

The subject property, 140 Perimeter Center W, is a 15.85-acre shopping center known as Perimeter Square built in 1994 and is located along the border between the City of Dunwoody and the City of Sandy Springs. The Ashford Lane shopping center is located across the street to the east, the High Street redevelopment as well as an auto care store are located to the south, and there is another shopping center (Perimeter Square West) to the north. It was rezoned from O-I (Office-Institution) to C-1 (Local Commercial) for the development of a shopping center in 1993 and is currently zoned C-1. Currently, the subject property is home to 7 tenants: Total Wine & More, FedEx, PetSmart, Academy Sports + Outdoors, Havertys Furniture, T.J. Maxx, and AT&T Store.

Starbucks Coffee Company proposes to install a drive-through facility as an outparcel along the eastern edge of the parking lot of 140 Perimeter Center W, directly north of the existing curb cut on Perimeter Center W. In October 2023, the City of Dunwoody adopted an ordinance requiring new drive-through facilities to get a Special Land Use Permit necessitating this application.

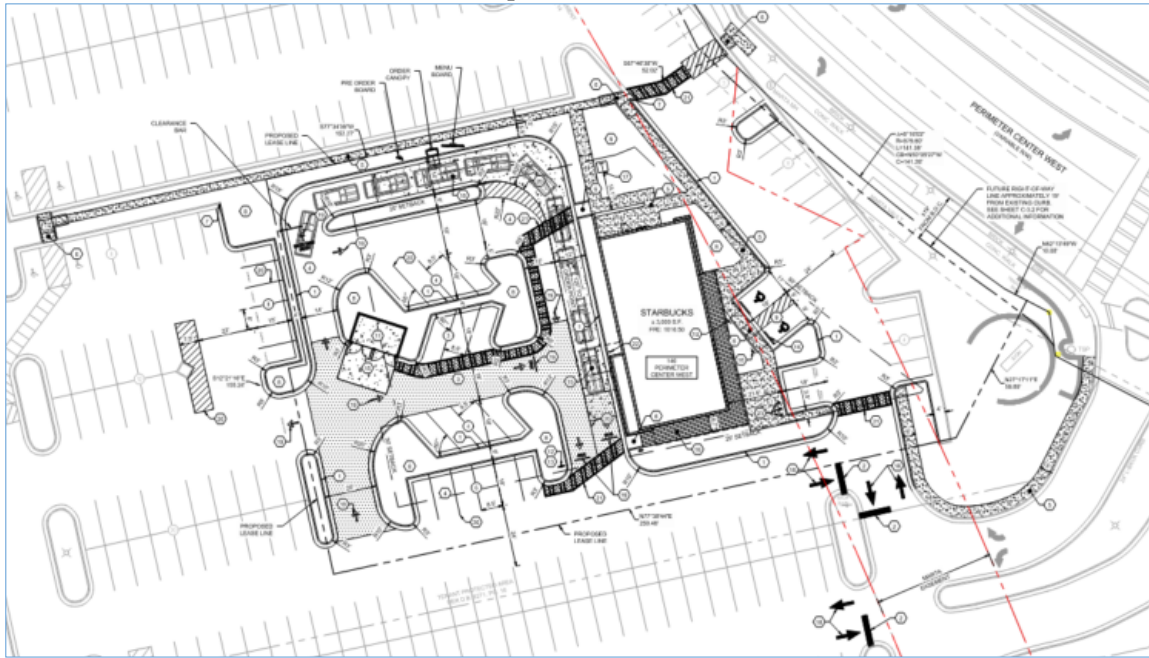
SITE PLAN ANALYSIS

Overall Location Plan (Starbucks Location in Red)



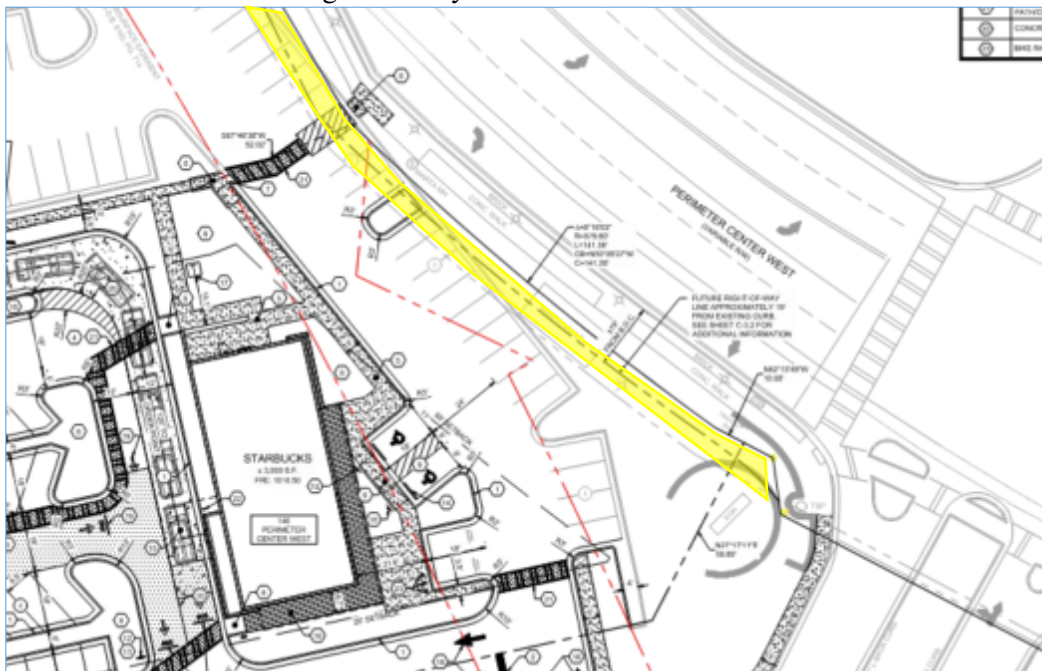
The proposed site area is 0.93 acres and will result in a net removal of 80 existing parking spaces compared to current conditions. The one-story restaurant will be 3,000 square feet and will operate a single drive-through lane with 10 stacking spaces.

Proposed Site Plan



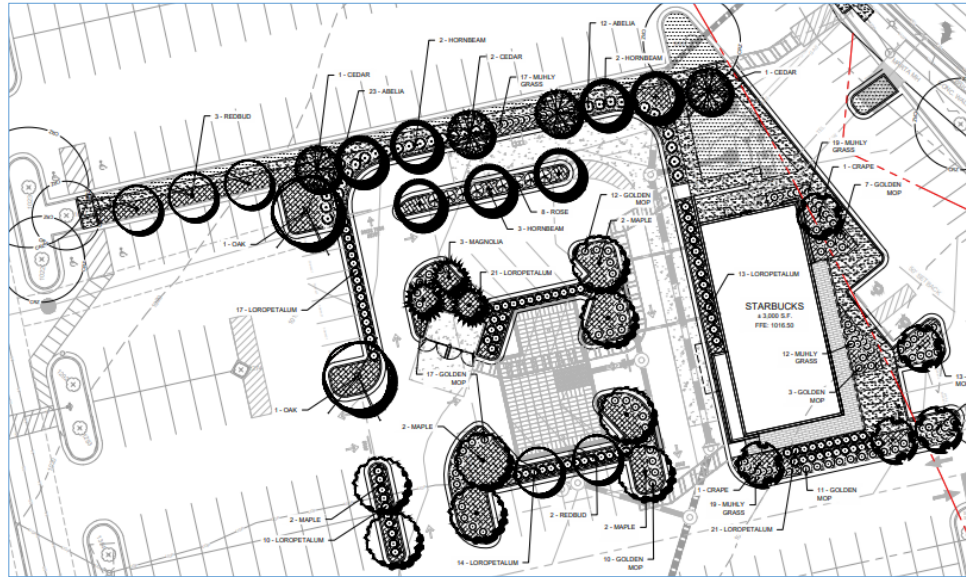
The project will be set back approximately 55 feet from the property edge in order to accommodate a MARTA easement. Parts of the site are on top of the underground Red Line MARTA route as it travels between Dunwoody and Sandy Springs stations. No structures are allowed on top of the MARTA line, while parking and associated improvements are permissible. Right-of-way dedication and improvements will be determined by the Public Works Department during the permitting stage. The currently requested right-of-way dedication for future improvements is shown in yellow in the graphic below.

Right-Of-Way Line Outlined in Yellow



The project will include two pedestrian walkways: one from the northern edge of the curb cut on Perimeter Center W and one at the northern edge of the lease line for Starbucks. This walkway will extend in an existing landscape island towards the shopping center and will improve pedestrian accessibility for the entire site. Existing trees in the landscape island will be replanted in accordance with the landscape plan below. The restaurant façade materials will be primarily brick and glass.

Proposed Landscape Plan



Proposed Elevations along Perimeter Center W



SURROUNDING LAND ANALYSIS

The table below summarizes all of the nearby zoning districts and land uses:

Direction	Zoning	Future Land Use	Current Land Use
N	C-1 and O-I	Perimeter Center (PC-2)	Shopping Center
S	OCR and C-1	Perimeter Center (PC-1)	High Street and Firestone Complete Auto Care
E	OCR and O-I	Perimeter Center (PC-1)	Ashford Lane (Shopping Center)
W	N/A – Sandy Springs	N/A – Sandy Springs	7000 Central Park Office Building

SPECIAL LAND USE PERMIT REVIEW AND APPROVAL CRITERIA

Chapter 27, Section 27-359 identifies criteria for evaluating applications for special land use permits. No application for special land use permit shall be granted by the City Council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application:

- (1) Whether the proposed use is consistent with the policies of the comprehensive plan;
- (2) Whether the proposed use complies with the requirements of this zoning ordinance;
- (3) Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district;
- (4) Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:
 - a. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated by the proposed use;
 - b. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;
 - c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;
 - d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;
 - e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and
 - f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.
- (5) Whether public services, public facilities and utilities—including motorized and nonmotorized transportation facilities—are adequate to serve the proposed use;

- (6) Whether adequate means of ingress and egress are proposed, with particular reference to nonmotorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access;
- (7) Whether adequate provision has been made for refuse and service areas; and
- (8) Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.

The drive-through is proposed on a property that is zoned C-1; a drive-through is allowed within the C-1 zoning district, provided a Special Land Use Permit is approved. The proposed new drive-through restaurant complies with all the requirements of the zoning ordinance. Additionally, the subject site is not historically significant and staff is not aware of any archaeological resources.

One of the overarching goals of the Comprehensive Plan is to promote connectivity and choice for all modes of travel. By providing two pedestrian paths (only one is required), the project accommodates multiple modes of transportation for its customers and will improve walkability for the site as a whole, mitigating negative impacts from increased car presence. Staff is also particularly supportive of the reduction in surface parking for the site as a whole - building on top of existing impervious surface is a more sustainable form of development. The Comprehensive Plan highlights the conversion of surface parking to other land uses as a redevelopment strategy, particularly in Perimeter Center. Additionally, the shopping center currently has no restaurant; adding Starbucks would diversify the current land uses present in the site.

Staff does not anticipate adverse impacts upon any adjoining land use; the proposed drive-through has adequate stacking distance to prevent issues in traffic flow in the area. In addition to meeting the City’s stacking requirements, the restaurant is situated behind a long driveway providing additional queuing area for busy periods. Parking at the overall shopping center is generally sparsely utilized, supporting the elimination of 80 parking spaces. The proposed use is fairly low-impact – a restaurant is a typical tenant in a shopping center – and there is adequate land area for it, especially given the large amount of off-street parking in area already. The drive-through will make use of the current means of ingress and egress, which are wide enough to allow emergency vehicle access, and the proposed dumpster is adequate for refuse purposes. The proposed one-story restaurant is in line with the scale of other buildings in the shopping centers and will not create a negative shadow impact on any adjoining lot or building.

DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATION

Staff finds the proposed Starbucks drive-through facility to be consistent with the policies and intent of the Comprehensive Plan and finds that it meets the review and approval criteria necessary for approval.

Thus, staff recommends approval of the Special Land Use Permit request, subject to the following exhibits and conditions:

Exhibit A: Proposed Site Plan, prepared by Gaskins + LeCraw, dated January 12, 2024 and last revised October 9, 2024

Exhibit B: Elevations, prepared by Starbucks Coffee Company Co., dated May 30, 2024 and last revised October 9, 2024

SLUP 24-01 Application

1. The owner shall develop the site in general conformity with “Exhibit A” and Exhibit “B”, with the stipulation that the maximum height of any structure must not exceed 35 feet. Minor changes as defined by Section 27-337(b) or necessary changes to meet conditions of zoning or

land development requirements shall be reviewed by the Community Development Director if made necessary by actual field conditions at the time of development.

2. The proposed pedestrian improvements must be submitted as part of the land disturbance permit application and need to be installed prior to issuance of a Certificate of Occupancy.
3. Prior to issuance of the land disturbance permit, the right-of-way dedication and any applicable right-of-way improvements shall be shown on the land disturbance permit site plan and are subject to review by the Public Works Director.
4. The north façade of the proposed building shall have a minimum of one window.

ATTACHMENTS

- Exhibit A: Proposed Site Plan, prepared by Gaskins + LeCraw, dated January 12, 2024 and last revised October 9, 2024
- Exhibit B: Elevations, prepared by Starbucks Coffee Company Co., dated May 30, 2024 and last revised October 9, 2024
- SLUP 24-01 Application



City of
Dunwoody
Georgia

Starbucks Special Land Use Permit

November 12, 2024

City Council – 10/15/2024

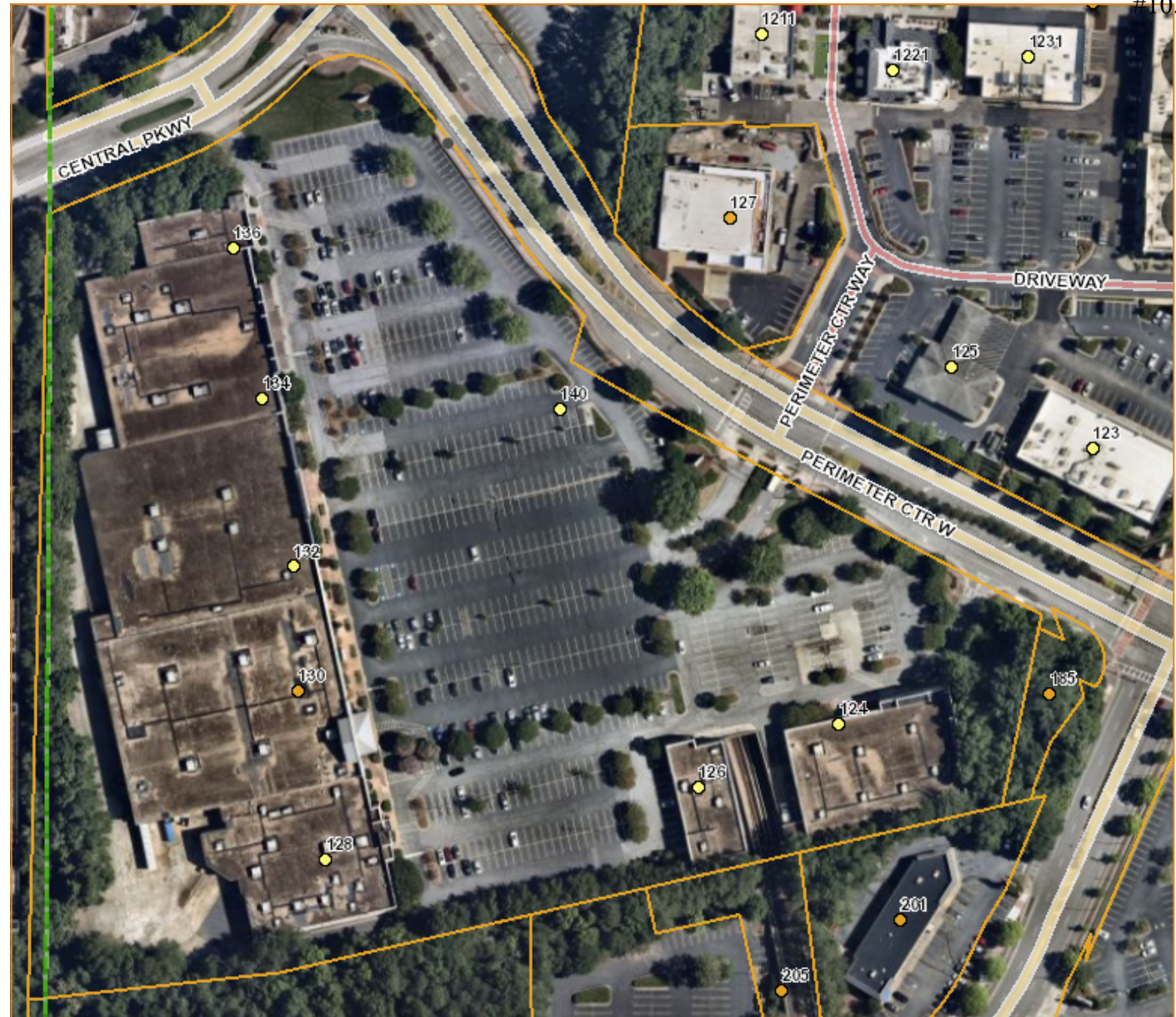
- No public comments
- The City Council requested the site plan showing the pedestrian connection eliminating three parking spaces, which staff has included in the staff memo, application, and presentation

SLUP 24-01: 140 Perimeter Center W

- The applicant, Starbucks Coffee Company c/o Gaskins + LeCraw, requests a Special Land Use Permit to allow a drive-through facility.

