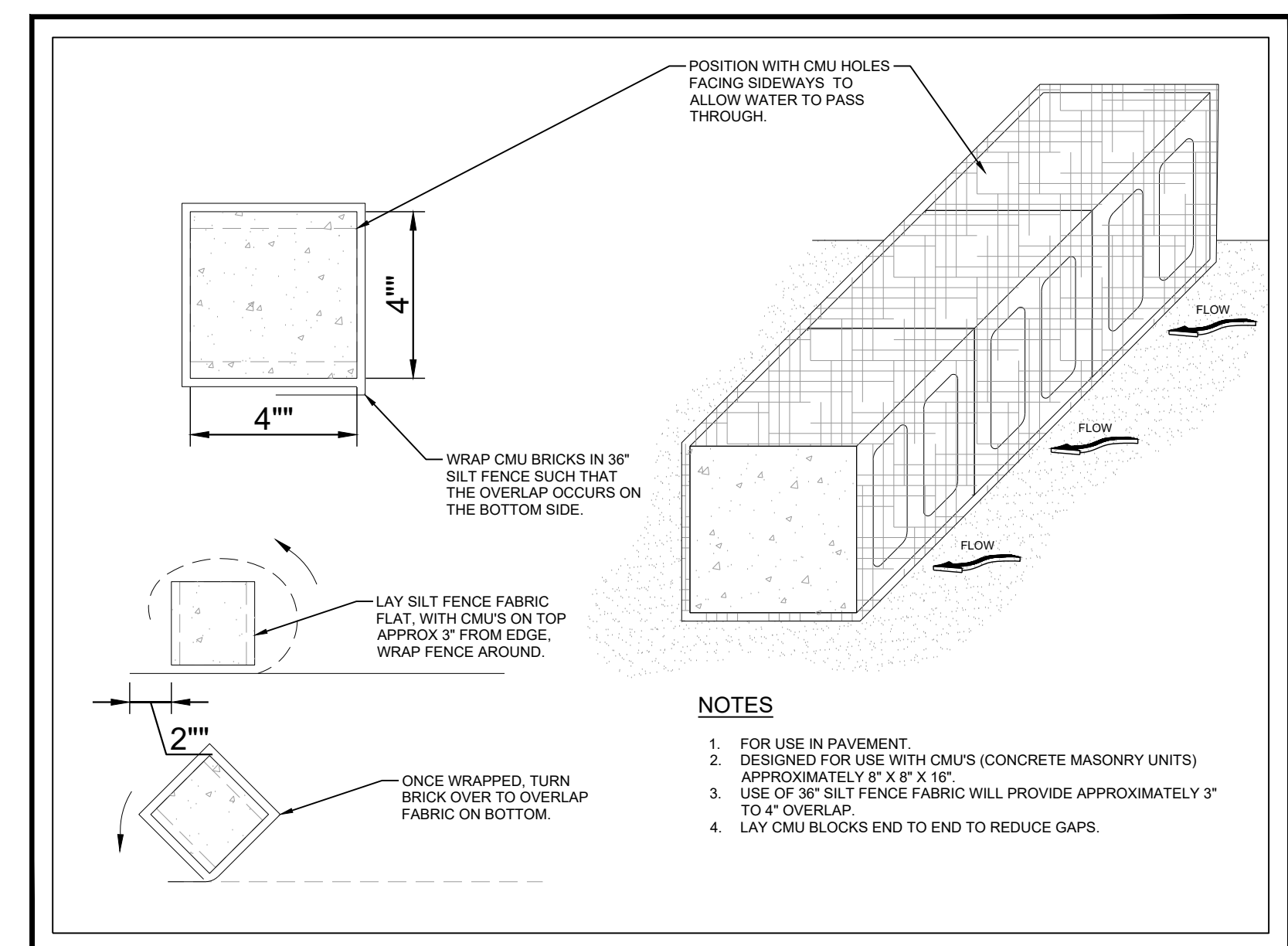
TYPE OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	
1. COOL SEASON GRASSES	FIRST	6-12-12	1500 LBS./AC.	0-50 LBS./AC. 1/
	SECOND MAINTENANCE	6-12-12 10-10-10	1000 LBS./AC. 400 LBS./AC.	
2. COOL SEASON GRASSES AND LEGUMES	FIRST	6-12-12	1500 LBS./AC.	-
	SECOND MAINTENANCE	0-10-10 10-10-10	1000 LBS./AC. 400 LBS./AC.	
3. GROUND COVERS	FIRST	10-10-10	1300 LBS./AC. 3/	-
	SECOND MAINTENANCE	10-10-10 10-10-10	1300 LBS./AC. 3/ 1100 LBS./AC.	
4. PINE SEEDLINGS	FIRST	20-10-5	ONE 21-GRAM PELLET PER SEEDLING PLACED IN THE CLOSING HOLE	-
5. TEMPORARY COVER CROPS SEEDED ALONE	FIRST	10-10-10	500 LBS./AC.	30 LBS./AC. 5/
6. WARM SEASON GRASSES	FIRST	6-12-12	1500 LBS./AC.	-
	SECOND MAINTENANCE	6-12-12 10-10-10	800 LBS./AC. 400 LBS./AC.	
7. WARM SEASON GRASSES AND LEGUMES	FIRST	6-12-12	1500 LBS./AC.	50 LBS./AC. 6/
	SECOND MAINTENANCE	0-10-10 0-10-10	1000 LBS./AC. 400 LBS./AC.	

- 1/ APPLY IN SPRING FOLLOWING SEEDING.
- 2/ APPLY IN SPLIT APPLICATIONS WHEN HIGH RATES ARE USED.
- 3/ APPLY IN 3 SPLIT APPLICATIONS.
- 4/ APPLY WHEN PLANTS ARE PRUNED.
- 5/ APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

SPECIES	BROADCAST RATES 2/ - PLS 3/		RESOURCE AREA	PLANTING RATES BY RESOURCE AREA PLANTING DATES												REMARKS			
	PER ACRE	PER 1000 SQ. FT.		OPTIMUM - PERMISSIBLE BUT MARGINAL															
				J	F	M	A	M	J	J	A	S	O	N	D				
BERMUDA, COMMON (CYNODON DACTYLON) HULLED SEED ALONE WITH OTHER PERENNIALS	10 LBS 6 LBS	0.2 LB 0.1 LB	P C																1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING AND SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.
BERMUDA, COMMON (CYNODON DACTYLON) UNHULLED SEED WITH TEMPORARY COVER WITH OTHER PERENNIALS	10 LBS 6 LBS	0.2 LB 0.1 LB	P C																PLANT WITH WINTER ANNUALS. PLANT WITH TALL FESCUE.
CENTPEDE (EREMOCHLOA OPHIUROIDES)	BLOCK SOD ONLY		P C																DROUGHT TOLERANT. FULL SUN OR PARTIAL SHADE. EFFECTIVE ADJACENT TO CONCRETE AND IN CONCENTRATED FLOW AREAS. IRRIGATION AS NEEDED UNTIL FULLY ESTABLISHED. DO NOT PLANT NEAR PASTURES. WINTERHARDY AS FAR NORTH AS ATHENS AND ATLANTA.
FESCUE, TALL (FESTUCA ARUNDINACEA) ALONE WITH OTHER PERENNIALS	50 LBS 30 LBS	1.1 LB 0.7 LB	M-L P																227,000 SEED PER POUND. USE ALONE ONLY ON BETTER SITES. NOT FOR DROUGHTY SOILS. MIX WITH PERENNIAL LESPEDEZAS OR CROWN VETCH. APPLY TOPDRESSING IN SPRING FOLLOWING FALL PLANTINGS. NOT FOR HEAVY USE AREAS OR ATHLETIC FIELDS.
LOVEGRASS, WEEPING (ERAGROSTIS CURVULA) ALONE WITH OTHER PERENNIALS	4 LBS 2 LBS	0.1 LB 0.05 LB	M-L P C																1,500,000 SEED PER POUND. QUICK COVER. DROUGHT TOLERANT. GROWS WELL WITH SERICEA LESPEDEZA ON ROADBANKS.