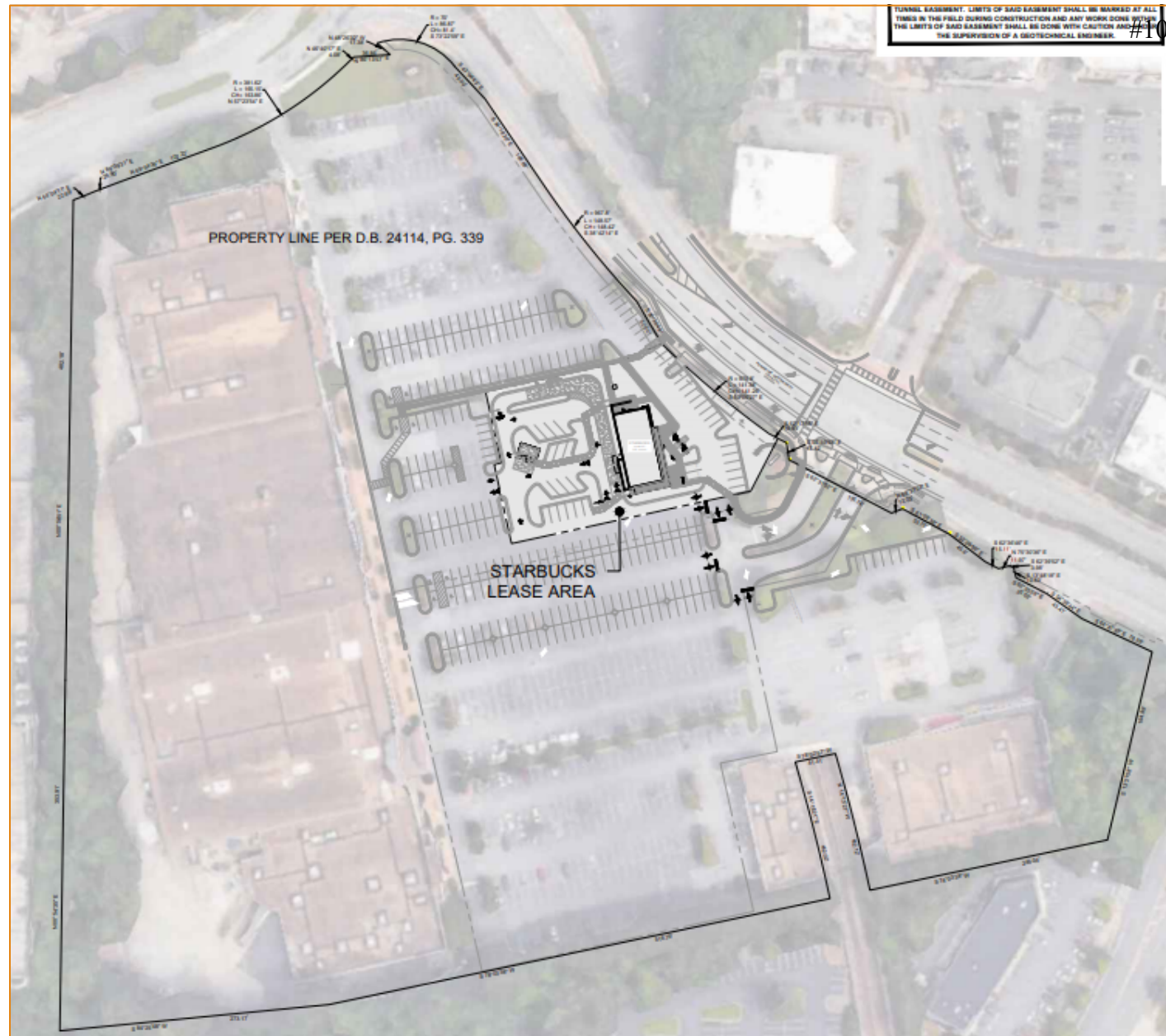
Background

- 15.85-acre shopping center known as Perimeter Square, built in 1994
- Rezoned from O-I to C-1 in 1993
- 7 tenants: Total Wine & More, FedEx, PetSmart, Academy Sports + Outdoors, Havertys Furniture, T. J. Maxx, and AT&T Store



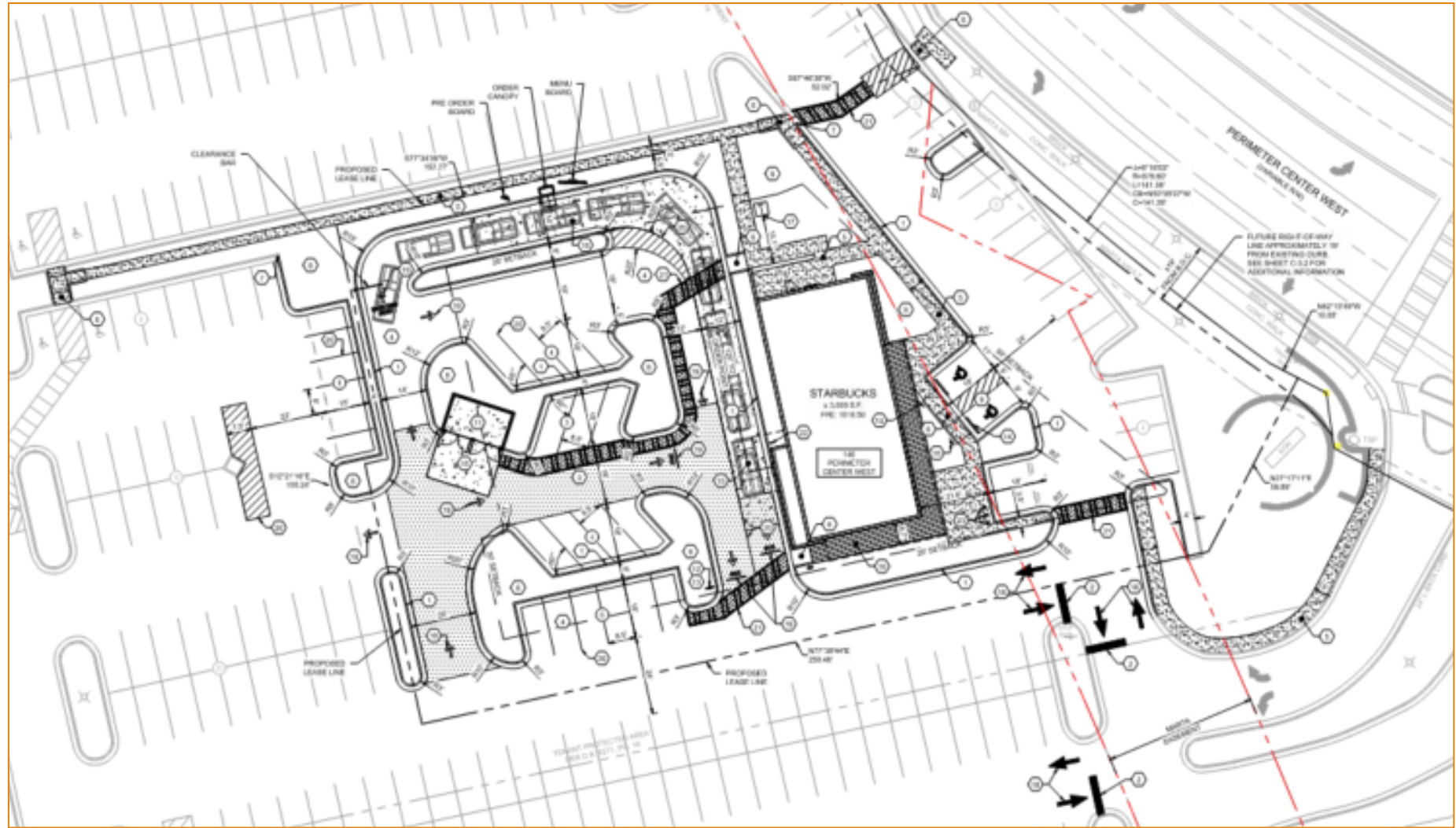
Proposal

- Starbucks proposes to install a drive-through facility as an outparcel along the eastern edge of the parking lot of 140 Perimeter Center W
- In October 2023, the City adopted an ordinance requiring new drive-through facilities to get a Special Land Use Permit



Site Plan

- 0.93-acre site area
- Net removal of 80 existing parking spaces
- 3,000 SF one-story restaurant
- Single drive-through lane, 10 stacking spaces



Proposed Elevations

- Façade materials will be primarily brick and glass



A



B

Recommendation

Approval Criteria:

- **Whether the proposed use is consistent with the policies of the comprehensive plan:**
 - Comprehensive Plan highlights the conversion of surface parking to other land uses as a redevelopment strategy, particularly in Perimeter Center – building on top of existing impervious surface is a more sustainable form of development
 - One of the overarching goals of the Comprehensive Plan is to promote connectivity and choice for all modes of travel – project is providing two pedestrian paths
- **Whether the proposed use complies with the requirements of this zoning ordinance:**
 - Proposed site plan and elevations demonstrate compliance with the zoning regulations
- **Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district**
 - There is adequate land area, especially given the large amount of off-street parking in the area already

Recommendation

Approval Criteria (cont.):

- **Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:**
 - a. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated by the proposed use;
 - Proposed use is fairly low-impact – no excessive noise, smoke, odor, dust or vibration
 - b. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;
 - Proposed use will have standard hours of operation for a restaurant
 - c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;
 - Proposed use is fairly low-impact and will operate in a standard way for a shopping center

Recommendation

Approval Criteria (cont.):

- **Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:**
 - d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;
 - Proposed drive-through has adequate stacking distance to prevent issues in traffic in the area
 - Will make use of the current means of ingress and egress
 - e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and
 - Proposed restaurant is in line with the scale of other buildings
 - f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.
 - None found.

Conditions

Staff recommends approval of the Special Land Use Permit request, subject to the following exhibits and conditions:

Exhibit A: Proposed Site plan, prepared by Gaskins + LeCraw, dated January 12, 2024 and last revised October 9, 2024

Exhibit B: Elevations, prepared by Starbucks Coffee Company Co., dated May 30, 2024 and last revised October 9, 2024

1. The owner shall develop the site in general conformity with “Exhibit A” and “Exhibit B”, with the stipulation that the maximum height of any structure must not exceed 35 feet. Minor changes as defined by Section 27-337(b) or necessary changes to meet conditions of zoning or land development requirements shall be reviewed by the Community Development Director if made necessary by actual field conditions at the time of development.
2. The proposed pedestrian improvements must be submitted as part of the land disturbance permit application and need to be installed prior to issuance of a Certificate of Occupancy.
3. Prior to issuance of the land disturbance permit, the right-of-way dedication and any applicable right-of-way improvements shall be shown on the land disturbance permit site plan and are subject to review by the Public Works Director.
4. The north façade of the proposed building shall have a minimum of one window.

Planning Commission – 8/13/2024

- No public comments
- Discussion around traffic circulation, pedestrian access, and the intersection with Perimeter Center W
- Planning Commission voted unanimously (7-0) to recommend approval for SLUP 24-01, with the stipulation that Gaskins + LeCraw will review the entrance exit on Perimeter Center W for improved circulation options



City of
Dunwoody
Georgia

SPECIAL LAND USE PERMIT APPLICATION



Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338
Phone: (678) 382-6800 | Fax: (770) 396-4828

Applicant Information:

Company Name:	Starbucks Coffee Company c/o Gaskins + LeCraw		
Contact Name:	Dani Blumenthal		
Address:	3475 Corporate Way, Suite A, Duluth, GA 30096		
Phone:	678.257.1017	Fax:	
Email:	dblumenthal@gaskinslecrow.com		
Pre-application conference date (required):			

Owner Information: Check here if same as applicant

Owner's Name:	TKG PERIMETER SQUARE LLC		
Owner's Address:	2424 RIDGE RD., ROCKWALL TX 75087		
Phone:		Fax:	
Email:			

Property Information:

Property Address:	140 Perimeter Center W.	Parcel ID:	18 349 04 001
Current Zoning Classification:	C-1c		
Requested Zoning Classification:	C-1c (no rezoning requested)		

Applicant Affidavit:

I hereby certify that to the best of my knowledge, this amendment application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

Applicant's Name: Dexter Patterson, Store Development Manager Southeast Georgia for Starbucks Coffee Company

Applicant's Signature: Date: 6/3/2024

Notary:

Sworn to and subscribed before me this	4th	Day of	June	, 2024
Notary Public:	Elizabeth Rickwood			
Signature:				
My Commission Expires:	9/10/25			

Elizabeth Rickwood
 NOTARY PUBLIC
 Gwinnett County
 State of Georgia
 My Comm. Expires September 10, 2025




Campaign Disclosure Statement

Community Development
4800 Ashford Dunwoody Road | Dunwoody, GA 30338
Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission? YES NO

Applicant / Owner:

Signature: 	Date: 6/3/2024
Address:	

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount



Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338

Phone: (678) 382-6800 | Fax: (770) 396-4828

Property Owner(s) Notarized Certification

I hereby certify that to the best of my knowledge, this amendment form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that the applicant(s) (if different) are authorized to act on my behalf, pursuant to this application and associated actions.

Property Owner (If Applicable):

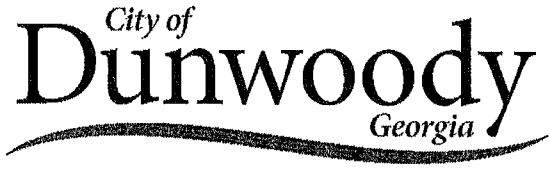
Owner Name: <u>TKG PERIMETER SQUARE, LLC</u>
Signature: <u>[Handwritten Signature]</u> Date: <u>6-4-24</u>
Address: _____
Phone: _____ Fax: _____ Email: _____
Sworn to and subscribed before me this <u>4th</u> Day of <u>June</u> , 20 <u>24</u>
Notary Public: <div style="border: 1px solid black; padding: 5px; display: inline-block;"> DEBI BARTON Notary Public - Notary Seal STATE OF MISSOURI Comm. Number 13450605 Boone County My Commission Expires: Mar. 26, 2025 </div>

Property Owner (If Applicable):

Owner Name: _____
Signature: _____ Date: _____
Address: _____
Phone: _____ Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20_____
Notary Public: _____

Property Owner (If Applicable):

Owner Name: _____
Signature: _____ Date: _____
Address: _____
Phone: _____ Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20_____
Notary Public: _____



Campaign Disclosure Statement


Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338
Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission?

YES NO

Applicant / Owner:

Signature: 	Date: 6-4-24
Address: 211 N. Stadium Blvd. Columbia, MO 65203	

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount



June 04, 2024

Mayor and City Council
City of Dunwoody
4800 Ashford Dunwoody Road
Dunwoody, GA 30338

LETTER OF INTENT: Special Land Use Permit Request for 140 Perimeter Center W.

Honorable Mayor and Board of Aldermen

On behalf of my client, Starbucks Coffee Company (the "Applicant") please accept this application to request a Special Land Use Permit (SLUP) for 140 Perimeter Center W., Dunwoody, GA (the "Subject Property"). The Applicant is seeking a SLUP from Code Section 27-72 to permit a drive-through facility.

Please see the proposed site plan, elevations, and other required materials. Thank you for your time and consideration of this request.

Sincerely,

A handwritten signature in cursive script that reads 'Michelle Macauley'.

Michelle Macauley
Entitlements Director

NOTICE OF CONSTITUTIONAL ALLEGATIONS AND PRESERVATION OF CONSTITUTIONAL RIGHTS

The portions of City of Dunwoody Code of Ordinances, facially and as applied to the Subject Property, which restrict or classify or may restrict or classify the Subject Property so as to prohibit its development as proposed by the Applicant are or would be unconstitutional in that they would destroy the Applicant's property rights without first paying fair, adequate and just compensation for such rights, in violation of the Fifth Amendment and Fourteenth Amendment of the Constitutional of the United States and Article I, Section I, Paragraph I of the Constitution of the State of Georgia of 1983, and would be in violation of the Commerce Clause, Article I, Section 8, Clause 3 of the Constitution of the United States.

The application of the City of Dunwoody Code of Ordinances to the Subject Property which restricts its use to any classification other than proposed by the Applicant is unconstitutional, illegal, null and void, constituting a taking of Applicant's Property in violation of the Just Compensation Clause of the Fifth Amendment to the Constitutional of the United States, Article I, Section I, Paragraph I, and Article I, Section III, Paragraph I of the Constitution of the State of Georgia 1983, and the Equal Protection and Due Process Clauses of the Fourteenth Amendment of the Constitution of the United Staes denying the Applicant and economically viable use of its land while not substantially advancing legitimate state interests.

A denial of this Application would constitute an arbitrary irrational abuse of discretion and unreasonable use of the zoning power because they bear no substantial relationship to the public health, safety, morality or general welfare of the public and substantially harm the Applicant in violation of the due process and equal protection rights guaranteed by the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia.

A refusal by the City of Dunwoody Mayor and City Council to approve the Special Land Use Permit as requested by the Applicant would be unconstitutional and discriminate in an arbitrary, capricious and unreasonable manner between the Applicant and owners of similarly situated property in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States. Any rezoning of the Property subject to conditions which are different from the conditions requested by the Applicant to the extent such different conditions would have the effect of further restricting Applicant's utilization

of the property, would also constitute an arbitrary, capricious and discriminatory act in zoning the Subject Property to an unconstitutional classification and would likewise violate each of the provisions of the State and Federal Constitutions set forth hereinabove.

A refusal to approve the Special Land Use Permit in question would be unjustified from a fact-based standpoint and instead would result only from constituent opposition, which would be an unlawful delegation of authority in violation of Article IX, Section II, Paragraph IV of the Georgia Constitution.

A refusal to allow the Special Land Use Permit in question would be invalid inasmuch as it would be denied pursuant to an ordinance which is in compliance with the Zoning Procedures Law, O.C.G.A. Section 36-66/1 seq., due to the manner in which the Ordinance as a whole and its map(s) have been adopted.

The existing land use designation and/or zoning classification on the Subject Property is unconstitutional as it applies to the Subject Property. This notice is being given to comply with the provisions of O.C.G.A. Section 36-11-1 to afford the County an opportunity to revise the Property to a constitutional classification. If action is not taken by the County to rectify this unconstitutional land use designation and/or zoning classification within a reasonable time, the Applicant is hereby placing the County on notice that it may elect to file a claim in the Superior Court of DeKalb County demanding just and adequate compensation under Georgia law for the taking of the Subject Property, diminution of value of the Subject Property, attorney's fees and other damages arising out of the unlawful deprivation of the Applicant's property rights.

For the foregoing reasons, the Applicant respectfully requests that the Variance Request at issue be approved. The Applicant also invites and welcomes any comments from Staff or other officials of the City of Dunwoody so that such recommendations or input might be incorporated as conditions of approval of this Application.

This 21st day of May 2024.

Respectfully submitted,

Michelle Macaulley



May 09, 2024

Dear Neighbor:

On behalf of our client, Starbucks Corporation, please join us for a community meeting to discuss a proposed Special Land Use Permit (SLUP) for property located at 140 Perimeter Center W, Dunwoody, Georgia. Starbucks Corporation is seeking a SLUP from Code Section 27-72 to permit a drive-through facility.

We will be hosting a community meeting at the following time and location:

**Embassy Suites by Hilton Atlanta Perimeter Center
1030 Crown Point Parkway, Dunwoody, Georgia
Meeting Room: Atlantan**

**Thursday, May 30, 2024
6:30pm – 7:30pm**

If you have any questions, please email Dani Blumenthal at dblumenthal@gaskinslecraw.com
Thank you, and we look forward to seeing you there.

Sincerely,

Michelle Macauley

Michelle Macauley
Entitlements Director

Summary Report

Efforts to notify neighbors about the meeting date, time, and location:

Letters were sent in the mail via USPS on May 9th, 2024. Letters were mailed to all owners of residentially zoned properties within 1,000 feet of the Subject Property and to the City of Dunwoody Planning Department (mailing list provided by City of Dunwoody). The letters included the nature of the application, the street address of the Subject Property, as well as the date, time, place, and purpose of the meeting.

Meeting Location, Date, and Time:

A meeting was held at Embassy Suites by Hilton Atlanta Perimeter Center (1030 Crown Point Parkway, Dunwoody, GA) on Thursday, May 30th from 6:30pm to 7:30pm.

Who was involved in the discussions:

The Project Engineer and Planners involved in the requested Special Land Use Permitting process were present to present the proposal and respond to any questions or comments raised by the community. No community members/property owners attended the meeting.

Suggestions and concerns raised by neighbors:

There were no attendees at the meeting.

Specific changes to the proposal considered and/or made as a result of the meeting:

No changes to the proposal were made as a result of the meeting, as nobody attended.



July 15, 2024

Mayor and City Council
City of Dunwoody
4800 Ashford Dunwoody Road
Dunwoody, GA 30338

LETTER OF INTENT: Special Land Use Permit Request for 140 Perimeter Center W.

Honorable Mayor and City Council

On behalf of my client, Starbucks Coffee Company (the “Applicant”) please accept this application to request a Special Land Use Permit (SLUP) for 140 Perimeter Center W., Dunwoody, GA (the “Subject Property”). The Applicant is seeking a SLUP from Code Section 27-72 to permit a drive-through facility.

Sincerely,

Dani Blumenthal

Dani Blumenthal
Entitlements



GASKINS + LECRAW

Sec. 27-358 – Review and Approval Criteria

1) *Whether the proposed use is consistent with the policies of the Comprehensive Plan;*

The proposed use is consistent with the policies of the Comprehensive Plan.

2) *Whether the proposed use complies with the requirements of this zoning ordinance;*

The proposed use complies with the requirements of the zoning ordinance.

3) *Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the zoning district;*

The proposed site does provide adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the zoning district.

4) *Whether the proposed use is compatible with adjacent properties and land uses, including the consideration of:*

a. *Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use;*

The proposed use will not create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.

b. *Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;*

The proposed use will not create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.

c. *Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;*

The proposed use will not create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.

d. *Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;*



GASKINS + LECRAW

To the knowledge of the Applicant, the proposed use will not create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use.

- e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and*

The size, scale and massing of the proposed building is appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.

- f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.*

The proposed plan will not adversely affect historic buildings, sites, districts, or archaeological resources.

- 5) *Whether public services, public facilities and utilities – including motorized and nonmotorized transportation facilities – are adequate to serve the proposed use;***

To the knowledge of the Applicant, public services, public facilities and utilities are adequate to serve the proposed use.

- 6) *Whether adequate means of ingress and egress are proposed, with particular reference to nonmotorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access;***

Adequate means of ingress and egress are proposed.

- 7) *Whether adequate provision has been made for refuse and service areas; and***

Adequate provision has been made for refuse and service areas.

- 8) *Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.***

To the knowledge of the Applicant, the proposed building will not create a negative shadow impact on any adjoining lot or building.

LEASE LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 349, 18TH DISTRICT, CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT FOUND ON THE SOUTHERN RIGHT OF WAY OF PERIMETER CENTER WEST (VARIABLE RIGHT OF WAY), WITH GEORGIA WEST STATE PLANE COORDINATES NORTHING: 1,428,972.41 EASTING: 2,242,243.09, SAID POINT BEING THE POINT OF BEGINNING;

THENCE ALONG SAID RIGHT OF WAY WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 151.46 FEET, WITH A RADIUS OF 979.80 FEET, WITH A CHORD BEARING OF SOUTH 50 DEGREES 05 MINUTES 27 SECONDS EAST, WITH A CHORD LENGTH OF 141.26 FEET, TO A POINT;

THENCE CONTINUING ALONG SAID RIGHT OF WAY SOUTH 62 DEGREES 13 MINUTES 49 SECONDS EAST A DISTANCE OF 10.08 FEET, TO A POINT;

THENCE LEAVING SAID RIGHT OF WAY SOUTH 27 DEGREES 17 MINUTES 11 SECONDS WEST A DISTANCE OF 59.89 FEET, TO A POINT;

THENCE SOUTH 77 DEGREES 38 MINUTES 44 SECONDS WEST A DISTANCE OF 247.24 FEET, TO A POINT;

THENCE NORTH 12 DEGREES 22 MINUTES 15 SECONDS WEST A DISTANCE OF 81.67 FEET, TO A POINT;

THENCE NORTH 77 DEGREES 34 MINUTES 39 SECONDS EAST A DISTANCE OF 7.26 FEET, TO A POINT;

THENCE NORTH 12 DEGREES 25 MINUTES 21 SECONDS WEST A DISTANCE OF 73.59 FEET, TO A POINT;

THENCE NORTH 77 DEGREES 34 MINUTES 39 SECONDS EAST A DISTANCE OF 132.89 FEET, TO A POINT;

THENCE NORTH 67 DEGREES 46 MINUTES 38 SECONDS EAST A DISTANCE OF 52.02 FEET, TO A POINT ON THE SOUTHERN RIGHT OF WAY OF PERIMETER CENTER WEST (VARIABLE RIGHT OF WAY), SAID POINT BEING THE POINT OF BEGINNING;

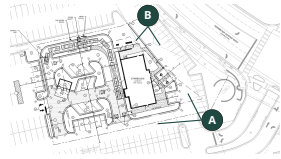
SAID TRACT OR PARCEL CONTAINS 0.87 ACRES (38,058 SQUARE FEET), MORE OR LESS.



A



B

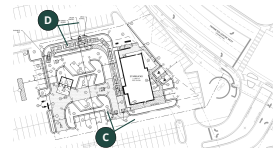




C



D





THIN BRICK CLADDING
INTERSTATE BRICK COLOR OBSIDIAN

NEW TECH WOOD CLADDING
EUROPEAN BOARD SIDING,
PERUVIAN TEAK

NEW TECH WOOD CANOPY CEILING
CLADDING, PERUVIAN TEAK



THIN BRICK CLADDING
INTERSTATE BRICK COLOR OBSIDIAN

NEW TECH WOOD CLADDING
EUROPEAN BOARD SIDING,
PERUVIAN TEAK

WALL SCONCE
ARMOR VERTICAL SCONCE, BLACK



THIN BRICK CLADDING
INTERSTATE BRICK COLOR OBSIDIAN

NEW TECH WOOD CLADDING
EUROPEAN BOARD SIDING,
PERUVIAN TEAK

NEW TECH WOOD CANOPY CEILING
CLADDING, PERUVIAN TEAK



THIN BRICK CLADDING
INTERSTATE BRICK COLOR OBSIDIAN

NEW TECH WOOD CLADDING
EUROPEAN BOARD SIDING,
PERUVIAN TEAK

PRIVACY SCREEN
LONGBOARD ALLOY VERTICAL BEAM

PRIVACY SCREEN HIDDEN TO ILLUSTRATE UPDATE ONLY



METAL CANOPY
OVER BOH DOOR + GLAZING

STORE FRONT GLAZING ADDED
ADJACENT TO BOH DOOR



PRIVACY SCREEN
LONGBOARD ALLOY VERTICAL BEAM



East elevation:

Material	SF	%
Brick	941	58%
Storefront	376	23%
Wood Siding	315	19%
	1632	100%
Windows/Transparency	376 SF	23%



South elevation:

Material	SF	%
Brick	408	55%
Storefront	203	27%
Wood Siding	134	18%
	745	100%
Windows/Transparency	203 SF	27%



West elevation:

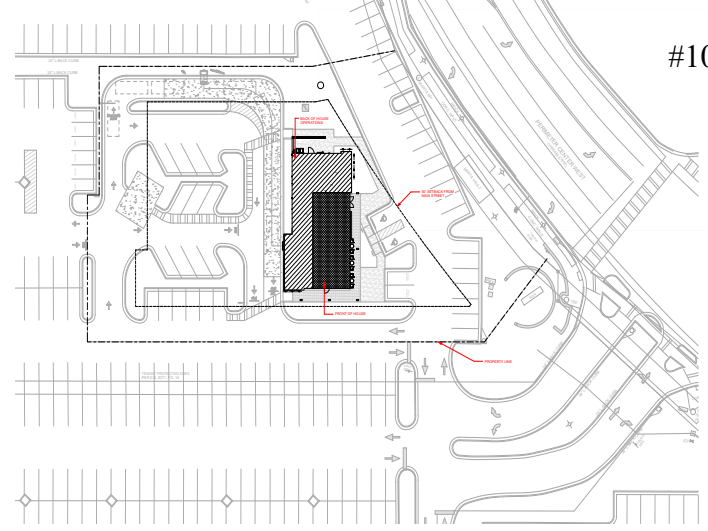
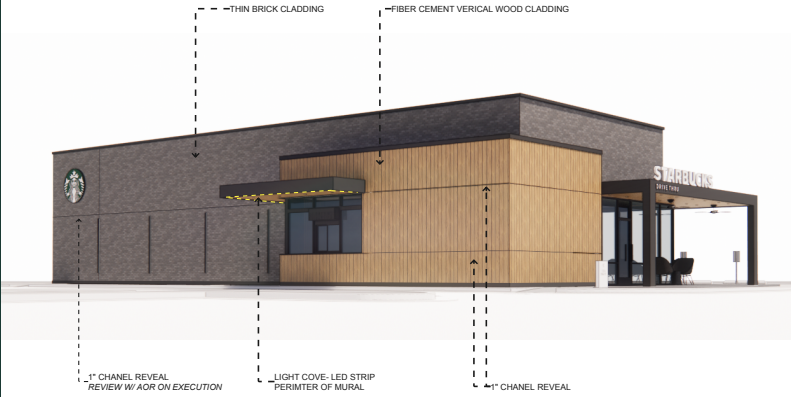
Material	SF	%
Brick	1289	75%
Storefront	87	5%
Wood Siding	340	20%
	1716	100%
Windows/Transparency	87 SF	5%

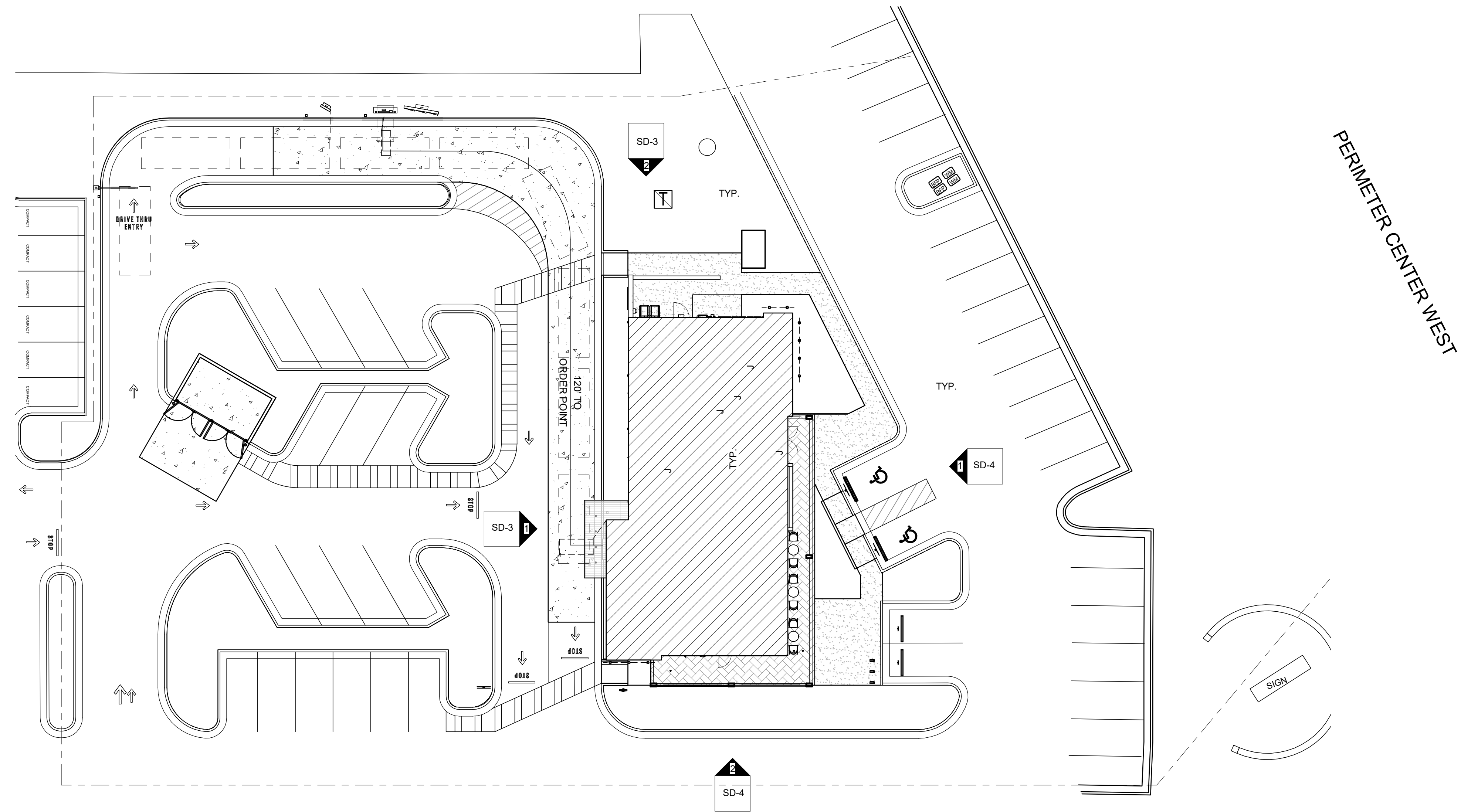


North elevation:

Material	SF	%
Brick	634	81%
Storefront	14	2%
Wood Siding	134	17%
	782	100%
Windows/Transparency	14 SF	2%

NOTE:
ROOF & CANOPY GUTTERS TO BE CONCEALED





1 PROPOSED SITE PLAN
 Scale: 1/16" = 1'-0"

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STARBUCKS TEMPLATE VERSION | 2023.04.24



GPD PROJECT NO: 2022261.14

PROJECT NAME:
PERIMETER CENTER W

PROJECT ADDRESS:
 132 PERIMETER CENTER WEST,
 ATLANTA, GA 30346

STORE #: 78309
 PROJECT #: 96856-001
 ISSUE DATE: 05/30/24
 DESIGN MANAGER: AS
 PRODUCTION DESIGNER: BT
 CHECKED BY: GPD GROUP

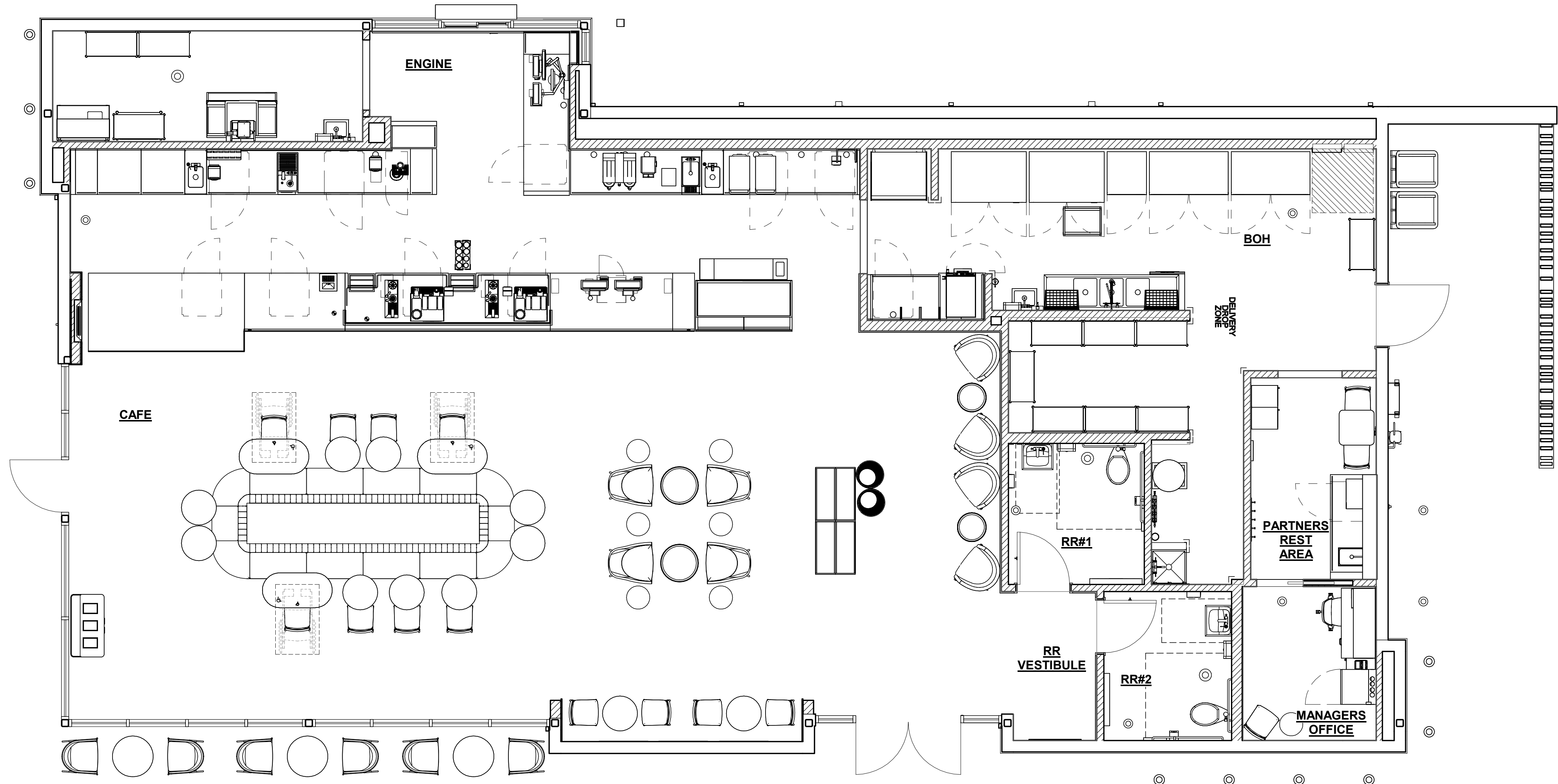
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
SCHEMATIC SITE PLAN

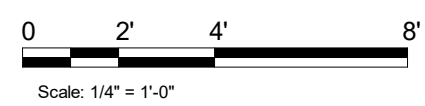
SCALE: AS SHOWN

SHEET NUMBER:
SD-1

5/29/2024 8:30:11 PM Autodesk Docs://Starbucks 2022 (Revit 2023)/96856-001_78309 Perimeter Center West_CD.rvt



1 PROPOSED FLOOR PLAN
 Scale: 1/4" = 1'-0"



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STARBUCKS TEMPLATE VERSION | 2023.04.24



520 South Main Street, Suite 2531
 Akron, OH 44311
 330.572.2100 Fax: 330.572.2101
 GPD PROJECT NO: 2022261.14

PROJECT NAME:
PERIMETER CENTER W

PROJECT ADDRESS:
 132 PERIMETER CENTER WEST,
 ATLANTA, GA 30346

STORE #: 78309
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 ISSUE DATE: 05/30/24
 DESIGN MANAGER: AS
 PRODUCTION DESIGNER: BT
 CHECKED BY: GPD GROUP

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
SCHEMATIC FLOOR PLAN
 SCALE: AS SHOWN