B1 DISTURBED AREA STABILIZATION (MULCHING ONLY) **Ds1**
NO SCALE

B3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) **Ds3**
NO SCALE



A3 SEDIMENT BARRIER IN PAVEMENT USING CMU WRAPPED IN SILT FENCE **Sd2-P**
NO SCALE

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DPR SEAL
No. 044264
08/11/2023
CLIENT INFORMATION

City of
Dunwoody
Georgia
PROJECT NAME

DUNWOODY
NATURE
CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE
04/11/2023
06/02/2023
08/11/2023
ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE
**EROSION AND
SEDIMENT
CONTROL
DETAILS**
SHEET NUMBER
CE503

ORIGINAL SHEET SIZE:
22" X 34"

FILE PATH: X:\FY23\1230006\04.CAD_BIM\04.02.CAD\ICE501.PLOTTED BY: URUJETA, JUAN DATE: 10/2/17

GENERAL PLANTING NOTES:

- 1. THE "DESIGN PROFESSIONAL" AS REFERENCED IN THESE NOTES REFERS TO THE LANDSCAPE ARCHITECT/DESIGN FIRM REPRESENTATIVE, THE OWNER'S REPRESENTATIVE, OR THE OWNER, DEPENDING ON THE PROJECT CONTRACT.
- 2. THE CONTRACTOR WILL SCHEDULE A PRE-CONSTRUCTION MEETING WITH DESIGN PROFESSIONAL TO REVIEW PROJECT LANDSCAPE REQUIREMENTS.
- 3. ANY SPECIFIC GENERAL CONTRACT TERMS AND CONDITIONS THAT SUPERCEDE THE PLANTING NOTES IN THE DRAWINGS AND/OR SPECIFICATIONS MUST BE NOTED BY THE CONTRACTOR TO THE OWNER DURING CONTRACT NEGOTIATION.
- 4. CONTRACTOR'S PRICE MUST INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK, I.E. MULCH, PLANTING, SOIL MIX, STAKING MATERIAL, WATERING, MAINTENANCE DURING CONSTRUCTION, ETC.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES SHOWN ON THESE DRAWINGS BEFORE PRICING THE WORK, AND WILL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIAL ACCORDING TO PLAN. THE PLANT SCHEDULE IS PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY.
- 7. PROVIDE PLANT MATERIALS TRUE TO SPECIES AND VARIETY/CULTIVAR COMPLYING WITH RECOMMENDATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERY MEN.
- 8. PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIAL INSTALLED PRIOR TO DESIGN PROFESSIONAL'S APPROVAL MUST BE DONE WITHOUT PENALTY OR ADDITIONAL COST TO OWNER. STAKE PLANT LOCATIONS AT SITE AND OBTAIN DESIGN PROFESSIONAL'S APPROVAL PRIOR TO PLANT INSTALLATION.
- 9. DESIGN PROFESSIONAL WILL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS WILL BE AVAILABLE AT TIME OF PLANTING. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ACCEPTED UNLESS APPROVED WITHIN FOUR (4) WEEKS OF PROJECT AWARD IN WRITING BY THE DESIGN PROFESSIONAL, WHO RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY.
- 11. CONTRACTOR MAY MAKE MATERIAL ORDERS OR OBTAIN GROWING CONTRACTS FROM NURSERIES AT THE BEGINNING OF THE CONTRACT IN ANTICIPATION OF PLANTING AT A LATER DATE. PROVIDE PROVISIONS THAT ANY ORDERS OR CONTRACTS WILL REVERT TO THE OWNER DUE TO CONTRACTOR DEFAULT OR OTHER UNFORESEEN CIRCUMSTANCE.
- 12. IN ORDER TO BE CONSIDERED AS VIABLE ALTERNATES, PLANTS MUST SHARE THE SAME GENERAL APPEARANCE/FORM, INSTALLATION SIZE, MATURE SIZE, COLOR, QUALITY AND GROWTH HABIT. MATERIALS MUST BE OFFERED AT NO ADDITIONAL COSTS TO THE OWNER.
- 13. LANDSCAPE WORK WILL BE SCHEDULED TO BE AT A TIME OF YEAR MOST CONDUCIVE FOR ESTABLISHMENT. ANY MATERIAL SPECIFIED THAT CANNOT BE SUPPLIED DUE TO TIME OF YEAR FOR TRANSPLANTING (e.g. "SUMMER DUG") WILL BE SCHEDULED AT THE APPROPRIATE SEASON AFTER INSTALLATION OF OTHER MATERIAL IF NECESSARY. ANY PLANTING AFTER SUBSTANTIAL COMPLETION AS A RESULT MUST BE COMPLETED AT NO ADDITIONAL COST TO OWNER.
- 14. ALL PLANTS MUST BE HEALTHY, VIGOROUS, FREE OF PESTS AND DISEASE.
- 15. ALL PLANTS MUST BE CONTAINER-GROWN, OR BALLED AND BURLAPPED AS SPECIFIED.
- 16. LOCATE AND VERIFY ALL UTILITY LOCATIONS AND EXISTING STRUCTURES IN AND AROUND THE SITE PRIOR TO WORK. BE FAMILIAR WITH UNDERGROUND UTILITIES

- BEFORE DIGGING. MAINTAIN EXISTING UTILITIES AND STRUCTURES AND PROTECT AGAINST DAMAGE DURING THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES TO EXISTING UTILITIES, STRUCTURES, PAVING AND/OR WORK OF OTHER TRADES RESULTING FROM LANDSCAPE CONSTRUCTION.
- 17. THE CONTRACTOR WILL NOTIFY ALL NECESSARY UTILITY COMPANIES 72 HRS MINIMUM PRIOR TO DIGGING FOR FIELD VERIFICATION OF ALL UNDERGROUND UTILITIES, AND OTHER ELEMENTS, AND COORDINATE WITH THE DESIGN PROFESSIONAL PRIOR TO INITIATING OPERATIONS. THE CONTRACTOR MUST AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK.
- 18. CONTRACTOR MUST PROTECT ALL EXISTING PLANT MATERIALS INDICATED ON PLANS TO REMAIN. ALL PLANT MATERIAL INDICATED TO REMAIN THAT IS DAMAGED BY THE CONTRACTOR MUST BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITH THE SAME SIZE, QUALITY, AND TYPE OF PLANT MATERIAL OR AS REQUIRED BY THE LOCAL REVIEWING AUTHORITY, WHICHEVER HAS A GREATER RECOMPENSE VALUE.
- 19. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO DATE OF SUBSTANTIAL COMPLETION OF THE WORK) MUST BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL THE PLANT LIST SPECIFICATIONS.
- 20. PLANTS MUST BE SPECIMEN QUALITY, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF DISEASES, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS AND/OR DISFIGUREMENT.
- 21. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT MUST BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50 PERCENT OF THE PLANTS MUST BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- 22. HARDWOOD TREES MUST HAVE STRAIGHT TRUNKS WITH CENTRAL LEADERS, FULL HEADED, AND MEET ALL REQUIREMENTS SPECIFIED. DO NOT HANDLE PLANTS BY THE TRUNK.
- 23. PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- 24. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF MUST BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- 25. MULCH: PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. UTILIZE SHREDDDED, AGED HARDWOOD MULCH.
- 26. LEAVES: MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCULENCE.
- 27. IF DRAINAGE IS NOT SUFFICIENT NOTIFY THE DESIGN PROFESSIONAL IN WRITING BEFORE INSTALLING THE PLANTS. OTHERWISE CONTRACTOR IS RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANT.
- 28. THE CONTRACTOR MUST PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES
- 29. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION. FOLLOW THE DESIGN PROFESSIONAL'S INSTRUCTIONS ON RESOLVING ANY DISCREPANCIES.
- 30. UNLESS OTHERWISE SPECIFIED DUE TO SOIL CONDITIONS, SET ROOT FLARE OF ROOTBALL LEVEL WITH SURROUNDING GRADE. ROOT SYSTEM MUST BE AS SPECIFIED IN PLANT SCHEDULE:
 - A. BALLED AND BURLAPPED: ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN

TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED. WHERE WIRE BASKETS ARE USED ON TREES OR SHRUBS, CUT BURLAP AND WIRE BACK TO 1/2 THE BASE OF ROOTBALL AND REMOVE FROM PLANTING HOLE. REMOVE ALL STRAPS, WIRE STRAP HANGERS, ETC. FROM ROOTBALL. DO NOT ALLOW REMAINING WIRE TO PROTRUDE INTO MULCH OR TOPSOIL AREAS.

- B. CONTAINER GROWN: CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING DESIGN PROFESSIONAL OF ROOT BOUND SPECIMENS. REMOVE CONTAINER AND SCARIFY OR SHAVE ROOTBALL AS NEEDED TO REMEDIATE ROOT BOUND CONDITION. PULL SURFACE ROOTS AT TOP OF ROOTBALL OUT IN A DIRECTIONAL PATTERN TO DISCOURAGE CIRCLING ROOTS.
- 31. STAKING IS ONLY TO BE INSTALLED IN SPECIAL CIRCUMSTANCES AT THE DIRECTION OF THE DESIGN PROFESSIONAL. ANY STAKING MATERIAL MUST BE REMOVED AT THE END OF THE WARRANTY PERIOD.

PLANTING SOIL MIX NOTES:

- 1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROCURING A LANDSCAPE SOIL REPORT FROM PROFILE SOIL SOLUTIONS: <https://profileps3.com/>, LOCAL EXTENSION SERVICE (AGRICULTURAL AND ENVIRONMENTAL SERVICES LABS: <http://aesl.ces.uga.edu/>), OR OTHER VENDOR.
- 2. THE LANDSCAPE CONTRACTOR MUST SUPPLY ALL TOPSOIL, PLANTING SOIL MIX AND OTHER ADDITIVES AND MUST APPROVED BY THE DESIGN PROFESSIONAL PRIOR TO ANY BACKFILLING.
- 3. THE TYPICAL PLANTING SOIL MIX FOR ON-GRADE PLANTINGS (TREES, SHRUBS & GROUND COVERS) MUST CONSIST OF THE FOLLOWING UNLESS OTHERWISE INDICATED ON THE DRAWINGS:
 - 3.1. 60% TOPSOIL (AS SPECIFIED), 40% MR. NATURAL CLM (COMPLETE LANDSCAPE MIX) BY ITS AULNATURAL, LLC, OR AS NOTED BELOW AS AN EQUIVALENT 40% OF PREPARED ADDITIVES (BY VOLUME AS FOLLOWS):
 - 3.1.1. 2 PARTS HUMUS AND/OR PEAT, 1 PART STERILIZED COMPOSTED COW MANURE
 - 3.1.2. 1 PART SHREDDDED PINE BARK (BARK PIECES BETWEEN 1/2 INCH AND 2 INCHES IN LENGTH)
 - 3.1.3. COMMERCIAL FERTILIZER OR LIME AS RECOMMENDED IN SOIL REPORT (IF ANY).
 - 4. TYPICAL PLANTING SOIL MIX FOR PERENNIAL OR SEASONAL COLOR BEDS CONSIST OF TOPSOIL AND THE FOLLOWING SOIL AMENDMENTS BY VOLUME:
 - 4.1. 40% TOPSOIL (AS SPECIFIED)
 - 4.2. 25 % HUMUS 15% PULVERIZED PINE BARK MULCH (FINGERNAIL SIZED CHIPS - 1/4 INCH MAX.
 - 4.3. 5% STERILIZED COMPOSTED COW MANURE
 - 4.4. 5 % SAND (ANGULAR BUILDERS SAND) LIME AT A RATE OF 5 LBS. PER 50 SQ. FEET (ADJUST FOR ALKALINE SOILS).
 - 4.5. COMMERCIAL FERTILIZER OR LIME AS RECOMMENDED IN SOIL REPORT (IF ANY).

WATERING/IRRIGATION:

- 1. WATERING AFTER INSTALLATION AND WATER TRANSPORTATION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
 - A. TREE SHRUB AND GROUND COVER PLANTING AREAS: 3-INCH DEPTH CONTINUOUS FROM PLANT TO PLANT. DEPTH IS DEPTH AFTER SETTLING.
- 2. USE OF TREE CAMEL, OOOZ TUBES OR TREE GATOR BAGS FOR TREES ARE REQUIRED IF A TEMPORARY IRRIGATION SYSTEM IS NOT INSTALLED.
- 3. INSTALLATION OF A PERMANENT IRRIGATION SYSTEM IS NOT PROPOSED. THE CONTRACTOR MAY CHOOSE TO INSTALL A TEMPORARY IRRIGATION SYSTEM IN ORDER TO ESTABLISH INSTALLED PLANT MATERIAL. SUBMIT A PLAN FOR A TEMPORARY SYSTEM TO THE DESIGN PROFESSIONAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. THE SYSTEM MUST BE DESIGNED TO PROVIDE FULL AND COMPLETE COVERAGE TO ALL LANDSCAPED AREAS OF THE SITE INDICATED ON THE LANDSCAPE PLAN.
- 4. ALL MATERIALS USED IN THE DESIGN OF THE TEMPORARY SYSTEM, INCLUDING SPRINKLER HEADS, VALVES, VALVE

BOXES, CONTROLLERS, PUMPS, BACKFLOW PREVENTORS, RAIN AND FREEZE SENSORS, DRIP EQUIPMENT, WIRE, ELECTRICAL CONNECTIONS, AND PVC PIPE AND FITTINGS, MUST MEET MINIMUM INDUSTRY STANDARDS. MANUFACTURER AND MODEL MUST BE SPECIFIED.