SHEET NUMBER:
SD-2



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STORE #: 78309
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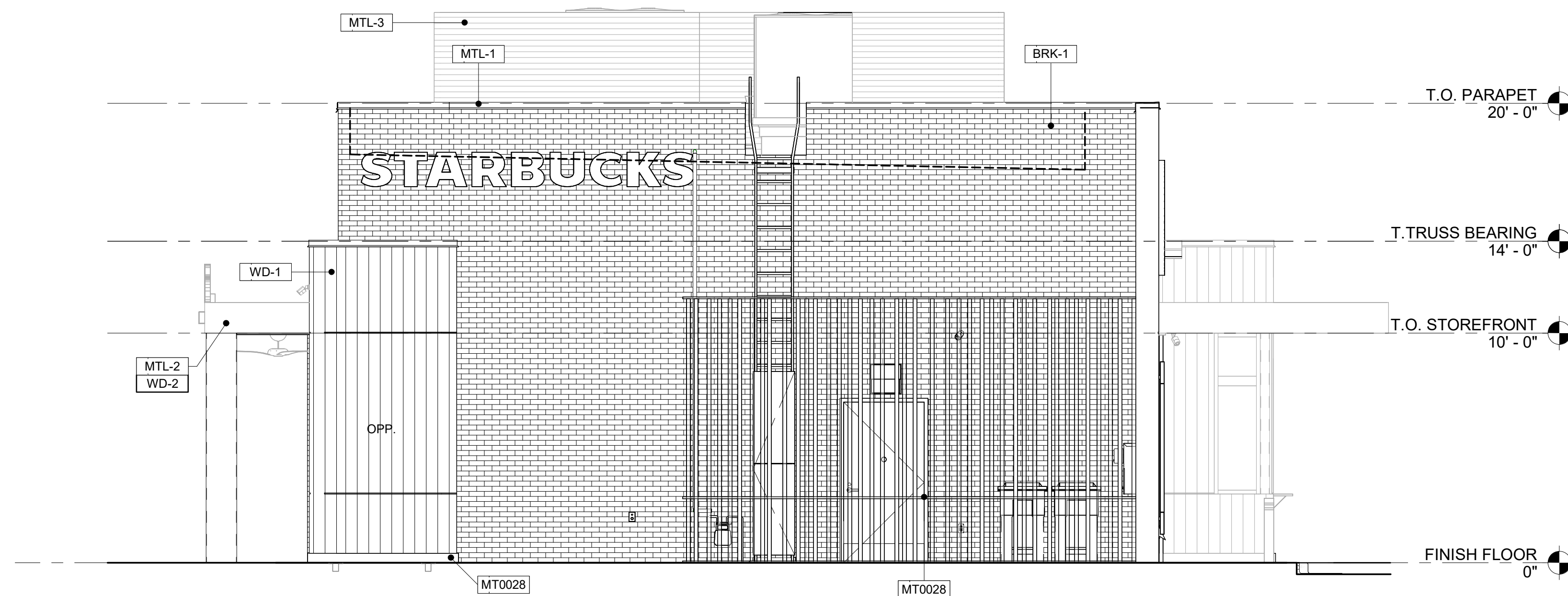
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**SCHEMATIC BUILDING
EXTERIOR ELEVATIONS**
SCALE: AS SHOWN

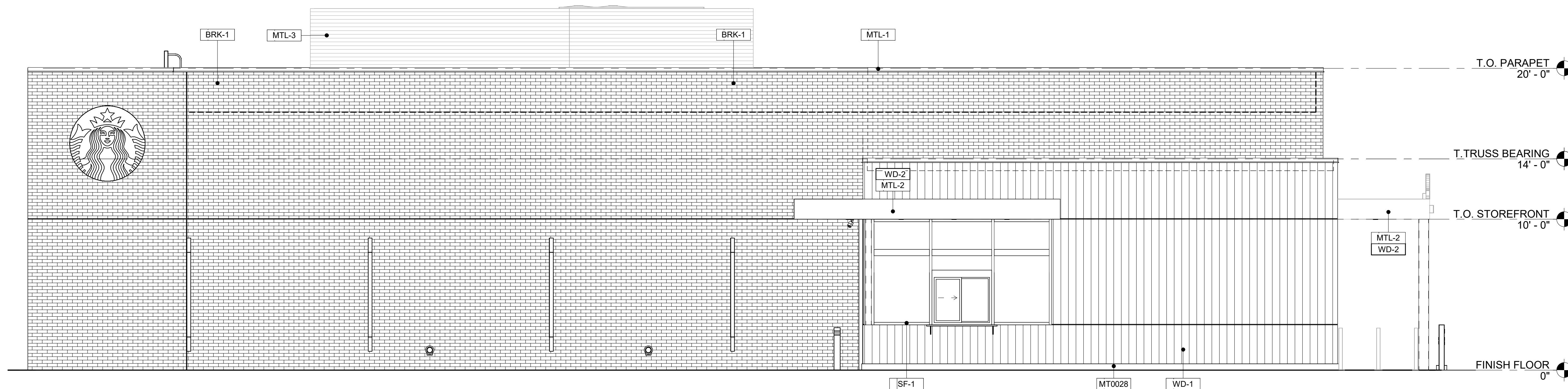
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SD-3

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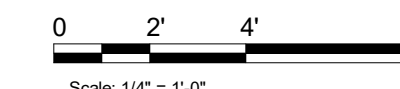
EXTERIOR MATERIAL LEGEND			VENDOR
	FINISH / DESCRIPTION		
BRK-1	BRICK VENEER INTERSTATE BRICK, THIN MODULAR 2 1/4" X 8", COLOR OBSIDIAN.		VENDOR CONTACT: DON STRANGE - EASTERN REGION MANAGER, NE/SE AND SOUTH CENTRAL TERRITORY MANAGER; (P) (704) 907.5500 DON.STRANGE@INTERSTATEBRICK.COM
WD-1	WOOD CLADDING NEW TECHWOOD CLADDING, EUROPEAN BELGIAN BOARD CLADDING, UH58 PERUVIAN TEAK (TK) STYLE;		VENDOR: CIARA RUSE - CIARA@OCA-LTD.COM, REPRESENTATIONATIVE OF NEWTECHWOOD FLORIDA TERRITORY MANAGER; O'CONNOR & ASSOCIATED, LTD.; (P) (800) 894.4199; (M) (239) 841.9071
WD-2	WOOD CLADDING NEW TECHWOOD CLADDING, ALL WEATHER SIDING, PERUVIAN TEAK (TK); UNDERSIDE OF CANOPY; TONGUE AND GROOVE US09 STYLE;		VENDOR: CIARA RUSE - CIARA@OCA-LTD.COM, REPRESENTATIONATIVE OF NEWTECHWOOD FLORIDA TERRITORY MANAGER; O'CONNOR & ASSOCIATED, LTD.; (P) (800) 894.4199; (M) (239) 841.9071
MTL-1	METAL COPING, LADDER TO ROOF, SECURITY GATE, TRASH ENCLOSURE GATES & GATE POST, DOWNSPOUTS	PAINTED TO MATCH RAL # 7021 MATTE MT0028 - FLAT BLACK	
SF-1	ALUMINUM STOREFRONT	TO MATCH RAL #7021, GLAZING TO BE CLEAR INSULATED	
MTL-2	METAL CANOPY	PREFINISH TO MATCH RAL#7021 MATTE BLACK; CANOPY WITH WOOD CLADDING SOFFIT TO MATCH WOOD CLADDING	
MTL-3	METAL ROOFTOP SCREEN	POWDERCOAT TO MATCH FLAT BLACK; RECTANGULAR UNIT W/ STIFFENERS - INSET MOUNT;	VENDOR: ARCHITECTURAL LOUVERS / V6JF; SERVICE@ARCHLOUVERS.COM - (888) 568.8371;



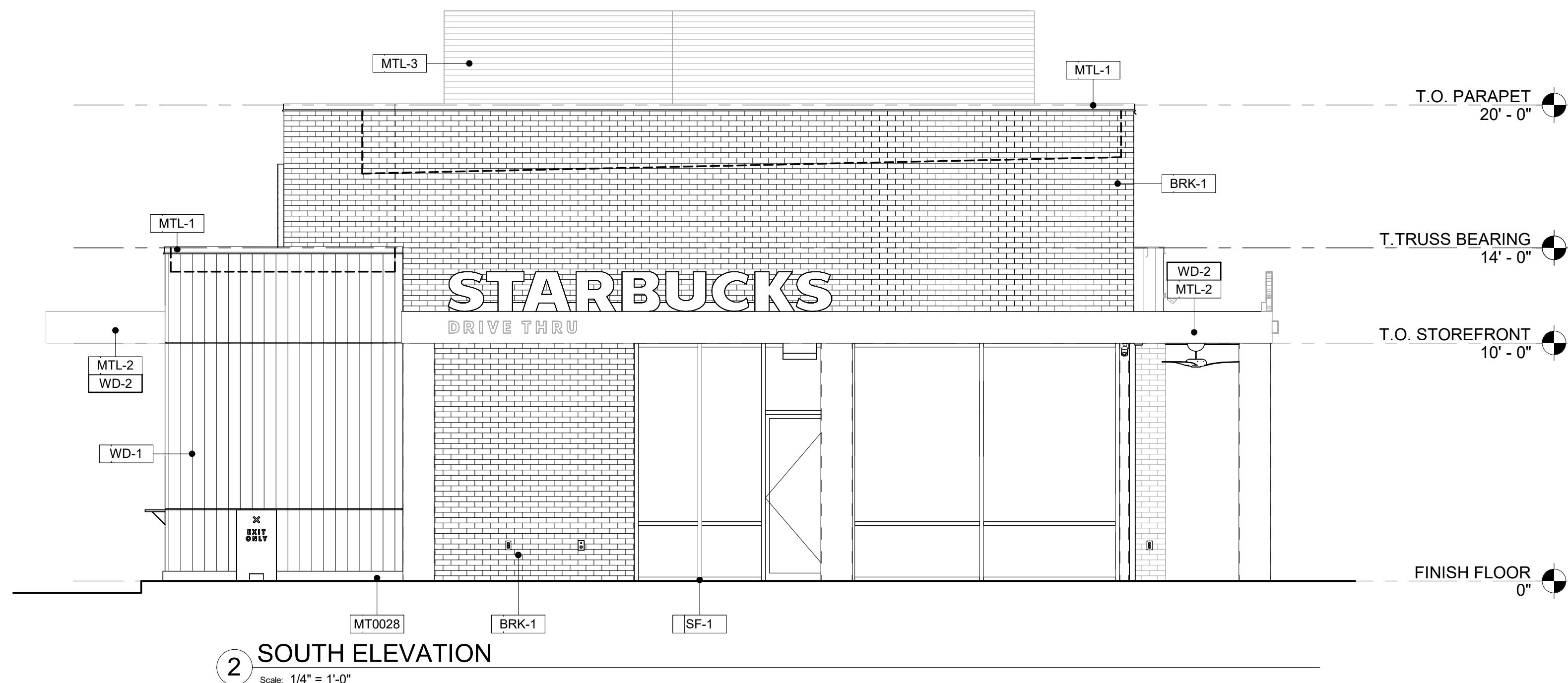
2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



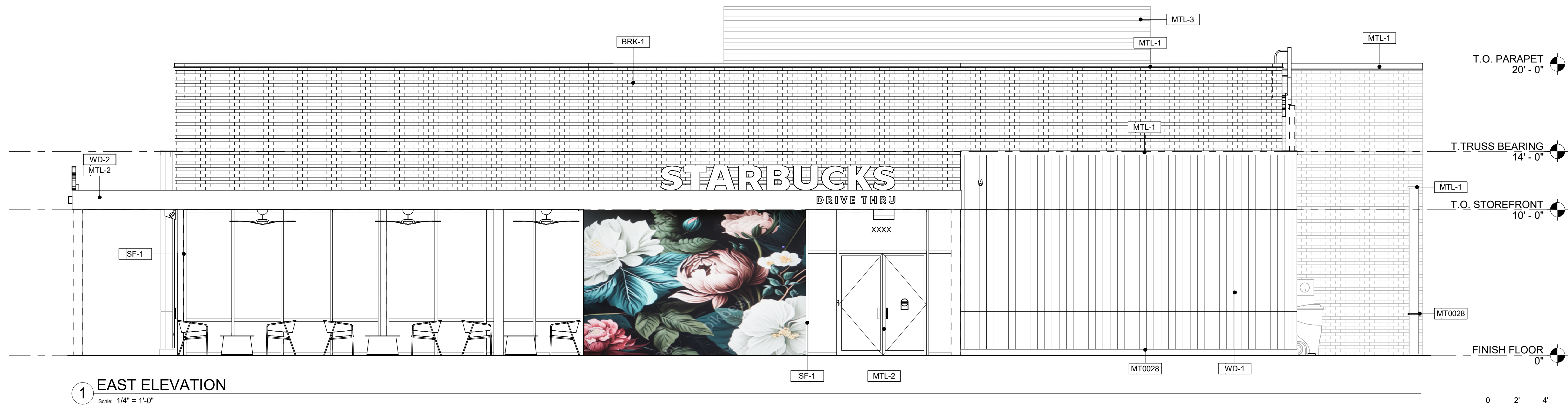
1 WEST ELEVATION
Scale: 1/4" = 1'-0"



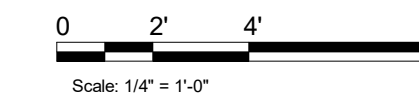
EXTERIOR MATERIAL LEGEND		
	FINISH / DESCRIPTION	VENDOR
BRK-1	BRICK VENEER INTERSTATE BRICK, THIN MODULAR 2 1/4" X 8", COLOR OBSIDIAN,	VENDOR CONTACT: DON STRANGE - EASTERN REGION MANAGER, NE/SE AND SOUTH CENTRAL TERRITORY MANAGER, (P) (704) 907.5500 DON.STRANGE@INTERSTATEBRICK.COM
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SF-1	ALUMINUM STOREFRONT	TO MATCH RAL #7021, GLAZING TO BE CLEAR INSULATED
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MTL-3	METAL ROOFTOP SCREEN	POWDERCOAT TO MATCH FLAT BLACK; RECTANGULAR UNIT W/ STIFFENERS - INSET MOUNT;
		VENDOR: ARCHITECTURAL LOUVERS / V6JF; SERVICE@ARCHLOUVERS.COM - (888) 568.8371;



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



1 EAST ELEVATION
Scale: 1/4" = 1'-0"



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STARBUCKS TEMPLATE VERSION | 2023.04.24



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Akron, OH 44311
330.572.2100 Fax: 330.572.2101

GPD PROJECT NO: 2022261.14

PROJECT NAME:
PERIMETER CENTER W

PROJECT ADDRESS:
132 PERIMETER CENTER WEST,
ATLANTA, GA 30346

STORE #: 78309
PROJECT #: 96856-001
ISSUE DATE: 05/30/24
DESIGN MANAGER: AS
PRODUCTION DESIGNER: BT
CHECKED BY: GPD GROUP

Revision Schedule			
Rev	Date	By	Description

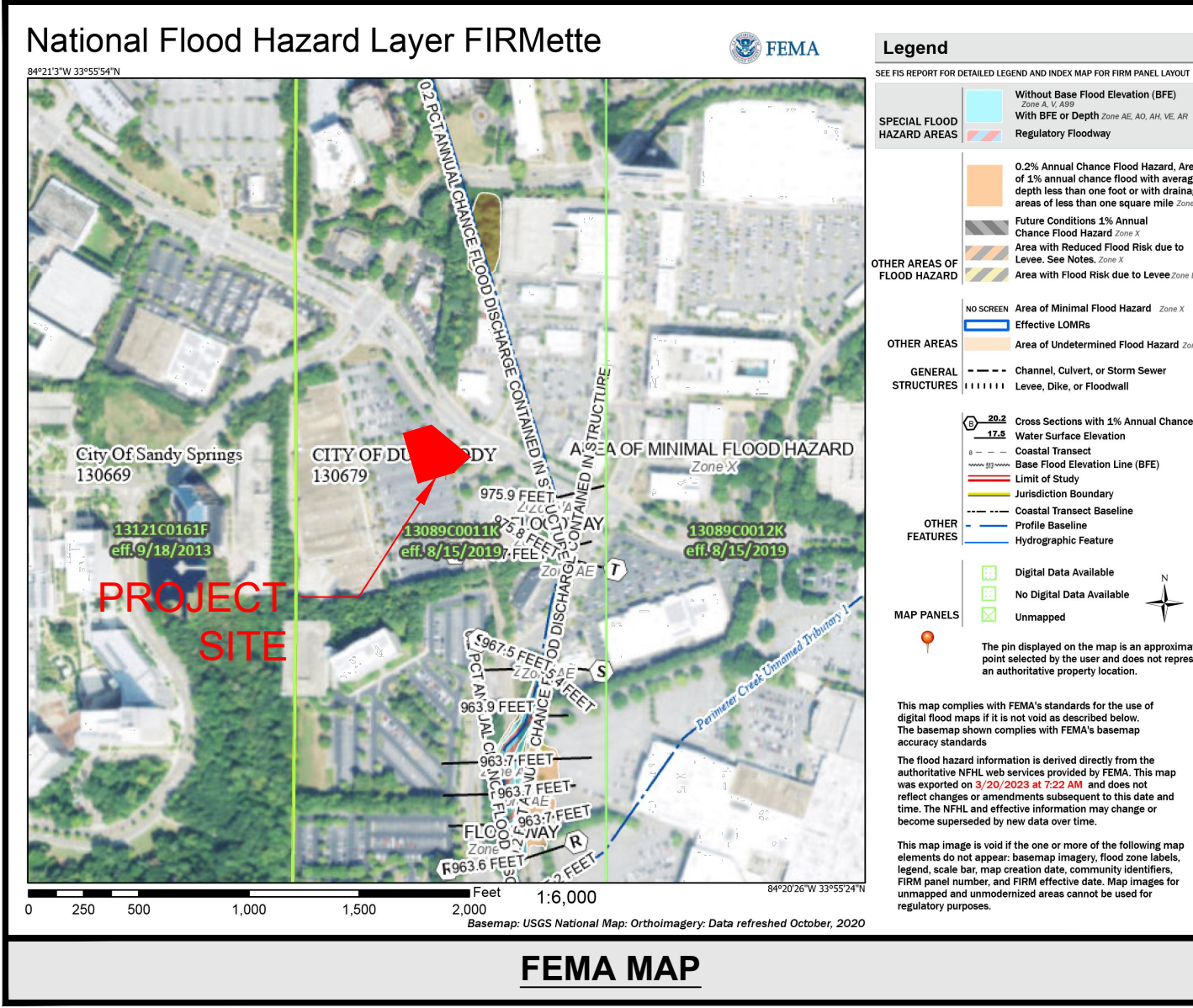
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SCHEMATIC BUILDING
EXTERIOR ELEVATIONS
SCALE: AS SHOWN

SHEET NUMBER:
SD-4

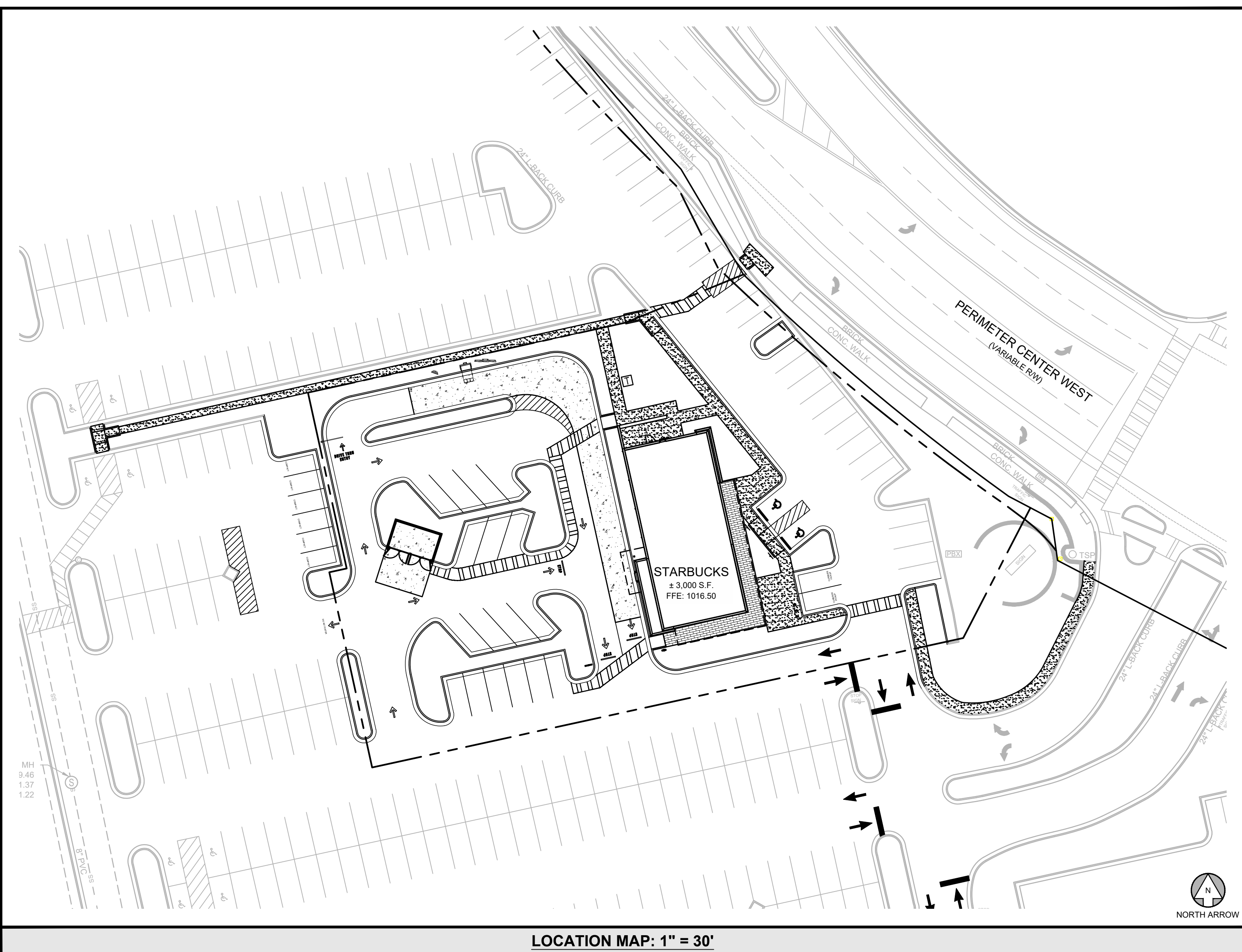
STARBUCKS - PERIMETER SQUARE

140 PERIMETER CENTER WEST LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001 DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP# 3150095



SHEET INDEX				
SHEET #	SHEET TITLE	1	2	3
C-0-1	COVER	X	X	
-	SURVEY	X		
C-0-1	GENERAL NOTES	X		
C-1-0	DEMOLITION PLAN	X		
C-1-1	TRAFFIC CONTROL PLAN	X		
C-2-0	ESPC PLAN - PHASE 1	X		
C-2-1	ESPC PLAN - PHASE 2	X		
C-2-2	ESPC PLAN - PHASE 3	X		
C-2-3	ESPC NOTES - 1	X		
C-2-4	ESPC DETAILS - 1	X		
C-2-5	ESPC DETAILS - 2	X		
C-3-0	OVERALL SITE PLAN	X	X	
C-3-1	SITE PLAN	X	X	
C-3-2	R.O.W. DEDICATION PLAN	X	X	
C-4-0	GRADING PLAN	X		
C-4-1	UNDERGROUND POND DETAILS	X		
C-4-2	OCS DIAGRAM & WQ DETAIL	X	X	X
C-5-0	UTILITY PLAN	X		
C-6-0	STORM PROFILES	X	X	
C-6-1	SANITARY PROFILES	X	X	
C-7-0	CONSTRUCTION DETAILS - 1	X		
C-7-1	CONSTRUCTION DETAILS - 2	X		
C-7-2	CONSTRUCTION DETAILS - 3	X		
C-7-3	CONSTRUCTION DETAILS - 4	X		
C-7-4	CONSTRUCTION DETAILS - 5	X	X	
L-1-0	TREE PROTECTION PLAN	X	X	
L-1-1	LANDSCAPE PLAN	X		
L-1-2	LANDSCAPE DETAILS			



PROJECT TEAM	
DEVELOPER STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH SEATTLE, WA 98134 DEXTER PATTERSON 470.217.4087	CIVIL ENGINEERING GASKINS + LECRAW 3475 CORPORATE WAY SUITE A DULUTH, GA 30096 678.546.8100 KYLE SHARPE, P.E.
ARCHITECT GPD GROUP PROFESSIONAL CORP. 520 SOUTH MAIN STREET SUITE 2531 AKRON, OH 44311 678.781.5094 BRADLEY TURNER	SURVEYOR GASKINS + LECRAW 1266 POWDER SPRINGS RD SW MARIETTA, GA 30064 770.424.7168 DEAN OLSON
PROJECT CONTACTS	
ELECTRIC GEORGIA POWER 241 RALPH MCGILL BLVD NE ATLANTA, GA 30308 888.660.5890	NATURAL GAS ATLANTA GAS LIGHT 10 PEACHTREE PLACE ATLANTA, GA 30309 404.584.3690
TELEPHONE AT&T 888.722.1787	WATER & SEWER DEKALB COUNTY WATERSHED MANAGEMENT 1300 COMMERCE DRIVE DECATUR, GA 30030 404.371.2000
PLANNING & ZONING CITY OF DUNWOODY 4800 ASHFORD DUNWOODY ROAD DUNWOODY, GA 30338 678.382.6757 MADALYN SMITH	ENGINEERING CITY OF DUNWOODY 4800 ASHFORD DUNWOODY ROAD DUNWOODY, GA 30338 678.382.6809 KEVIN MOORE

DISTURBED AREA
TOTAL SITE AREA = 0.93 ACRES TOTAL DISTURBED AREA = 0.95 ACRES
24 HOUR CONTACT
DEXTER PATTERSON 470.217.4087 STARBUCKS COFFEE COMPANY

AS-BUILT NOTE

CONTRACTOR SHALL PROVIDE THE NECESSARY SIGNED/SEALED AS-BUILT SURVEY(S) TO ENGINEER AS REQUIRED FOR FINAL APPROVAL BY THE LOCAL JURISDICTION AT LEAST 30 DAYS PRIOR TO PROJECT COMPLETION. AS-BUILT SURVEY(S) SHALL INCLUDE ALL RIM ELEVATIONS, INVERTS, PIPE SIZES & MATERIALS, AND PIPE SLOPES FOR ALL STORM AND SANITARY SEWERS. IN JURISDICTIONS WHERE AN AS-BUILT HYDROLOGY ANALYSIS OR STORMWATER "CERTIFICATION" IS REQUIRED BY THE ENGINEER OF RECORD, THE CONTRACTOR SHALL ALSO SUPPLY ALL NECESSARY DOCUMENTATION REQUIRED FOR THE ENGINEER TO DETERMINE UNDERGROUND POND(S), IF APPLICABLE, PROVIDE THE ADEQUATE STORAGE VOLUMES. SUCH DOCUMENTATION MAY INCLUDE, BUT SHALL NOT BE LIMITED TO, PHOTOGRAPHS OF SYSTEM INSTALLATION, COMPACTION REPORTS UNDER AND ABOVE THE SYSTEM, DELIVERY TICKETS, SHOP DRAWINGS, ELEVATIONS OF STONE BEDDING (TOP AND BOTTOM), AS WELL AS THE HORIZONTAL LIMITS OF STONE.

GENERAL NOTES

THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS.

IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

JURISDICTIONAL NOTES

PRIOR TO BEGINNING CONSTRUCTION, CONTACT LIA FABIAN (lia.fabian@dunwoodyga.gov) AND KEVIN MOORE (kevin.moore@dunwoodyga.gov) TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO WILL RESULT IN A STOP WORK ORDER.

AT THE END OF CONSTRUCTION THE CONTRACTOR MUST SCHEDULE FINAL BUILDING AND SITE INSPECTIONS. THE PERMIT WILL REMAIN OPEN AND THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SITE UNTIL FINAL INSPECTIONS HAVE BEEN COMPLETE.

PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY, AND INSPECTION AND MAINTENANCE AGREEMENT MUST BE FILED WITH DEKALB COUNTY. EMAIL KEVIN MOORE FOR AGREEMENT.

EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO LAND DISTURBING DEMOLITION.

DEKALB COUNTY NOTES

NO OTHER PROJECTS ARE ASSOCIATED, TO BE REFERENCED

SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE DEMOLITION OF EXISTING PARKING LOT PAVEMENT AND SITE LIGHTING TO BE REPLACED WITH THE CONSTRUCTION OF A NEW 59 SEAT STARBUCKS COFFEE SHOP BUILDING, PARKING LOT, DRIVES, SIDEWALKS, UTILITIES, AND STORMWATER INFRASTRUCTURE. THIS IS A PROPOSED LEASE AREA OF A PORTION OF THE OVERALL SHOPPING CENTER.

JURISDICTIONAL APPROVAL STAMPS

OWNER	
TKG PERIMETER SQUARE LLC 2424 RIDGE ROAD ROCKWALL, TX 75087	
SITE SUMMARY	
SITE LEASE AREA	0.93 ACRES (40,483 S.F.)
IMPERVIOUS AREA:	30,890 S.F. (76.3%)
PERVIOUS AREA:	9,593 S.F. (23.7%)
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF DUNWOODY
ZONING:	C-1C (PERIMETER CENTER OVERLAY)
ADJACENT ZONING:	C-1C (PERIMETER CENTER OVERLAY)
BUILDING SETBACKS	
FRONT:	50' (BASE ZONING) 0/20' MAX. (BUILD TO ZONE)
SIDE:	20'
REAR:	30'
BUILDING SUMMARY	
BUILDING AREA:	3,000 S.F. (59 SEATS)
BUILDING COVERAGE:	7.8%
PARKING SUMMARY	
PARKING REQ.:	10 SPACES / 1,000 S.F.
	30 SPACES
PARKING PROV.:	37 SPACES
MIN. STALL DIMENSIONS:	8.5' x 18'
MIN. DRIVE WIDTH:	22'

MARTA EASEMENT NOTE

CONTRACTOR TO TAKE NOTE OF EXISTING MARTA MARTA UNDERGROUND TUNNEL EASEMENT. LIMITS OF SAID EASEMENT SHALL BE MARKED AT ALL TIMES IN THE FIELD DURING CONSTRUCTION AND ANY WORK DONE WITHIN THE LIMITS OF SAID EASEMENT SHALL BE DONE WITH CAUTION AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

STATE WATERS NOTE

NO PORTION OF THIS PROJECT IS LOCATED WITHIN 200' OF A STATE WATER OR WETLANDS.

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW
© 2024 GASKINS + LECRAW, INC.
3475 CORPORATE WAY
SUITE A
DULUTH, GA 30096
PHONE - 678.546.8100
FAX - 770.441.0295
www.gaskinslecraw.com
PEF008127

REVISIONS:

NO.	DATE	DESCRIPTION	BY	CHECKED
1				
2				
3				
4				
5				

CLIENT
GPD GROUP
1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT
STARBUCKS - PERIMETER SQUARE
140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

10/8/2024

CALL BEFORE YOU DIG

Know what's below.
Call before you dig.

SCALE & NORTH ARROW:

DESIGN INFO:

DRAWN BY: MAT
DESIGNED BY: MAT
REVIEWED BY: TKS
JOB #: 011148
DATE: JANUARY 12, 2024

COVER

C-0-1

Packet page:...

PREPARED IN THE OFFICE OF:



© 2022 GASKINS + LECRAW, INC. 1266 POWDER SPRINGS RD SW MARIETTA, GA 30064 PHONE - 770.424.7168 FAX - 770.424.7593 www.gaskinslecraw.com

LSF 001371

REVISIONS:

Table with columns: REV #, DATE, DRAWN BY, CHECKED BY

CLIENT:

GPD GROUP 1801 WATERMARK DRIVE SUITE 210 COLUMBUS, OHIO 43215 PROJECT: ALTANSPS LAND TITLE SURVEY PREPARED FOR: STARBUCKS CORPORATION LOCATED IN LAND LOT 349, 18th DISTRICT, CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

CALL BEFORE YOU DIG



Know what's below. Call before you dig.

SCALE & NORTH ARROW:



SCALE: 1" = 20'

DESIGN INFO:

Table with columns: DRAWN BY, DESIGNED BY, REVIEWED BY, JOB #, DATE

SHEET TITLE

2 OF 3

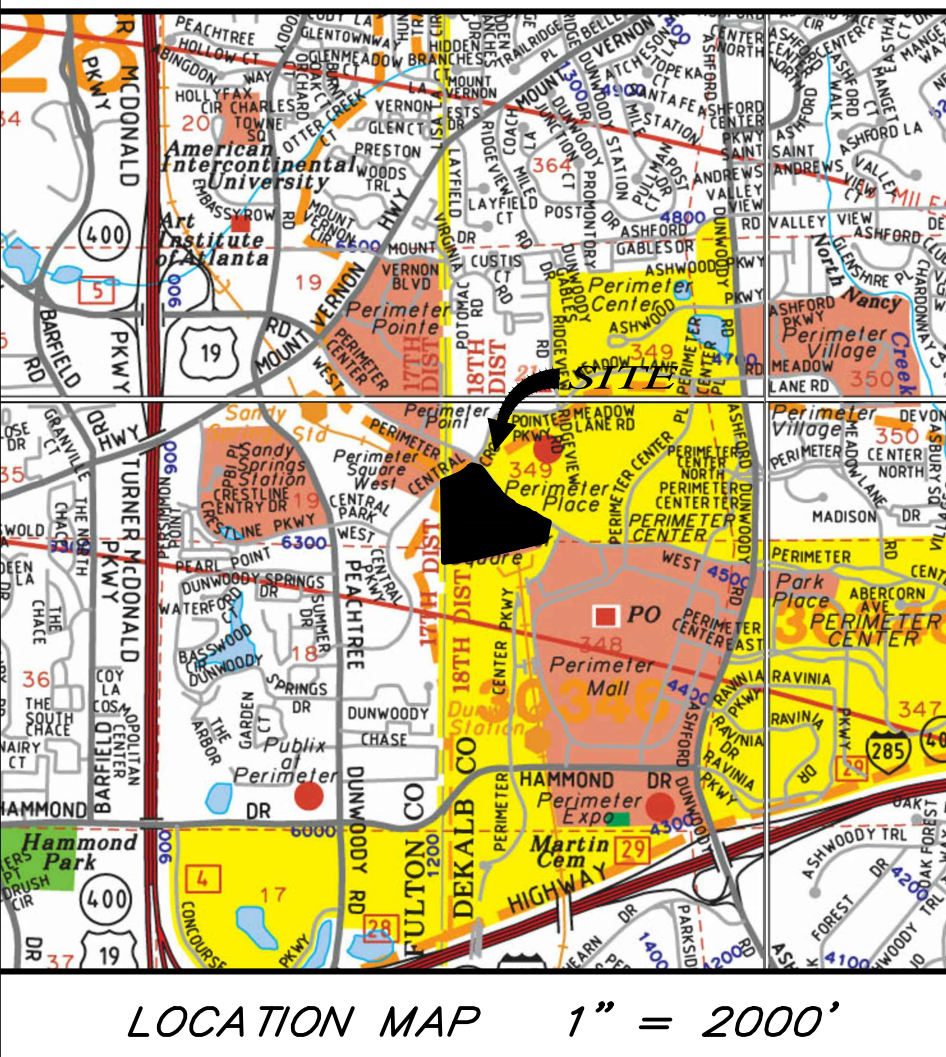
Packet page...

*THIS DOCUMENT WAS PRODUCED ON A 22" X 34" SHEET UTILIZING ELECTRONIC MEDIA AND DIGITALLY SIGNED BY THE SURVEYOR UTILIZING NITRO PRO PDF EDITOR AT THE TIME AND DATE SHOWN AND A COPY OF THE ORIGINAL DOCUMENT IS KEPT IN THE OFFICE OF THE SURVEYOR. ANY MODIFICATIONS MADE THEREAFTER ARE INVALID. ANY DIGITAL COPY OF THIS DOCUMENT THAT DOES NOT CONTAIN A SIGNATURE VALIDATION AT THE SAME TIME AND DATE OR CONTAINS PDF EDITS HAS BEEN MODIFIED. ANY DIGITAL OR PAPER COPIES CAN BE AUTHENTICATED USING THE ORIGINAL SURVEYOR'S DOCUMENT.