- 5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY SYSTEM AFTER SUBSTANTIAL COMPLETION IS OBTAINED.
- 6. IF PLANTING AREAS ARE NOT IRRIGATED OR IF IRRIGATION IS NOT OPERATING, HAND WATER ROOT BALLS (OR PLANT BEDS FOR GROUNDCOVERS) OF ALL PLANTS TO ASSURE THAT THE ROOTS HAVE ADEQUATE MOISTURE. TEST THE MOISTURE CONTENT IN EACH ROOTBALL TO DETERMINE WATER CONTENT. THE CONTRACTOR MUST INSTALL ONE SET OF WATERING BAGS FOR EACH TREE TO BE MAINTAINED (AND NOT IRRIGATED) FOR TREE WATERING DURING THE WARRANTY PERIOD. WATERING BAGS MUST BE REMOVED BETWEEN DECEMBER 1 AND MARCH 1.
- 7. IF NO TEMPORARY SYSTEM IS PROPOSED, THE CONTRACTOR WILL DEVELOP A SCHEDULE FOR MANUAL WATERING OF PLANTS. THIS SCHEDULE SHOULD BE INCLUDED IN ANY MAINTENANCE AGREEMENT AND/OR BONDING OF LANDSCAPE MATERIAL AND SHOULD INDICATE THE PARTY RESPONSIBLE FOR PERFORMING THE MANUAL WATERING. THE DURATION OF THE SCHEDULE OF MANUAL WATERING SHOULD BE EQUAL TO THE DURATION OF THE BOND PERIOD OR 12 MONTHS STARTING FROM THE INSTALLATION DATE, WHICHEVER IS GREATER. THE SCHEDULE SHOULD ALSO INDICATE THE AMOUNT OF WATER TO BE APPLIED PER WEEK. THE FOLLOWING IRRIGATION RATES ARE OFFERED AS A GUIDELINE; HOWEVER, THE SUPPLIER OF THE LANDSCAPE MATERIAL SHOULD BE CONSULTED FOR THEIR RECOMMENDATIONS.
 - TREES: MUST BE WATERED DAILY FOR MONTH 1, EVERY OTHER DAY FOR MONTHS 2-4, AND WEEKLY FOR MONTHS 5-12. APPLY 8 GALLONS PER 4" CALIPER TREE PER APPLICATION. ADJUST RATE TO LOCAL RAINFALL AMOUNT. (ASSUME 30 GALLONS PER TREE FOR EVERY INCH OF RAINFALL).
 - SHRUBS: MUST BE WATERED DAILY FOR MONTH 1, EVERY OTHER DAY FOR MONTHS 2-4, AND WEEKLY FOR MONTHS 5-12. APPLY 1 GALLON PER SHRUB PER APPLICATION. ADJUST RATE TO LOCAL RAINFALL AMOUNT. (ASSUME 2 GALLONS PER SHRUB FOR EVERY INCH OF RAINFALL)
 - TURF: MUST RECEIVE 1-INCH OF IRRIGATION PER WEEK APRIL THROUGH SEPTEMBER, 1/2-INCH OF IRRIGATION OCTOBER THROUGH MARCH. ADJUST RATE TO LOCAL RAINFALL AMOUNT.
 - NATIVE GRASS BEDS: WATER EVERY OTHER DAY FOR THE FIRST MONTH. ONLY CONTINUE WATERING AFTER THAT ONLY DURING EXTENDED OR FORECASTED DRY PERIODS, AND THEN, ONLY ONCE PER WEEK.

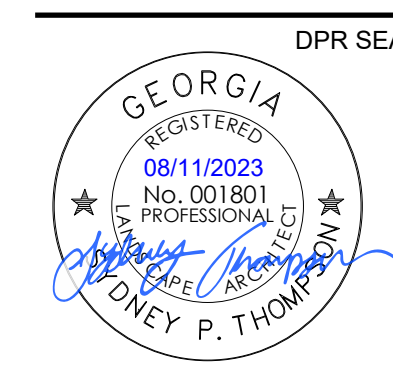
MULCHING:

- 1. MULCH TOP OF ROOT BALLS AND PLANTING BEDS, COVERING THE ENTIRE PLANTING BED AREA. PROVIDE THE FOLLOWING THICKNESS OF MULCH. TOP OF MULCH MUST BE SMOOTH AND EVEN IN ALL DIRECTIONS.
 - A. TREE SHRUB AND GROUND COVER PLANTING AREAS: 3-INCH DEPTH CONTINUOUS FROM PLANT TO PLANT. DEPTH IS DEPTH AFTER SETTLING.
 - B. PERENNIAL PLANTING AREAS: 3-INCH DEPTH CONTINUOUS FROM PLANT TO PLANT. DEPTH IS DEPTH AFTER SETTLING.
- 2. IN NO CASE WILL MULCH COME IN CONTACT WITH ANY PART OF TRUNK OR ROOT FLARE.
- 3. APPLY MULCH AFTER ALL PLANTS HAVE BEEN INSTALLED AND APPROVED.
- 4. CONTRACTOR MUST NOT OVER-MULCH PLANTING BEDS WITH EXCESS MULCH. EXCESS MULCH MUST BE REMOVED AND DISPOSED OF OFF-SITE.
- 5. LIFT ALL LEAVES, LOW HANGING STEMS AND OTHER GREEN PORTIONS OF PLANTS OUT OF THE MULCH IF COVERED.

WARRANTY:

- 1. THE CONTRACTOR MUST COMPLETELY WARRANTY ALL PLANT MATERIAL AS INDICATED BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE WORK MUST BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER. THE CONTRACTOR MUST PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD.
- 2. INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD.
 - A. WARRANTY PERIOD FOR TREES AND SHRUBS: ONE-YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
 - B. WARRANTY PERIOD FOR VINES AND PERENNIALS: ONE-YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- 3. PLANTS MUST BE HEALTHY, FREE OF PESTS AND DISEASE, AND IN FLOURISHING CONDITION AT THE END OF THE WARRANTY PERIOD. PLANTS MUST BE FREE OF DEAD AND DYING BRANCHES AND BRANCH TIPS, AND MUST BEAR FOLIAGE OF NORMAL DENSITY, SIZE, AND COLOR FOR THE SPECIES.
- 4. PLANTS THAT ARE DEAD, DISEASED, INSECT INFESTED, OR NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE DESIGN PROFESSIONAL DURING OR AT THE END OF THE WARRANTY PERIOD, WILL BE DEEMED DEFECTIVE. PLANTS THAT HAVE HAD MORE THAN 25% OF THEIR BRANCHES DIE OR REMOVED MUST BE REPLACED. PLANTS THAT HAVE HAD A MAJOR BRANCH OR SIDE OF THE PLANT REMOVED SUCH THAT CURRENT OR FUTURE AESTHETIC APPEAL OR STRUCTURAL INTEGRITY OF THE PLANT, AS DETERMINED BY THE DESIGN PROFESSIONAL, IS DIMINISHED WILL BE CONSIDERED DEFECTIVE. PLANT MATERIAL DETERMINED TO BE DEFECTIVE MUST BE REPLACED WITHOUT COST TO THE OWNER.
 - A. REMOVE DEFECTIVE OR DEAD PLANTS IMMEDIATELY. REPLACE AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN ONE OF THE SPECIFIED PLANTING PERIODS.
- 5. REPLACEMENTS MUST CLOSELY MATCH ADJACENT SPECIMENS OF THE SAME SPECIES. REPLACEMENTS WILL BE SUBJECT TO ALL REQUIREMENTS STATED IN THIS SPECIFICATION. MAKE ALL NECESSARY REPAIRS DUE TO PLANT REPLACEMENTS. SUCH REPAIRS MUST BE DONE AT NO EXTRA COST TO THE OWNER.
- 6. AT THE END OF THE WARRANTY PERIOD, AND NO LESS THAN FIVE DAYS PRIOR TO FINAL INSPECTION, TREE TIES AND GUYING MUST BE REMOVED FROM THE SITE. ALL TREES THAT HAVE LEANED MUST BE STRAIGHTENED.

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 Georgia 30092
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CLIENT INFORMATION
City of Dunwoody Georgia

PROJECT NAME
DUNWOODY NATURE CENTER
 5321 ROBERTS DR,
 DUNWOODY, GA
 30338

DRAWING ISSUE

04/11/2023	ISSUED FOR PERMIT
06/02/2023	PERMIT COMMENTS REVISIONS
08/11/2023	CITY DESIGN REVISIONS

DESIGNED BY:	ST/MF
DRAWN BY:	AB/JU
CHECKED BY:	DM
SUBMITTED BY:	MF
DATE:	08/11/2023
PROJECT #	1230006

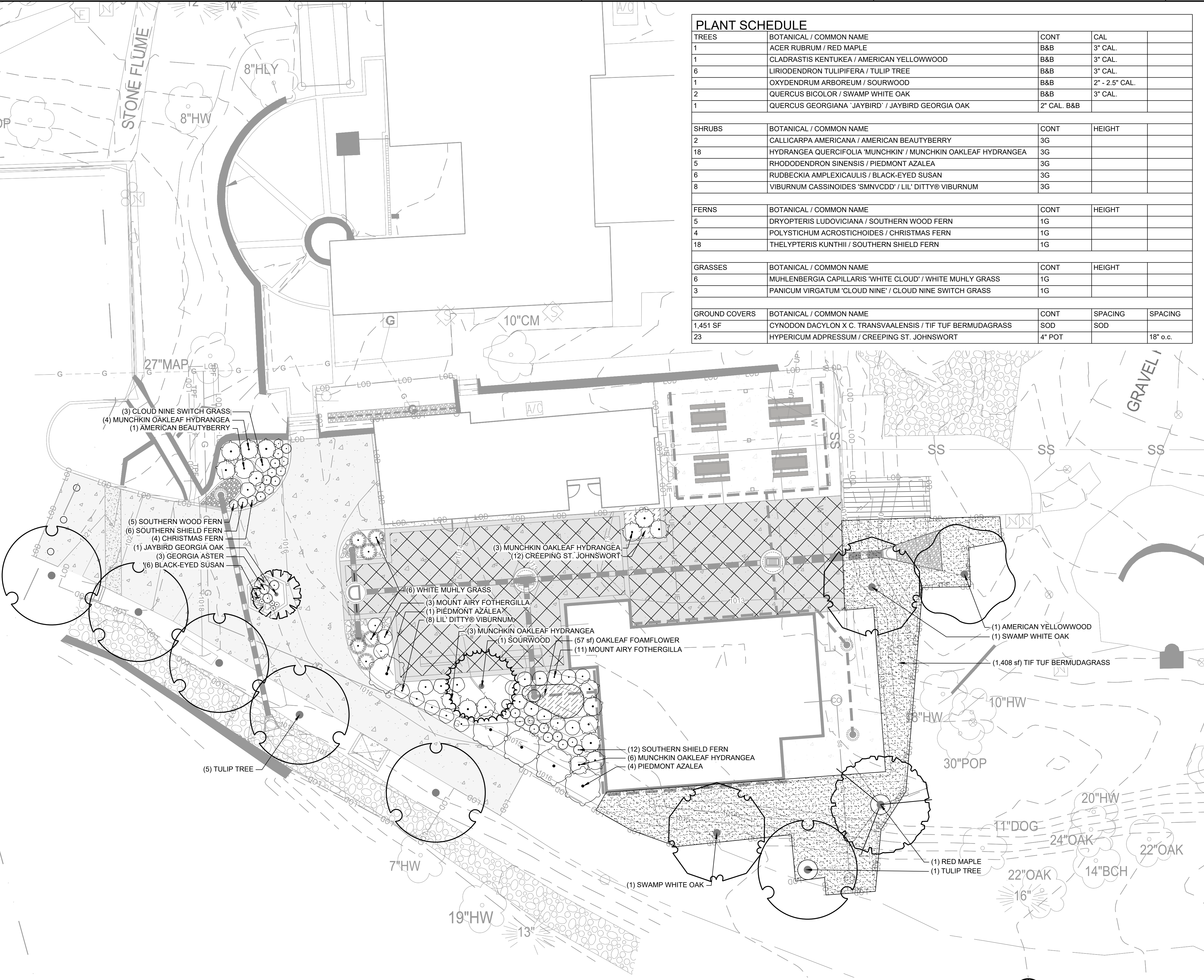
SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

L-001

ORIGINAL SHEET SIZE: 22" X 34"



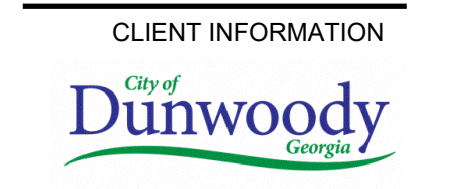
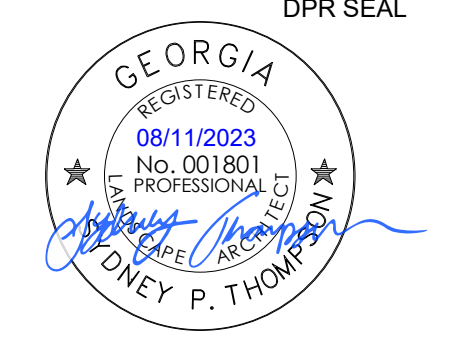
PLANT SCHEDULE				
TREES	BOTANICAL / COMMON NAME	CONT	CAL	
1	ACER RUBRUM / RED MAPLE	B&B	3" CAL.	
1	CLADRASTIS KENTUCKEA / AMERICAN YELLOWWOOD	B&B	3" CAL.	
6	LIRIODENDRON TULIPIFERA / TULIP TREE	B&B	3" CAL.	
1	OXYDENDRUM ARBOREUM / SOURWOOD	B&B	2" - 2.5" CAL.	
2	QUERCUS BICOLOR / SWAMP WHITE OAK	B&B	3" CAL.	
1	QUERCUS GEORGIANA 'JAYBIRD' / JAYBIRD GEORGIA OAK	2" CAL. B&B		
SHRUBS	BOTANICAL / COMMON NAME	CONT	HEIGHT	
2	CALLICARPA AMERICANA / AMERICAN BEAUTYBERRY	3G		
18	HYDRANGEA QUERCIFOLIA 'MUNCHKIN' / MUNCHKIN OAKLEAF HYDRANGEA	3G		
5	RHODODENDRON SINENSIS / PIEDMONT AZALEA	3G		
6	RUDBECKIA AMPLEXICAULIS / BLACK-EYED SUSAN	3G		
8	VIBURNUM CASSINOIDES 'SMNVCD' / LIL' DITTY® VIBURNUM	3G		
FERNS	BOTANICAL / COMMON NAME	CONT	HEIGHT	
5	DRYOPTERIS LUDOVICIANA / SOUTHERN WOOD FERN	1G		
4	POLYSTICHUM ACROSTICHOIDES / CHRISTMAS FERN	1G		
18	THELYPTERIS KUNTII / SOUTHERN SHIELD FERN	1G		
GRASSES	BOTANICAL / COMMON NAME	CONT	HEIGHT	
6	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD' / WHITE MUHLY GRASS	1G		
3	PANICUM VIRGATUM 'CLOUD NINE' / CLOUD NINE SWITCH GRASS	1G		
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	SPACING
1,451 SF	CYNODON DACYLON X C. TRANSVAALENSIS / TIF TUF BERMUDAGRASS	SOD	SOD	
23	HYPERICUM ADPRESSUM / CREEPING ST. JOHNSWORT	4" POT		18" o.c.

GENERAL SHEET NOTES

- REFER TO CS101 FOR MORE INFORMATION.
- REFER TO SHEET LD101 FOR TREE REMOVAL TABLES AND ADDITIONAL CALCULATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.