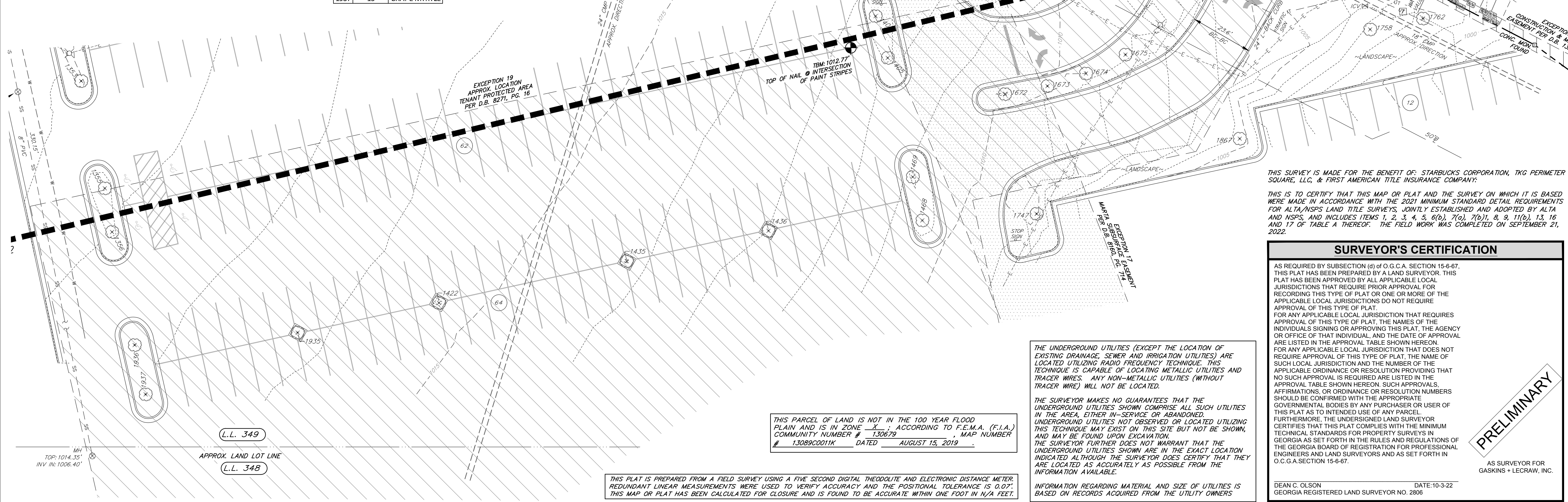
LEGEND table with symbols and descriptions for various utilities and structures like P.P., L.P., F.H., M.H., W.M., G.M., RBS, RBF, CTF, OTF, R/W MON, THH, C.B., R.C.P., C.M.P., F.F.E., WATER VALVE, SEWER CLEAN OUT, CABLE BOX, UNDERGROUND ELECTRICAL LINE, OVERHEAD POWER LINES, HW, POWERBOX, W, UNDERGROUND TELEPHONE LINE, GAS LINE, TSPH.

TREE CHART table with columns: NO., DBH (IN), TYPE

CLERK OF THE SUPERIOR COURT RECORDING INFORMATION



LOCATION MAP 1" = 2000'



THIS SURVEY IS MADE FOR THE BENEFIT OF: STARBUCKS CORPORATION, TKG PERIMETER SQUARE, LLC, & FIRST AMERICAN TITLE INSURANCE COMPANY. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b), 8, 9, 11(b), 13, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 21, 2022.

SURVEYOR'S CERTIFICATION section with text and a PRELIMINARY stamp.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X; ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER # 130679, MAP NUMBER # 13089C0011K DATED AUGUST 15, 2019.

THIS PLAT IS PREPARED FROM A FIELD SURVEY USING A FIVE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE METER. REDUNDANT LINEAR MEASUREMENTS WERE USED TO VERIFY ACCURACY AND THE POSITIONAL TOLERANCE IS 0.01'. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN N/A FEET.

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER AND IRRIGATION UTILITIES) ARE LOCATED UTILIZING RADIO FREQUENCY TECHNIQUE. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRES) WILL NOT BE LOCATED. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

*THIS DOCUMENT WAS PRODUCED ON A 22" X 34" SHEET UTILIZING ELECTRONIC MEDIA AND DIGITALLY SIGNED BY THE SURVEYOR UTILIZING NITRO PDF EDITOR AT THE TIME AND DATE SHOWN AND A COPY OF THE ORIGINAL DOCUMENT IS KEPT IN THE OFFICE OF THE SURVEYOR. ANY MODIFICATIONS MADE THEREAFTER ARE INVALID. ANY DIGITAL COPY OF THIS DOCUMENT THAT DOES NOT CONTAIN A SIGNATURE VALIDATION AT THE SAME TIME AND DATE OR CONTAINS PDF EDITS HAS BEEN MODIFIED. ANY DIGITAL OR PAPER COPIES CAN BE AUTHENTICATED USING THE ORIGINAL SURVEYOR'S DOCUMENT.

CLERK OF THE SUPERIOR COURT
RECORDING INFORMATION

ALTA TABLE A ITEM NOTES:

- ITEM 1 - #4 REBARs SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
ITEM 2 - ADDRESS OF 130 PERIMETER CENTER WEST PER CITY OF DUNWOODY ONLINE GIS MAPS.
ITEM 3 - SEE FLOOD NOTE.
ITEM 4 - SUBJECT TRACT IS 15.73 ACRES PER D.B. 24114, PG. 339. TOPO AREA SHOWN IS APPROX. 3.9 ACRES
ITEM 5 - VERTICAL RELIEF SHOWN GRAPHICALLY WITH 1' CONTOURS; VERTICAL DATUM - SEE GPS NOTE.
ITEM 6(b) - PROPERTY IS ZONED C-1 - LOCAL COMMERCIAL PER CITY OF DUNWOODY ONLINE ZONING MAP.
ITEM 7(a) - NO BUILDINGS IN TOPO AREA AT TIME OF SURVEY.
ITEM 7(b)(1) - NO BUILDINGS IN TOPO AREA AT TIME OF SURVEY.
ITEM 8 - ALL SUBSTANTIAL FEATURES OBSERVED WHILE CONDUCTING FIELD WORK ARE SHOWN.
ITEM 9 - 363 TOTAL PARKING SPACES (INCLUDING 8 HANDICAP) WERE OBSERVED IN TOPO AREA AT TIME OF SURVEY.
ITEM 11(b) - SITE UTILITIES SHOWN ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE AND UNDERGROUND UTILITIES MARKED BY PAINT OR FLAGS BY RHD SERVICES AND FIELD LOCATED BY GASKINS. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE IN NATURE.
ITEM 13 - NAMES OF ADJOINING TRACTS HAVE BEEN SHOWN GRAPHICALLY.
ITEM 16 - THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS AT THE TIME OF SURVEY.
ITEM 17 - THERE WAS NO KNOWN PROPOSED CHANGES TO STREET RIGHT OF WAY LINES PROVIDED OR FOUND AT THE TIME OF SURVEY, NOR WAS THERE ANY EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OBSERVED.

TITLE COMMITMENT NOTES:

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NUMBER: NCS-1150645-HOU1

EFFECTIVE DATE: SEPTEMBER 27, 2022 @ 8:00 AM

EXCEPTIONS PER TITLE COMMITMENT

- 12. RESERVATION OF SURFACE WATER DRAINAGE EASEMENT CONTAINED IN QUIT-CLAIM DEED FROM TAYLOR & MATHIS ENTERPRISES, A GEORGIA GENERAL PARTNERSHIP, METROPOLITAN LIFE INSURANCE COMPANY, A NEW YORK CORPORATION, AND 2154 TRADING CORPORATION, A NEW YORK CORPORATION, TO KERWIN BUTLER ADAMS AND AL JOE BRAXTON, AS CO-EXECUTORS UNDER THE LAST WILL AND TESTAMENT OF MRS. MARIE B. ADAMS, A/K/A MRS. ARTHUR K. ADAMS, LATE OF THE STATE OF GEORGIA, COUNTY DEKALB, DECEASED, DATED JUNE 5, 1979, FILED FOR RECORD JULY 30, 1979, AND RECORDED IN DEED BOOK 4096, PAGE 27, DEKALB COUNTY, GEORGIA RECORDS. DOES NOT AFFECT SUBJECT TRACT. EASEMENT IS IN CURRENT RIGHT OF WAY OF PERIMETER CENTER WEST.
13. SLOPE EASEMENT FROM AL J. BRAXTON AND KERWIN BUTLER ADAMS AS CO-EXECUTORS UNDER THE LAST WILL AND TESTAMENT OF MARIE B. ADAMS TO VANTAGE PROPERTIES, INC., DATED JULY 11, 1985, FILED FOR RECORD JULY 23, 1985, AND RECORDED IN DEED BOOK 5258, PAGE 364, AFORESAID RECORDS. AFFECTS SUBJECT TRACT BUT DOES NOT AFFECT SUBJECT AREA. EASEMENT IS LOCATED AT INTERSECTION OF CENTRAL PARKWAY AND PERIMETER CENTER WEST.
14. TERMS AND PROVISIONS OF THAT CERTAIN UNRECORDED LEASE AS EVIDENCED BY MEMORANDUM OF LEASE FROM DAVID L. BARNHART AND E. ANDREW ISAKSON, AS TENANTS IN COMMON, D/B/A PERIMETER SQUARE SHOPPING CENTER TO BED, BATH & BEYOND OF PERIMETER INC., A GEORGIA CORPORATION, DATED AUGUST 11, 1993, FILED FOR RECORD OCTOBER 29, 1993, AND RECORDED IN DEED BOOK 7902, PAGE 17, AFORESAID RECORDS; AS AMENDED BY THAT CERTAIN AMENDMENT TO MEMORANDUM OF LEASE FROM BIK PERIMETER SQUARE RETAIL LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS SUCCESSOR IN INTEREST TO DAVID L. BARNHART AND E. ANDREW ISAKSON, AS TENANTS IN COMMON, TO BED BATH & BEYOND INC., A NEW YORK CORPORATION, AS SUCCESSOR IN INTEREST TO BED BATH & BEYOND PERIMETER INC., A GEORGIA CORPORATION, DATED AUGUST 21, 2009, FILED FOR RECORD SEPTEMBER 4, 2009, AND RECORDED IN DEED BOOK 7902, PAGE 202, AFORESAID RECORDS. (CONTAINS RESTRICTIONS). AFFECTS SUBJECT TRACT. DEED DESCRIBES SUBJECT TRACT. VAGUE IN NATURE. NOT A SURVEY ISSUE.
15. TERMS AND PROVISIONS OF THAT CERTAIN UNRECORDED LEASE AS EVIDENCED BY MEMORANDUM OF LEASE FROM E. ANDREW ISAKSON AND DAVID L. BARNHART, AS TENANTS IN COMMON, D/B/A PERIMETER SQUARE SHOPPING CENTER TO THE TJX COMPANIES, INC., A DELAWARE CORPORATION, DATED SEPTEMBER 13, 1993, FILED FOR RECORD OCTOBER 29, 1993, AND RECORDED IN DEED BOOK 7902, PAGE 33, AFORESAID RECORDS. (CONTAINS RESTRICTIONS). AFFECTS SUBJECT TRACT. DEED DESCRIBES SUBJECT TRACT. VAGUE IN NATURE. NOT A SURVEY ISSUE.
16. EASEMENT FROM E. ANDREW ISAKSON AND DAVID L. BARNHART D/B/A PERIMETER SQUARE TO GEORGIA POWER COMPANY, DATED DECEMBER 21, 1993, FILED FOR RECORD MARCH 9, 1994, AND RECORDED IN DEED BOOK 8095, PAGE 538, AFORESAID RECORDS. AFFECTS SUBJECT TRACT. VAGUE IN NATURE. NOT PLOTTABLE.
17. TERMS AND PROVISIONS OF THAT CERTAIN DECLARATION OF PERMANENT SUBSURFACE EASEMENT, BY E. ANDREW ISAKSON AND DAVID L. BARNHART, DATED APRIL 1, 1994, FILED FOR RECORD APRIL 26, 1994, AND RECORDED IN DEED BOOK 8160, PAGE 714, AFORESAID RECORDS. AFFECTS SUBJECT TRACT. SHOWN GRAPHICALLY.
18. ATLANTA GAS LIGHT EASEMENT AS EVIDENCED BY THAT CERTAIN UNRECORDED SERVICE LINE AGREEMENT BY AND BETWEEN ATLANTA GAS LIGHT COMPANY AND ANDREW ISAKSON (SIC) AND DAVID L BARNHART DATED JUNE 24, 1994. MAY AFFECT SUBJECT. NO DEED RECORDED.
19. TERMS AND PROVISIONS OF THAT CERTAIN UNRECORDED LEASE AS EVIDENCED BY MEMORANDUM OF LEASE FROM E. ANDREW ISAKSON AND DAVID L. BARNHART, AS TENANTS IN COMMON, D/B/A PERIMETER SQUARE SHOPPING CENTER TO PETSMAST, INC., A DELAWARE CORPORATION, DATED JANUARY 25, 1994, FILED FOR RECORD SEPTEMBER 7, 1994, AND RECORDED IN DEED BOOK 8271, PAGE 16, AFORESAID RECORDS. AFFECTS SUBJECT TRACT. APPROX. SHOWN PER EXHIBIT A. NOT A SURVEY ISSUE.
20. SANITARY SEWER EASEMENT FROM METROPOLITAN LIFE INSURANCE COMPANY, A NEW YORK CORPORATION, DOING BUSINESS AS PERIMETER CENTER INVESTMENTS, TO E. ANDREW ISAKSON AND DAVID L BARNHART, AS TENANTS IN COMMON, DATED MARCH 24, 1994, FILED FOR RECORD DECEMBER 9, 1994, AND RECORDED IN DEED BOOK 8398, PAGE 720, AFORESAID RECORDS. DOES NOT AFFECT SUBJECT TRACT.
21. TERMS AND PROVISIONS OF THAT CERTAIN DUCTLINE AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENT, BY AND BETWEEN NEW YORK LIFE INSURANCE COMPANY, A NEW YORK MUTUAL LIFE INSURANCE COMPANY, AND GEORGIA POWER COMPANY, A GEORGIA CORPORATION, DATED MAY 15, 1995, FILED FOR RECORD JUNE 1, 1995, AND RECORDED IN DEED BOOK 8566, PAGE 117, AFORESAID RECORDS; AS AMENDED BY THAT CERTAIN FIRST AMENDMENT TO DUCTLINE AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENT BY AND BETWEEN IC-10 CAPITAL FUNDS ATLANTA, LP., A GEORGIA LIMITED PARTNERSHIP AND SUCCESSOR-IN-INTEREST TO NEW YORK LIFE INSURANCE COMPANY, A NEW YORK MUTUAL LIFE INSURANCE COMPANY, AND GEORGIA POWER COMPANY, A GEORGIA CORPORATION, DATED NOVEMBER 17, 1999, FILED FOR RECORD DECEMBER 15, 1999, AND RECORDED IN DEED BOOK 11095, PAGE 172, AFORESAID RECORDS. NOTE: THE TEMPORARY CONSTRUCTION EASEMENT CONTAINED IN THE AGREEMENT HAS TERMINATED BY ITS TERMS. AFFECTS SUBJECT TRACT. SHOWN GRAPHICALLY.
22. PERMANENT CONSTRUCTION AND MAINTENANCE EASEMENT FOR CONSTRUCTION OR IMPROVEMENT OF SIDEWALKS AND TRANSPORTATION IMPROVEMENTS FROM IC-10 CAPITAL FUNDS ATLANTA, LP., A GEORGIA LIMITED LIABILITY PARTNERSHIP, TO DEKALB COUNTY, GEORGIA, DATED MAY 29, 2002, FILED FOR RECORD MAY 30, 2002, AND RECORDED IN DEED BOOK 13278, PAGE 506, AFORESAID RECORDS. AFFECTS SUBJECT TRACT. SHOWN GRAPHICALLY.
23. ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. §§499A, ET SEQ.) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. §§181 ET SEQ.) OR UNDER SIMILAR STATE LAWS. NOT A SURVEY ISSUE.
24. MATTERS AS WOULD BE DISCLOSED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND. AFFECTS AS SHOWN