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Georgia 30092
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PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE

ISSUED FOR PERMIT	PERMIT COMMENTS REVISIONS	CITY DESIGN REVISIONS
04/11/2023	06/02/2023	08/11/2023
0	1	2

SHEET LEGEND

- EXISTING TREES TO REMAIN, TYP.
- LOD — LIMITS OF DISTURBANCE, TYP.
- EXISTING TOPOGRAPHY, TYP.
- PROPOSED TOPOGRAPHY, TYP.
- TPF — TREE PROTECTION FENCING, SEE DETAIL 3/L-501

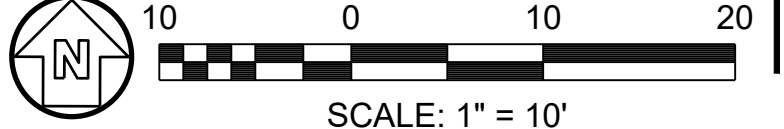
DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
LP101

ORIGINAL SHEET SIZE:
22" X 34"

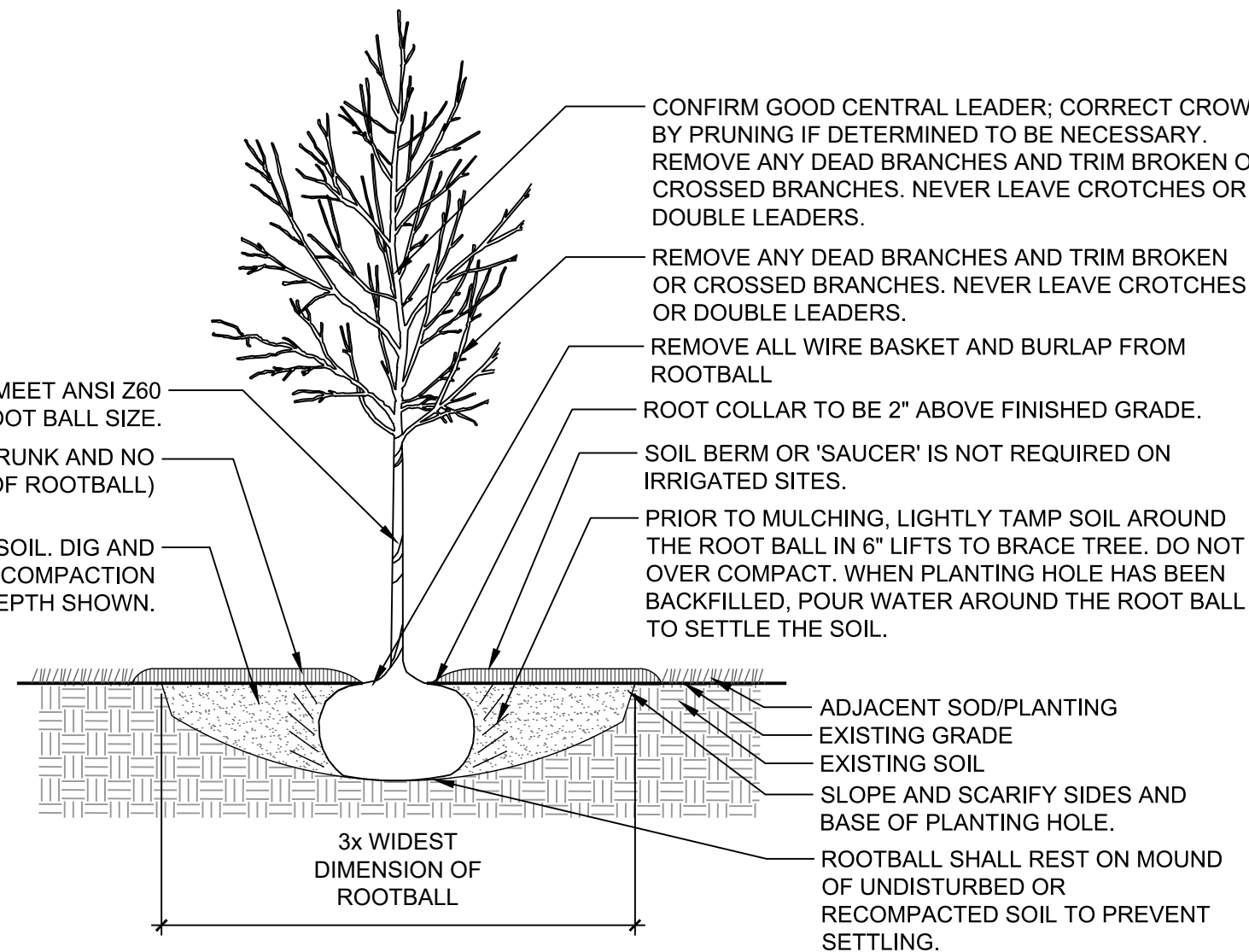
1 LANDSCAPE PLAN
SCALE: 1" = 10'



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ISSUED FOR PERMIT

- NOTES:**
- 1) WHEN THE TREE IS MOVED, THE ROOTBALL SHOULD ALWAYS BE SUPPORTED. TREES SHOULD NEVER BE HANDLED BY THE TRUNK.
 - 2) SET TOP OF ROOT BALL AT ADJACENT FINISH GRADE AND MOUND BACKFILL TO A 4" BERM AROUND ROOTBALL PERIPHERY.
 - 3) REMOVE ALL STRAPS AND NON-BIODEGRADABLE MATERIAL; CUT AND BEND BACK TOP AND SIDES OF WIRE BASKET TO A MINIMUM OF 12" BELOW THE TOP OF THE ROOT BALL BEFORE FINAL BACKFILLING OF ROOT BALL.
 - 4) CUT AND REMOVE BURLAP AND TWINE FROM TOP HALF OF BALL AFTER THE BALL HAS BEEN BACKFILLED.
 - 5) IF TREE IS TO BE PLANTED IN AN AREA OF MODIFIED OR POORLY DRAINED SOIL, REFER TO DETAILS FOR THAT SPECIFIC CONDITION. IF SUCH CONDITIONS ARE NOTED IN THE FIELD NOTIFY DESIGN PROFESSIONAL BEFORE PLANTING.



1 TREE PLANTING UP TO 4" CAL. (B&B)

1/2" = 1'-0"

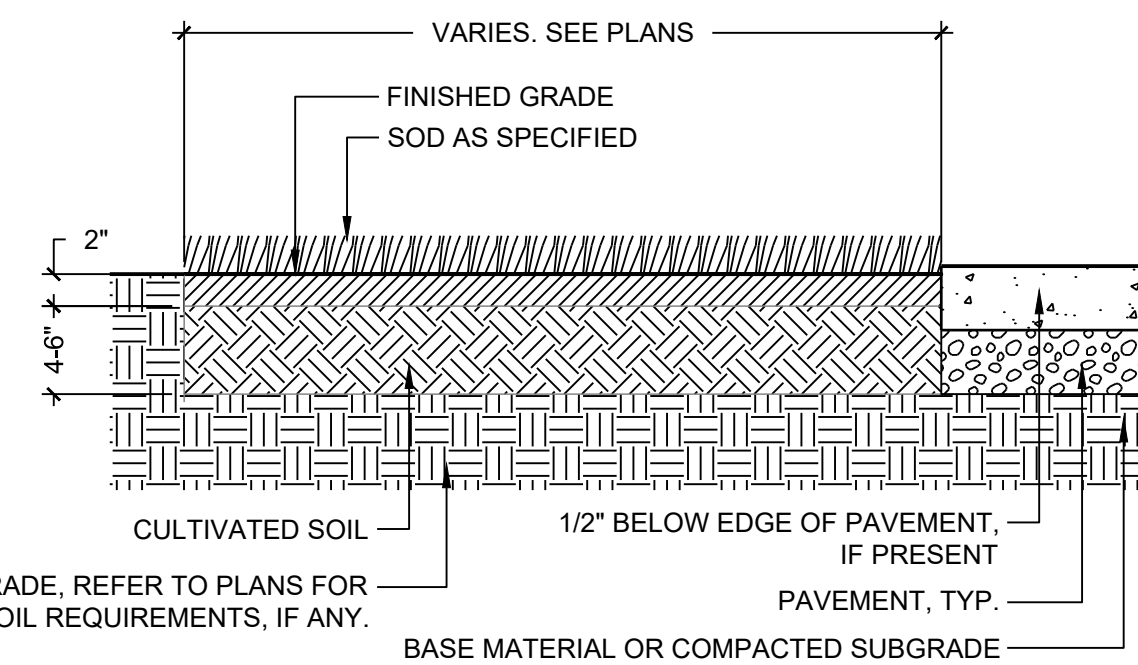
P-1210754-49

- TYPICAL PLANTING HOLE DIAMETERS:**
- 2"-3" CALIPER: 6 - 8 FEET
 - 3"-4" CALIPER: 8 - 11 FEET
 - 4"-5" CALIPER: 11 - 15 FEET