TITLE COMMITMENT PROPERTY DESCRIPTION

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS 348 & 349, 18TH DISTRICT, DEKALB COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN AT THE INTERSECTION OF THE LAND LOTS 18 AND 19, 17TH DISTRICT, FULTON COUNTY, GEORGIA, AND LAND LOTS 348 AND 349, 18TH DISTRICT, DEKALB COUNTY, GEORGIA; THENCE, CONTINUING ALONG SAID COUNTY LINE, NORTH 00 DEGREES 39 MINUTES 20 SECONDS WEST A DISTANCE OF 482.40 FEET TO AN IRON PIN FOUND; THENCE, NORTH 03 DEGREES 12 MINUTES 26 SECONDS WEST A DISTANCE OF 1.74 FEET TO A CONCRETE MONUMENT FOUND ON THE SOUTHEASTERN RIGHT-OF-WAY LINE OF CENTRAL PARKWAY (RIGHT OF WAY VARIES); THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, NORTHEASTERLY ALONG THE ARC OF A 385.50 FOOT RADIUS CURVE TO THE LEFT AN ARC DISTANCE OF 22.69 FEET TO A POINT (SAID ARC BEING SUBTENDED BY A CHORD WHICH HAS A BEARING OF NORTH 69 DEGREES 28 MINUTES 19 SECONDS EAST AND A DISTANCE OF 22.69 FEET); THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, NORTH 67 DEGREES 33 MINUTES 30 SECONDS EAST A DISTANCE OF 26.90 FEET TO A POINT; THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, NORTH 68 DEGREES 18 MINUTES 39 SECONDS EAST A DISTANCE OF 102.22 FEET TO A POINT; THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, NORTHEASTERLY ALONG THE ARC OF A 381.62 FOOT RADIUS CURVE TO THE LEFT AN ARC DISTANCE OF 165.15 FEET TO A POINT (SAID ARC BEING SUBTENDED BY A CHORD WHICH HAS A BEARING OF NORTH 55 DEGREES 47 MINUTES 53 SECONDS EAST AND A DISTANCE OF 163.86 FEET); THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, ALONG THE ARC OF A 70.00 FOOT RADIUS CURVE TO THE RIGHT AN ARC DISTANCE OF 4.09 FEET TO A POINT (SAID ARC BEING SUBTENDED BY A CHORD WHICH HAS A BEARING OF NORTH 45 DEGREES 04 MINUTES 25 16 SECONDS EAST AND A DISTANCE OF 4.08 FEET); THENCE, LEAVE SAID RIGHT-OF-WAY LINE AND RUN NORTH 84 DEGREES 37 MINUTES 56 SECONDS EAST A DISTANCE OF 36.86 FEET TO A POINT; THENCE, NORTH 50 DEGREES 02 MINUTES 33 SECONDS WEST 17.38 FEET TO A POINT ON THE SOUTHEASTERN RIGHT-OF-WAY LINE OF CENTRAL PARKWAY; THENCE, CONTINUE ALONG SAID RIGHT-OF-WAY LINE AND THE SOUTHWESTERN RIGHT OF-WAY LINE OF PERIMETER CENTER WEST (RIGHT OF WAY VARIES), SOUTHEASTERLY ALONG THE ARC OF A 70.00 FOOT RADIUS CURVE TO THE RIGHT AN ARC DISTANCE OF 86.88 FEET TO A POINT ON THE SOUTHWESTERN RIGHT-OF-WAY LINE OF PERIMETER CENTER WEST (SAID ARC BEING SUBTENDED BY A CHORD WHICH HAS A BEARING OF SOUTH 74 DEGREES 59 MINUTES 00 SECONDS EAST AND A DISTANCE OF 81.40 FEET); THENCE, CONTINUE ALONG SAID RIGHT-OF-WAY LINE SOUTH 44 DEGREES 40 MINUTES 44 SECONDS EAST A DISTANCE OF 45.00 FEET TO A POINT; THENCE, CONTINUE ALONG SAID RIGHT-OF-WAY LINE, SOUTH 39 DEGREES 54 MINUTES 21 SECONDS EAST A DISTANCE OF 106.69 FEET TO A POINT; THENCE, ALONG SAID RIGHT-OF-WAY LINE, SOUTHEASTERLY ALONG THE ARC OF A 967.80 FOOT RADIUS CURVE TO THE LEFT AN ARC DISTANCE OF 148.56 FEET TO A POINT (SAID ARC BEING SUBTENDED BY A CHORD WHICH HAS A BEARING OF SOUTH 40 DEGREES 18 MINUTES 15 SECONDS EAST AND A DISTANCE OF 148.42 FEET); THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, SOUTH 32 DEGREES 14 MINUTES 50 SECONDS EAST A DISTANCE OF 50.00 FEET TO A POINT; THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, SOUTHEASTERLY ALONG THE ARC OF A 979.80 FOOT RADIUS CURVE TO THE LEFT AN ARC DISTANCE OF 141.38 FEET TO A POINT (SAID ARC BEING SUBTENDED BY A CHORD WHICH HAS A BEARING OF SOUTH 51 DEGREES 41 MINUTES 28 SECONDS EAST AND A DISTANCE OF 141.28 FEET); THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, SOUTH 63 DEGREES 49 MINUTES 57 SECONDS EAST A DISTANCE OF 19.93 FEET TO A POINT; THENCE, CONTINUE ALONG SAID RIGHT-OF-WAY LINE AND RUN SOUTH 09 DEGREES 35 MINUTES 56 SECONDS EAST A DISTANCE OF 17.12 FEET TO A POINT; THENCE, SOUTH 64 DEGREES 07 MINUTES 53 SECONDS EAST A DISTANCE OF 116.74 FEET TO A POINT; THENCE, NORTH 67 DEGREES 01 MINUTES 01 SECONDS EAST A DISTANCE OF 12.03 FEET TO A POINT; THENCE, SOUTH 63 DEGREES 04 MINUTES 39 SECONDS EAST A DISTANCE OF 53.75 FEET TO A POINT; THENCE, SOUTH 54 DEGREES 05 MINUTES 00 SECONDS EAST A DISTANCE OF 45.60 FEET TO A POINT; THENCE, SOUTH 64 DEGREES 12 MINUTES 47 SECONDS EAST A DISTANCE OF 15.11 FEET TO A POINT; THENCE, NORTH 73 DEGREES 54 MINUTES 35 SECONDS EAST A DISTANCE OF 11.97 FEET TO A POINT; THENCE, SOUTH 64 DEGREES 15 MINUTES 53 SECONDS EAST A DISTANCE OF 3.98 FEET TO A POINT; THENCE, SOUTH 15 DEGREES 24 MINUTES 19 SECONDS EAST A DISTANCE OF 10.63 FEET TO A POINT; THENCE, SOUTH 64 DEGREES 11 MINUTES 29 SECONDS EAST A DISTANCE OF 35.02 FEET TO A POINT; THENCE, SOUTH 56 DEGREES 14 MINUTES 45 SECONDS EAST A DISTANCE OF 43.41 FEET TO A POINT; THENCE, SOUTH 66 DEGREES 17 MINUTES 47 SECONDS EAST A DISTANCE OF 78.39 FEET TO A POINT; THENCE, LEAVE SAID RIGHT-OF-WAY LINE SOUTH 11 DEGREES 45 MINUTES 57 SECONDS WEST A DISTANCE OF 194.89 FEET TO AN IRON PIN; THENCE, SOUTH 76 DEGREES 27 MINUTES 37 SECONDS WEST A DISTANCE OF 245.04 FEET TO AN IRON PIN; THENCE, NORTHWESTERLY ALONG THE ARC OF A 2,013.54 FOOT RADIUS CURVE TO THE LEFT AN ARC DISTANCE OF 142.18 FEET TO A POINT (SAID ARC BEING SUBTENDED BY A CHORD WHICH HAS A BEARING OF NORTH 15 DEGREES 49 MINUTES 28 SECONDS WEST AND A DISTANCE OF 142.12 FEET); THENCE, SOUTH 76 DEGREES 26 MINUTES 56 SECONDS WEST A DISTANCE OF 41.41 FEET TO A POINT; THENCE, SOUTHEASTERLY ALONG THE ARC OF A 1,972.25 FOOT RADIUS CURVE TO THE RIGHT AN ARC DISTANCE OF 142.15 FEET TO AN IRON PIN (SAID ARC BEING SUBTENDED BY A CHORD WHICH HAS A BEARING OF SOUTH 15 DEGREES 52 MINUTES 22 SECONDS EAST AND A DISTANCE OF 142.02 FEET); THENCE, SOUTH 76 DEGREES 27 MINUTES 37 SECONDS WEST A DISTANCE OF 516.75 FEET TO AN IRON PIN; THENCE, SOUTH 82 DEGREES 49 MINUTES 47 SECONDS WEST A DISTANCE OF 273.17 FEET TO AN IRON PIN ON THE COMMON LINE BETWEEN THE 18TH DISTRICT, DEKALB COUNTY, AND THE 17TH DISTRICT, FULTON COUNTY; THENCE, ALONG SAID COUNTY LINE, NORTH 00 DEGREES 41 MINUTES 26 SECONDS WEST A DISTANCE OF 353.91 FEET TO AN IRON PIN ON SAID COUNTY LINE AT THE INTERSECTION OF LAND LOTS 18 AND 19, 17TH DISTRICT, FULTON COUNTY, GEORGIA, AND LAND LOTS 348 AND 349, 18TH DISTRICT, DEKALB COUNTY, GEORGIA, AND THE TRUE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 15.734 ACRES OF LAND, MORE OR LESS.

THIS SURVEY IS MADE FOR THE BENEFIT OF: STARBUCKS CORPORATION, TKG PERIMETER SQUARE, LLC, & FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8(b), 7(c), 7(b)(1), 8, 9, 11(b), 13, 16, AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 21, 2022.

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (d) OF O.G.C.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR. THIS PLAT HAS BEEN APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS THAT REQUIRE PRIOR APPROVAL FOR RECORDING THIS TYPE OF PLAT OR ONE OR MORE OF THE APPLICABLE LOCAL JURISDICTIONS DO NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT. FOR ANY APPLICABLE LOCAL JURISDICTION THAT REQUIRES APPROVAL OF THIS TYPE OF PLAT, THE NAMES OF THE INDIVIDUALS SIGNING OR APPROVING THIS PLAT, THE AGENCY OR OFFICE OF THAT INDIVIDUAL, AND THE DATE OF APPROVAL ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. FOR ANY APPLICABLE LOCAL JURISDICTION THAT DOES NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT, THE NAME OF SUCH LOCAL JURISDICTION AND THE NUMBER OF THE APPLICABLE ORDINANCE OR RESOLUTION PROVIDING THAT NO SUCH APPROVAL IS REQUIRED ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. SUCH APPROVALS, AFFIRMATIONS, OR ORDINANCE OR RESOLUTION NUMBERS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

PRELIMINARY

AS SURVEYOR FOR GASKINS + LECRAW, INC.

DEAN C. OLSON DATE:10-3-22
GEORGIA REGISTERED LAND SURVEYOR NO. 2806

PREPARED IN THE OFFICE OF:



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LSF 001371

REVISIONS:

Table with columns for REVISIONS, CHANGED BY, DRAWN BY, and DATE.

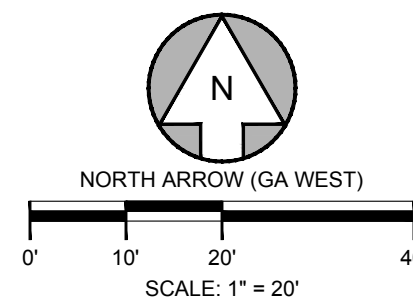
CLIENT: GPD GROUP
1801 WATERMARK DRIVE
SUITE 210
COLUMBUS, OHIO 43215
PROJECT: ALTANSPS LAND TITLE SURVEY
PREPARED FOR: STARBUCKS CORPORATION
LOCATED IN LAND LOT 348, 18th DISTRICT,
CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

CALL BEFORE YOU DIG



Know what's below.
Call before you dig.

SCALE & NORTH ARROW:



DESIGN INFO:

Table with columns for DRAWN BY, DESIGNED BY, REVIEWED BY, JOB #, and DATE.

SHEET TITLE

3 OF 3

GENERAL NOTES
<p>ALL WORK AND MATERIALS SHALL COMPLY WITH ALL STATE, CITY AND COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.</p> <p>CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, EXACT LOCATIONS AND DIMENSIONS OF ENTRIES, SIDEWALKS, DOWNSPOUTS, AND BOLLARDS IN BUILDING SIDEWALKS.</p> <p>UNLESS SHOWN OTHERWISE ON THE PLANS, CONTRACTOR SHALL APPLY 4" OF TOP SOIL TO ALL DISTURBED AREAS OF THE SITE, PLANT GRASS SEED OR SOD, APPLY STRAW, AND WATER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED OR SODDED AREAS. IF A HEALTHY STAND OF GRASS CAN NOT BE ESTABLISHED BY THE TIME THE BUILDING BECOMES OCCUPIED, THEN SOD SHALL BE INSTALLED AND WATERED UNTIL GRASS IS ESTABLISHED.</p> <p>ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE CURB & GUTTER AS SHOWN ON THE CONSTRUCTION DRAWINGS.</p> <p>ALL DIMENSIONS AND RADI ARE REFERENCED TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.</p> <p>CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BID. AREAS TO BE DISTURBED SHALL BE IMPROVED PER THESE PLANS OR RESTORED TO THEIR ORIGINAL OR BETTER CONDITION.</p> <p>ACCESSIBLE SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY. ALL ACCESSIBLE SIGNS SHALL MEET THE CURRENT MINIMUM ADA AND LOCAL STANDARDS.</p> <p>REFER TO THE DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.</p> <p>ALL HEIGHTS AND SETBACKS SHALL MEET THE MINIMUM STANDARDS SET FORTH IN THE LOCAL CODE.</p> <p>THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED.</p> <p>THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.</p> <p>CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE GOVERNING DOT.</p> <p>THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.</p>

TRAFFIC CONTROL NOTES
<p>REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.</p>

DEMOLITION NOTES
<p>THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO ANY DEMOLITION.</p> <p>THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS.</p> <p>IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID.</p> <p>THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.</p> <p>THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.</p> <p>IN ACCORDANCE WITH THE DEMOLITION PLAN, CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.</p> <p>REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.</p> <p>THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG, ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTEND OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.</p> <p>THE CONTRACTOR SHALL ARRANGE FOR RESETTING OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.</p> <p>INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.</p> <p>THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.</p> <p>THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE.</p> <p>SAWCUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWCUT EXISTING PAVEMENT AT THE RW.</p> <p>ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.</p> <p>THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE ADJOINING PROPERTIES DURING THE DEMOLITION PROCESS.</p> <p>SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTION BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.</p> <p>ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR AND DISPOSED OF PROPERLY.</p>

<p>THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THESE DRAWINGS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.</p> <p>BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.</p> <p>CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL.</p> <p>ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED.</p> <p>SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.</p> <p>DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.</p> <p>RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR JURISDICTIONAL WATERS.</p> <p>ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE EROSION AND SEDIMENT CONTROL PLANS SHALL BE INITIATED AS SOON AS PRACTICABLE.</p> <p>DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE EROSION CONTROL PLANS AND/OR LANDSCAPE PLAN.</p> <p>IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.</p> <p>ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.</p> <p>CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM THE EROSION CONTROL BASINS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.</p> <p>SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.</p> <p>ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.</p> <p>ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPARTMENT OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE REGULATIONS.</p> <p>THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.</p> <p>STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE STATE REGULATIONS. TOPSOILING, PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.</p> <p>ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.</p> <p>WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED, AT NO ADDITIONAL COST TO THE OWNER, WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.</p> <p>ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.</p> <p>SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.</p> <p>STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.</p> <p>LIMITS OF GRADING SHOWN ON THE PLAN ARE MAXIMUM LIMITS FOR EROSION CONTROL PURPOSES ONLY. SURVEYOR TO DETERMINE ACTUAL LIMIT.</p> <p>ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLANS, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:</p> <p>CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE CONSTRUCTION DRAWINGS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.</p> <p>INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.</p> <p>ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.</p> <p>SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.</p> <p>THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.</p> <p>OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.</p>

<p>THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE ADJOINING PROPERTIES DURING THE DEMOLITION PROCESS.</p> <p>SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTION BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.</p> <p>ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR AND DISPOSED OF PROPERLY.</p>

AS-BUILT NOTE
<p>CONTRACTOR SHALL PROVIDE THE NECESSARY SIGNED/SEALED AS-BUILT SURVEY(S) TO ENGINEER AS REQUIRED FOR FINAL APPROVAL BY THE LOCAL JURISDICTION AT LEAST 30 DAYS PRIOR TO PROJECT COMPLETION. AS-BUILT SURVEY(S) SHALL INCLUDE ALL RIM ELEVATIONS, INVERTS, PIPE SIZES & MATERIALS, AND PIPE SLOPES FOR ALL STORM AND SANITARY SEWERS. IN JURISDICTIONS WHERE AN AS-BUILT HYDROLOGY ANALYSIS OR STORMWATER "CERTIFICATION" IS REQUIRED BY THE ENGINEER OF RECORD, THE CONTRACTOR SHALL ALSO SUPPLY ALL NECESSARY DOCUMENTATION REQUIRED FOR THE ENGINEER TO DETERMINE UNDERGROUND POND(S), IF APPLICABLE. PROVIDE THE ADEQUATE STORAGE VOLUMES. SUCH DOCUMENTATION MAY INCLUDE, BUT SHALL NOT BE LIMITED TO, PHOTOGRAPHS OF SYSTEM INSTALLATION, COMPACTION REPORTS UNDER AND ABOVE THE SYSTEM, DELIVERY TICKETS, SHOP DRAWINGS, ELEVATIONS OF STONE BEDDING (TOP AND BOTTOM), AS WELL AS THE HORIZONTAL LIMITS OF STONE.</p>

EROSION CONTROL NOTES
<p>THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.</p> <p>ALL CUT OR FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.</p> <p>EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT</p> <p>CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.</p> <p>CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.</p> <p>TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY GASKINS + LECRAW.</p> <p>ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS AND MAINTAIN DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.</p> <p>CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.</p> <p>ALL WORK AND MATERIALS SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS AND CODES AND O.S.H.A. STANDARDS.</p> <p>ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.</p> <p>ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.</p> <p>THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.</p> <p>CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.</p> <p>ALL SITE PREPARATION AND UNSUITABLE SOIL REMOVAL, AS WELL AS THE PLACEMENT OF FILL MATERIALS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT (BY OTHERS).</p> <p>LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.</p> <p>THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING PAVEMENT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS.</p> <p>CONTRACTOR SHALL INSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.</p> <p>ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS PROHIBITED.</p> <p>THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.</p> <p>THE CONTRACTOR SHALL INCLUDE IN THE BID ANY DEWATERING AND MOISTURE CONDITIONING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.</p> <p>ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.</p> <p>GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDDLEPOINT OF THE LIP FOR CATCH BASINS.</p> <p>CONTRACTOR TO ENSURE THAT ALL ADA ROUTES, SIDEWALKS, PATHS, ETC. HAVE A LONGITUDINAL SLOPE OF LESS THAN 5% AND A CROSS SLOPE OF LESS THAN 2%. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY, AND PRIOR TO POURING OF CONCRETE, IF ANY ADA ROUTES EXCEED THE CRITERIA LISTED ABOVE.</p>

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AS-BUILT NOTE
<p>CONTRACTOR SHALL PROVIDE THE NECESSARY SIGNED/SEALED AS-BUILT SURVEY(S) TO ENGINEER AS REQUIRED FOR FINAL APPROVAL BY THE LOCAL JURISDICTION AT LEAST 30 DAYS PRIOR TO PROJECT COMPLETION. AS-BUILT SURVEY(S) SHALL INCLUDE ALL RIM ELEVATIONS, INVERTS, PIPE SIZES & MATERIALS, AND PIPE SLOPES FOR ALL STORM AND SANITARY SEWERS. IN JURISDICTIONS WHERE AN AS-BUILT HYDROLOGY ANALYSIS OR STORMWATER "CERTIFICATION" IS REQUIRED BY THE ENGINEER OF RECORD, THE CONTRACTOR SHALL ALSO SUPPLY ALL NECESSARY DOCUMENTATION REQUIRED FOR THE ENGINEER TO DETERMINE UNDERGROUND POND(S), IF APPLICABLE. PROVIDE THE ADEQUATE STORAGE VOLUMES. SUCH DOCUMENTATION MAY INCLUDE, BUT SHALL NOT BE LIMITED TO, PHOTOGRAPHS OF SYSTEM INSTALLATION, COMPACTION REPORTS UNDER AND ABOVE THE SYSTEM, DELIVERY TICKETS, SHOP DRAWINGS, ELEVATIONS OF STONE BEDDING (TOP AND BOTTOM), AS WELL AS THE HORIZONTAL LIMITS OF STONE.</p>

GRADING NOTES
<p>THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.</p> <p>ALL CUT OR FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.</p> <p>EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT</p> <p>CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.</p> <p>CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.</p> <p>TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY GASKINS + LECRAW.</p> <p>ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS AND MAINTAIN DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.</p> <p>CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.</p> <p>ALL WORK AND MATERIALS SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS AND CODES AND O.S.H.A. STANDARDS.</p> <p>ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.</p> <p>ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.</p> <p>THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.</p> <p>CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.</p> <p>ALL SITE PREPARATION AND UNSUITABLE SOIL REMOVAL, AS WELL AS THE PLACEMENT OF FILL MATERIALS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT (BY OTHERS).</p> <p>LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.</p> <p>THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING PAVEMENT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS.</p> <p>CONTRACTOR SHALL INSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.</p> <p>ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS PROHIBITED.</p> <p>THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.</p> <p>THE CONTRACTOR SHALL INCLUDE IN THE BID ANY DEWATERING AND MOISTURE CONDITIONING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.</p> <p>ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.</p> <p>GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDDLEPOINT OF THE LIP FOR CATCH BASINS.</p> <p>CONTRACTOR TO ENSURE THAT ALL ADA ROUTES, SIDEWALKS, PATHS, ETC. HAVE A LONGITUDINAL SLOPE OF LESS THAN 5% AND A CROSS SLOPE OF LESS THAN 2%. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY, AND PRIOR TO POURING OF CONCRETE, IF ANY ADA ROUTES EXCEED THE CRITERIA LISTED ABOVE.</p>