2 SODDING DETAIL

1" = 1'-0"

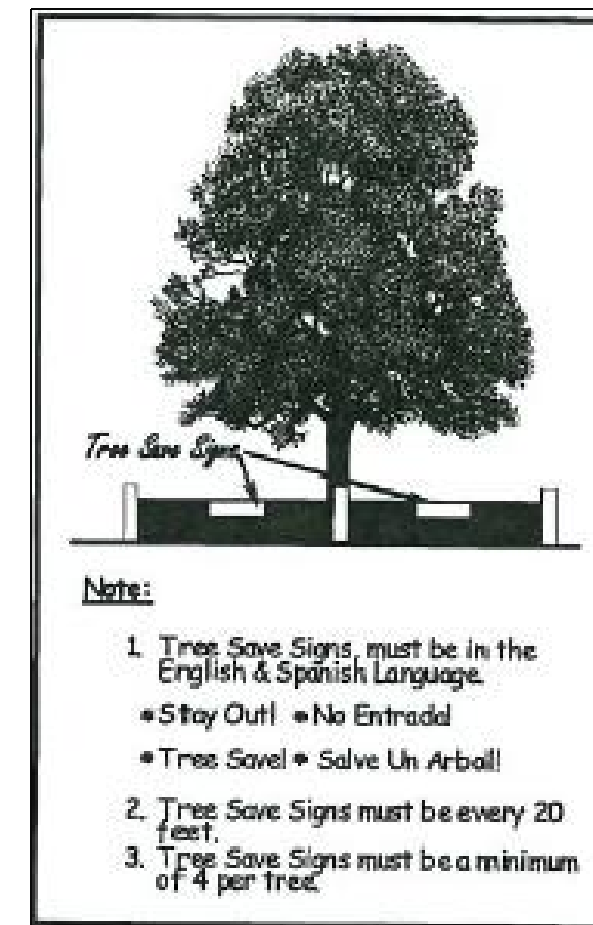
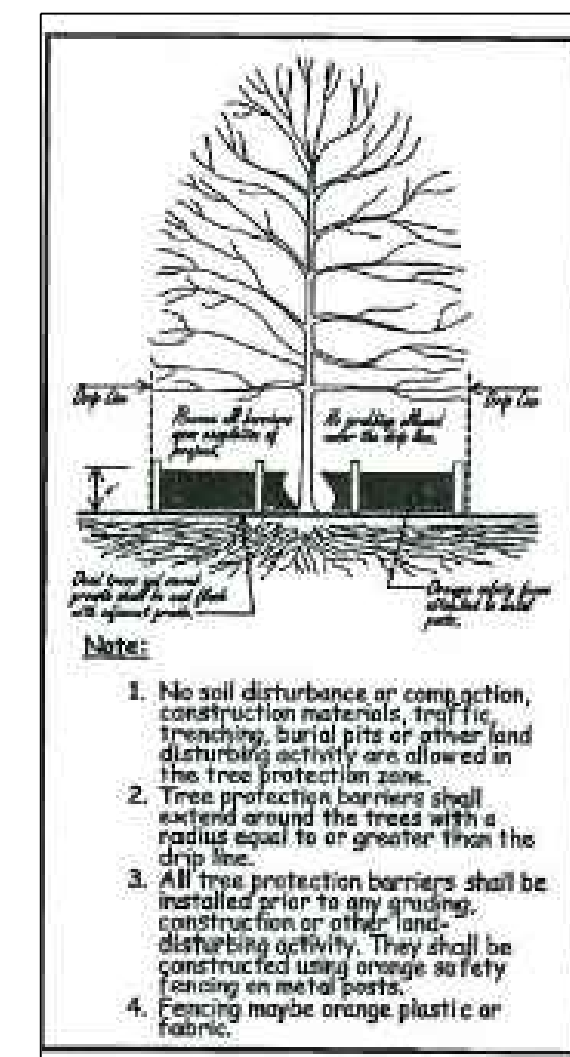
P-1210754-82



- SODDING PROCEDURE:**
1. THE GENERAL CONTRACTOR WILL PROVIDE GRADES TO +/- TWO TENTHS (0.20) OF A FOOT OF PROPOSED GRADES.
 2. REFER TO DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL SUBSOILING REQUIREMENTS. AT A MINIMUM, BREAK THROUGH AND REMOVE ALL SUBGRADE SURFACE 'HARDPAN' AND DEBRIS TO ALLOW PERCOLATION AND POSITIVE DRAINAGE.
 3. ADD ADDITIVES, SUCH AS TOPSOIL, SAND OR COMPOST (PER SOIL TEST ANALYSIS) AND ROTOTILL INTO SUBGRADE. CULTIVATE ENTIRE AREA TO A DEPTH OF 4-6". HANDRAKE SMOOTH.
 4. CULTIVATED SOIL MAY CONSIST OF STOCKPILED TOPSOIL, FREE OF DELETERIOUS MATERIAL.
 5. IF EXCESSIVELY DRY, LIGHTLY WATER AREA TO BE SODDED PRIOR TO LAYING SOD.
 6. LAY & ROLL SOD. WATER THOROUGHLY.

3 TREE PROTECTION FENCE (CHAIN LINK)

NO SCALE



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DPR SEAL
GEORGIA REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
No. 001801
DUNWODY P. THOMAS

CITY OF DUNWOODY
DUNWOODY GEORGIA

PROJECT NAME
DUNWOODY NATURE CENTER
5321 ROBERTS DR,
DUNWOODY, GA
30338

DRAWING ISSUE
04/11/2023
06/02/2023
08/11/2023
ISSUED FOR PERMIT
PERMIT COMMENTS REVISIONS
CITY DESIGN REVISIONS

DESIGNED BY: ST/MF
DRAWN BY: AB/JU
CHECKED BY: DM
SUBMITTED BY: MF
DATE: 08/11/2023
PROJECT # 1230006

SHEET TITLE
LANDSCAPE DETAILS

SHEET NUMBER
L-501

ORIGINAL SHEET SIZE:
22" X 34"

ISSUED FOR PERMIT

Packet page:...

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D

C

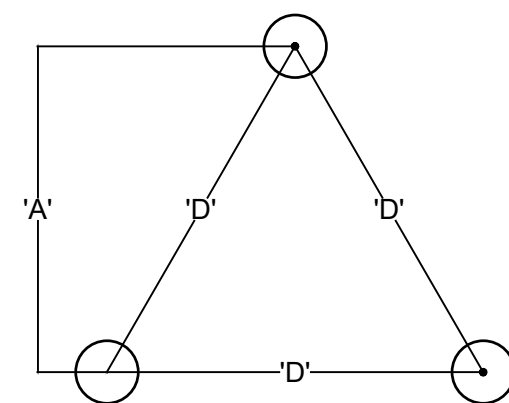
B

A

4 TYPICAL PLANT SPACING

1/2" = 1'-0"

P-1210754-81



PLANT SPACING 'D'	ROW 'A'
8" O.C.	7.00" O.C.
10" O.C.	8.5" O.C.
12" O.C.	10.5" O.C.
18" O.C.	15.5" O.C.
24" O.C.	21.0" O.C.
36" O.C.	30" O.C.
48" O.C.	31.5" O.C.

PLANT (TYP.)

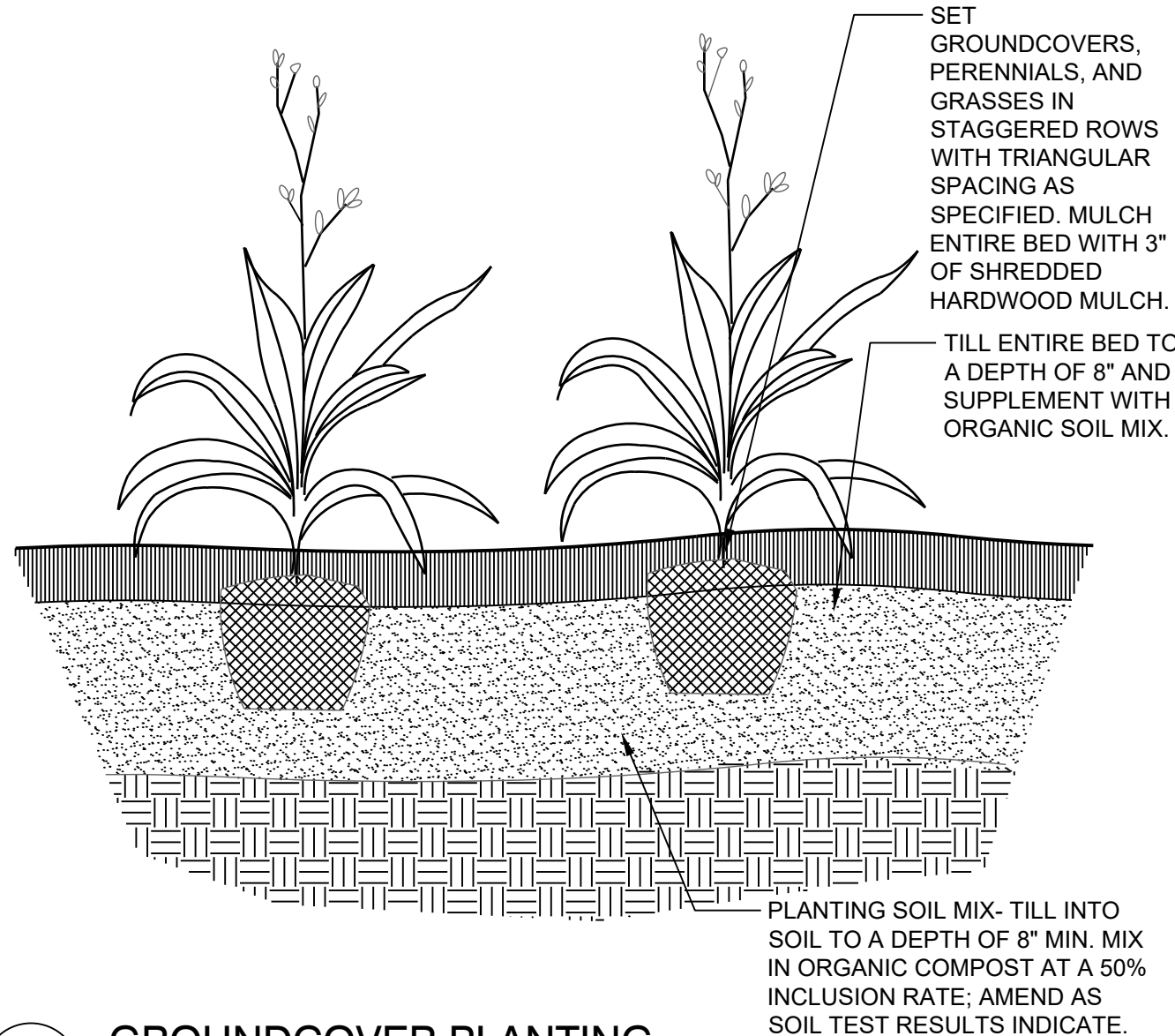


NOTE: GROUNDCOVERS, PERENNIALS, AND GRASSES TO BE INSTALLED WITH TRIANGULAR SPACING.

5 GROUNDCOVER PLANTING

1" = 1'-0"

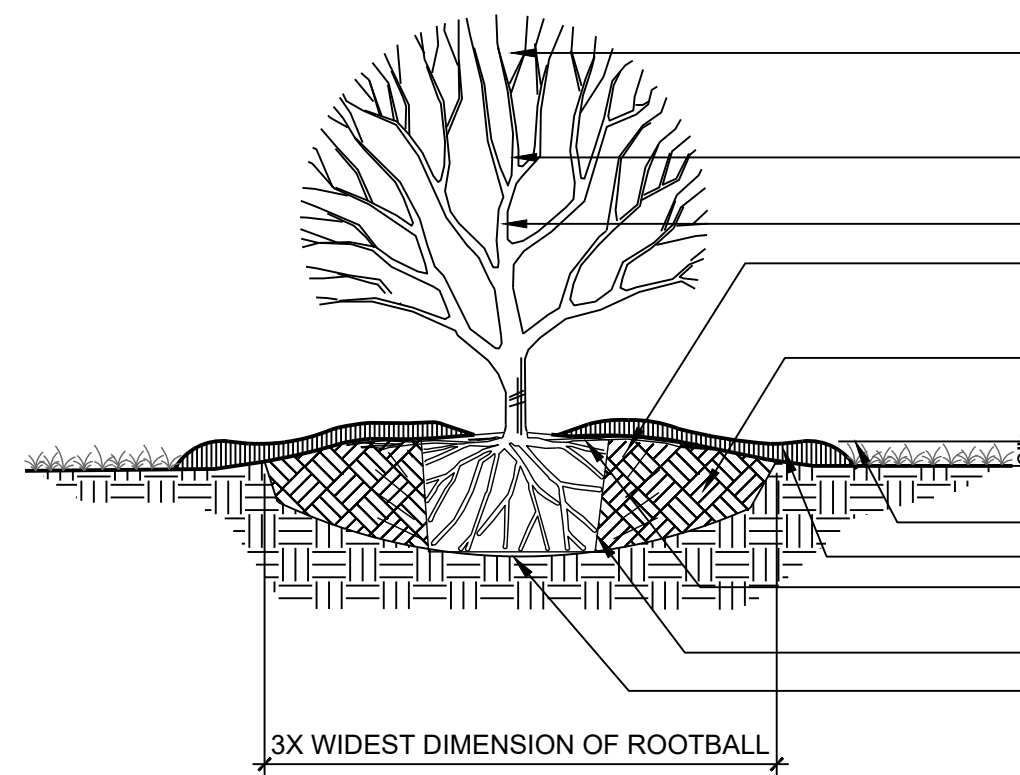
P-1210754-79



6 SHRUB AND GRASS PLANTING

1/2" = 1'-0"

P-1210754-80



- NOTES:**
1. WHEN THE SHRUB IS MOVED, THE ROOTBALL SHOULD ALWAYS BE SUPPORTED. SHRUBS SHOULD NEVER BE HANDLED BY THE TRUNK.
 2. SET TOP OF ROOT BALL A MINIMUM OF 2" ABOVE ADJACENT FINISH GRADE AND MOUND BACKFILL FLUSH WITH TOP OF ROOT BALL.
 3. REMOVE EXCESS SUBSTRATE/SOIL AND SURFACE ROOTS TO EXPOSE ROOT COLLAR. REMOVE CIRCLING STRUCTURAL ROOTS INTERFERING WITH ROOT COLLAR.
 4. SCARIFY ROOT BALL ON ALL SIDES TO ENCOURAGE FEEDER ROOT GROWTH.
 5. ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/2 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.