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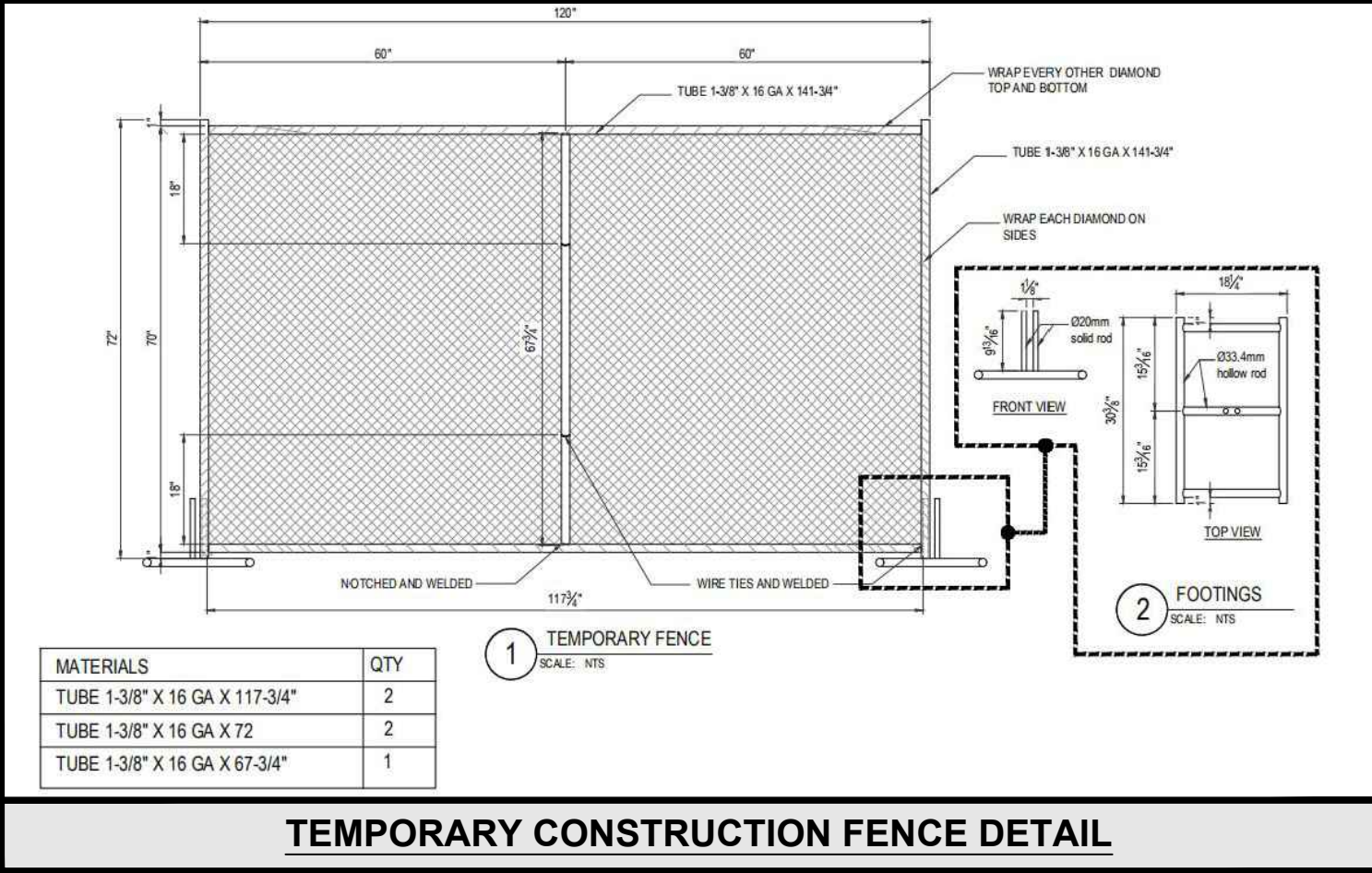
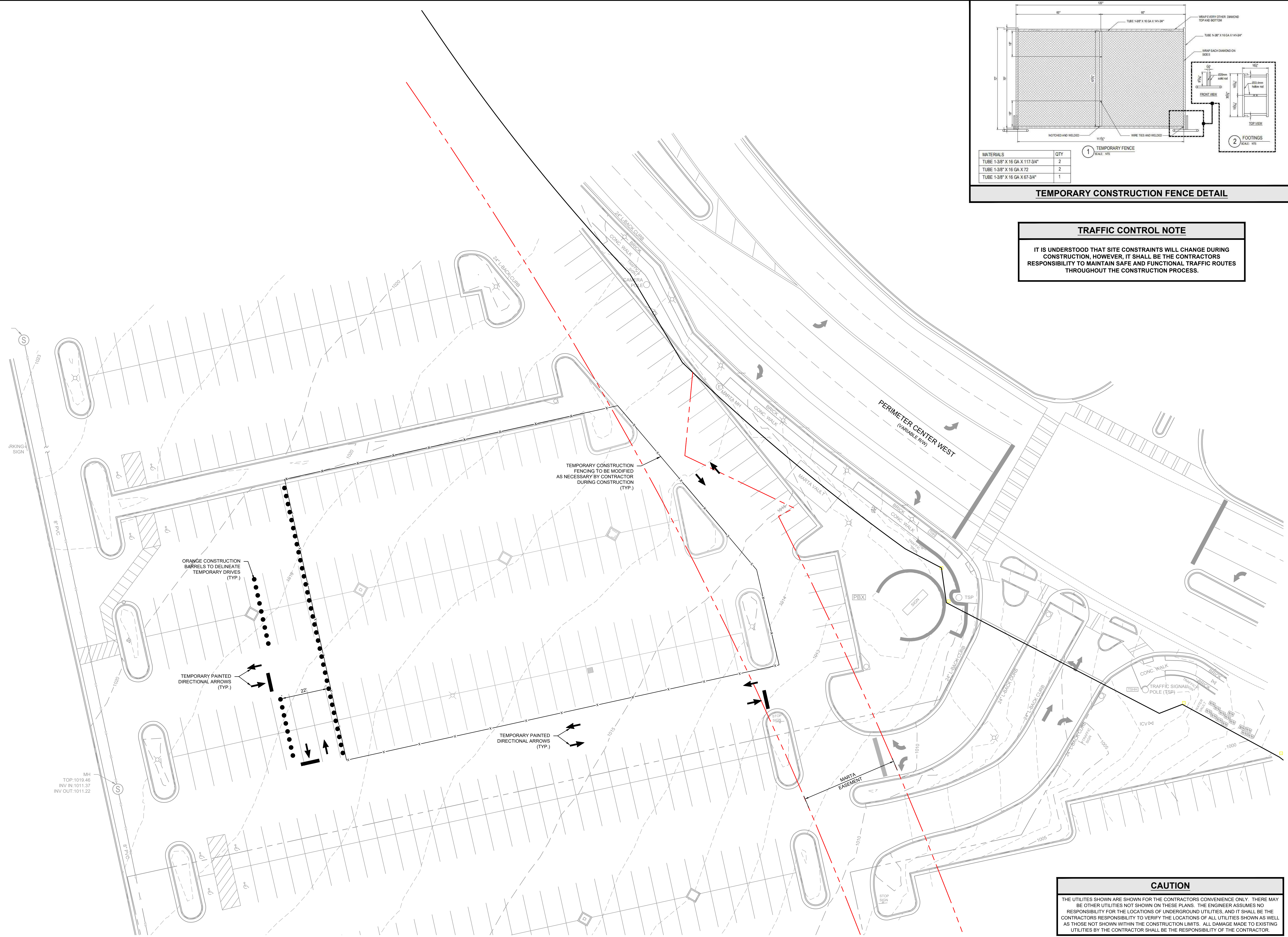
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UTILITY NOTES
<p>ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.</p> <p>CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.</p> <p>SANITARY SEWER PIPE, AS SHOWN ON PLANS, SHALL BE AS FOLLOWS: PVC PER ASTM D 3034 DUCTILE IRON PIPE PER AWWA C150 PIPE RUNS BETWEEN MANHOLES TO BE THE SAME CLASS.</p> <p>WATER LINES, AS SHOWN ON PLANS, SHALL BE AS FOLLOWS: PVC C-900 PER ASTM D 2241, CLASS 200 UNDER PUBLIC ROADS, OTHERWISE CLASS 150 DUCTILE IRON PIPE PER AWWA C150 EITHER COPPER TUBE TYPE "L" (SOFT) PER ANSI 816.22 PVC, 200 P.S.I. PER ASTM D1784 AND D2241.</p> <p>MINIMUM TRENCH WIDTH SHALL BE 2 FEET.</p> <p>ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN THE SPECIFICATIONS.</p> <p>ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).</p> <p>CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-0" COVER ON ALL WATERLINES UNLESS OTHERWISE SPECIFIED BY UTILITY PROVIDER.</p> <p>IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE</p>

Drawing name: C:\Users\mshaker\Gaskins+LeCraw\Dropbox\Share\Folders\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GA\CADD\CONSTR\011148 - 02 - DEMO.dwg TRAFFIC CONTROL PLAN Mar 27, 2024 3:00pm by mshaker



TRAFFIC CONTROL NOTE

IT IS UNDERSTOOD THAT SITE CONSTRAINTS WILL CHANGE DURING CONSTRUCTION, HOWEVER, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN SAFE AND FUNCTIONAL TRAFFIC ROUTES THROUGHOUT THE CONSTRUCTION PROCESS.

CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW

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3475 CORPORATE WAY
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DULUTH, GA 30096
PHONE - 678.346.8100
FAX - 770.441.0295
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PEF008127

REVISIONS:

REV #	DATE	DRAWN BY	CHECKED BY	TKS
1 <td>03/27/24 <td>MAT <td> <td></td> </td></td></td>	03/27/24 <td>MAT <td> <td></td> </td></td>	MAT <td> <td></td> </td>	<td></td>	

CITY, COUNTY AND CLIENT COMMENTS

CLIENT
GPD GROUP

1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT
STARBUCKS - PERIMETER SQUARE

140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

3/27/2024

CALL BEFORE YOU DIG

Know what's below.
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SCALE & NORTH ARROW:

SCALE: 1" = 20'

DESIGN INFO:

DRAWN BY: MAT
DESIGNED BY: MAT
REVIEWED BY: TKS
JOB #: 011148
DATE: JANUARY 12, 2024

TRAFFIC CONTROL PLAN

C-1.1

24 HOUR CONTACT
DEXTER PATTERSON
470.217.4087
STARBUCKS COFFEE COMPANY

PRIMARY PERMITTEE
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
404.834.0786
CONTACT:
RICK ANDERSON
RIANDERS@STARBUCKS.COM

SOIL SERIES
GwC2: GWINNETT SANDY CLAY LOAM, 2-10% SLOPES, ERODED
Ud: URBAN LAND

NOTE
CONTRACTOR IS RESPONSIBLE FOR THE SEQUENCE AND TIMING OF ALL EROSION AND SEDIMENT CONTROL MEASURES. PHASING PLANS ARE ONLY A GENERAL GUIDE TO EROSION AND SEDIMENT CONTROL REQUIREMENTS AS DEVELOPMENT OCCURS.

EROSION CONTROL LEGEND					
CODE	PRACTICE	MAP SYMBOL	CODE	PRACTICE	MAP SYMBOL
Co	CONSTRUCTION EXIT		Sd1-CFS	SEDIMENT BARRIER (COMPOST FILTER SOCK)	
Sd2-F	TEMPORARY INLET SEDIMENT TRAP (FILTER FABRIC WITH SUPPORTING FRAME)		Sd2-P	TEMPORARY INLET SEDIMENT TRAP (CURB INLET PROTECTION)	
Sd1-NS	SEDIMENT BARRIER (NON-SENSITIVE)			LIMITS OF DISTURBANCE	

CITY NOTE
EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO LAND DISTURBING DEMOLITION.

GENERAL EROSION CONTROL NOTES

- ALL BEST MANAGEMENT PRACTICES ARE TO BE IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION EROSION AND SEDIMENT CONTROL STANDARDS.
- BOUNDARY & TOPOGRAPHIC SURVEY BY GASKINS + LECRAW, DATED OCTOBER 19, 2022. BENCHMARK IS NOTED ON SURVEY.
- SOIL TYPES FOR ENTIRE DISTURBED AREA IS GWC2 & UD PER NRCS WEB SOIL SURVEY
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, AS REQUIRED, INDICATING THE 1/3 FULL VOLUME.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
- WASHOUT OF CONCRETE DRUM AT CONSTRUCTION SITE IS PROHIBITED AND NOT ALLOWED IN WASH AREAS.

TOTAL SITE AREA = 0.93 ACRES
TOTAL DISTURBED AREA = 0.85 ACRES

CERTIFICATION STATEMENT

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

I CERTIFY UNDER PENALTY OF THE LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

3/27/24
DATE

KYLE SHARPE
GEORGIA LICENSED PROFESSIONAL (PRINT)

036681
GEORGIA PE#
0000065749
GEORGIA EROSION CONTROL LEVEL 2 CERTIFICATION 3

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW
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www.gaskinslecrow.com
PEF008127

REVISIONS:

REV #	DATE	DRAWN BY	CHECKED BY	TKS
1	03/27/24	MAT		

CITY, COUNTY AND CLIENT COMMENTS

CLIENT
GPD GROUP
1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT
STARBUCKS - PERIMETER SQUARE
140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

3/27/2024

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SCALE & NORTH ARROW:

DESIGN INFO:

DRAWN BY: MAT
DESIGNED BY: MAT
REVIEWED BY: TKS
JOB #: 011148
DATE: JANUARY 12, 2024

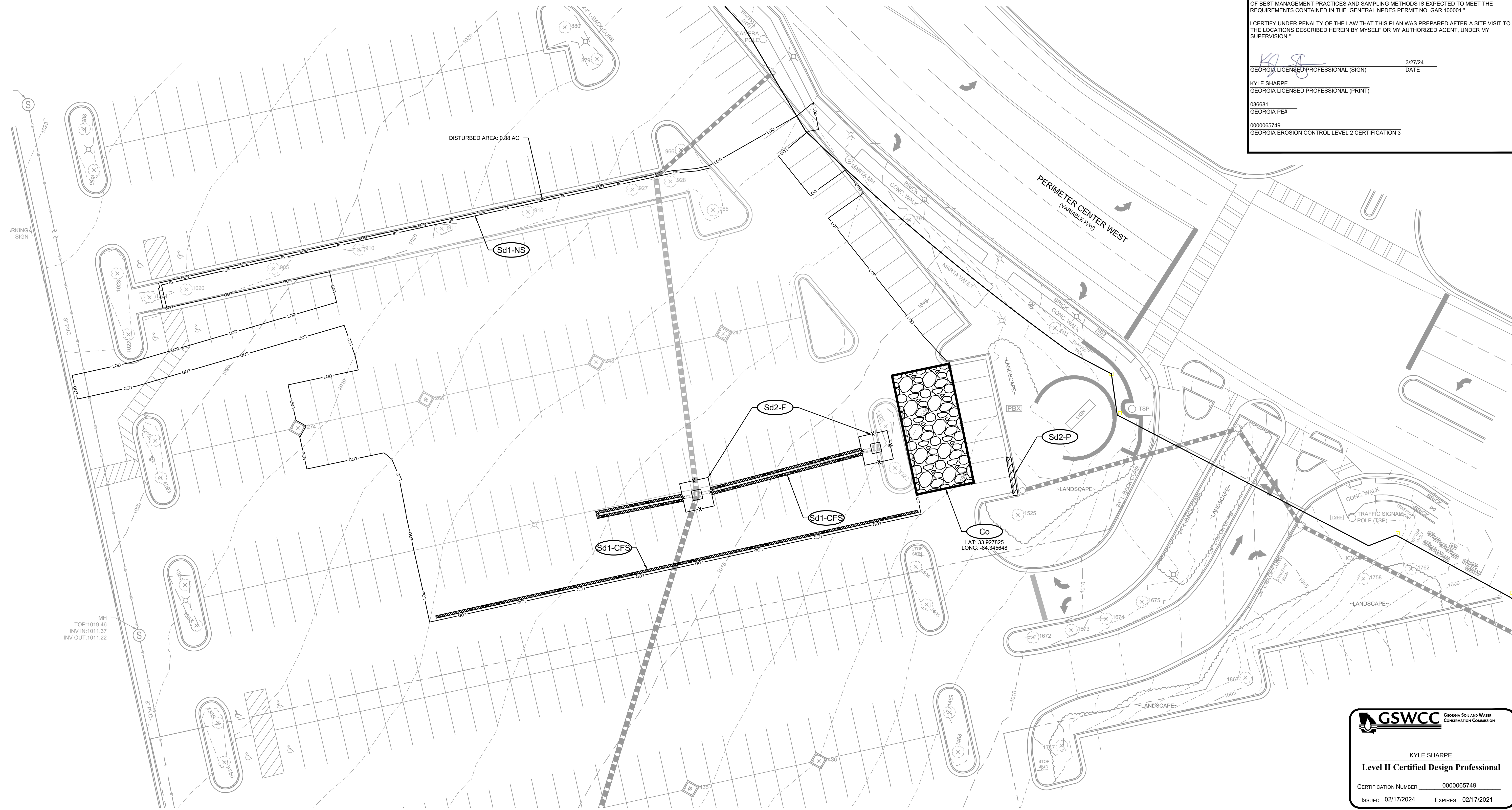
ESPC PLAN - PHASE 1

C-2.0

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

KYLE SHARPE
Level II Certified Design Professional

CERTIFICATION NUMBER 0000065749
ISSUED: 02/17/2024 EXPIRES: 02/17/2021



Drawing name: C:\Users\mcbaker\Gaskins+LeCraw\Dropbox\Share\Folders\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GAICADD\CONSTR\011148 - ESPC PLAN - PHASE 1 Mar 27, 2024 3:00pm By: mcbaker

PHASE 2 - SEDIMENT STORAGE TABLE

Sd2 - EXCAVATED INLET SEDIMENT TRAP NO. 1	
Disturbed Area =	1942 SF = 0.04 AC
Req. Sediment Storage =	81 CF (DA x 67 cy/ac x 27 cf/cy)
Side Slope =	2:1
Excavation Depth =	2.0 FT
Req. Surface Area =	40 SF
Sed. Trap dimensions:	L = 5 FT W = 10 FT
Provided Area =	50 SF
Provided Storage =	100 CF

Sd2 - EXCAVATED INLET SEDIMENT TRAP NO. 2	
Disturbed Area =	10228 SF = 0.23 AC
Req. Sediment Storage =	425 CF (DA x 67 cy/ac x 27 cf/cy)
Side Slope =	2:1
Excavation Depth =	2.0 FT
Req. Surface Area =	212 SF
Sed. Trap dimensions:	L = 11 FT W = 22 FT
Provided Area =	242 SF
Provided Storage =	484 CF

Sd2 - EXCAVATED INLET SEDIMENT TRAP NO. 3	
Disturbed Area =	10122 SF = 0.23 AC
Req. Sediment Storage =	420 CF (DA x 67 cy/ac x 27 cf/cy)
Side Slope =	2:1
Excavation Depth =	2.0 FT
Req. Surface Area =	210 SF
Sed. Trap dimensions:	L = 11 FT W = 22 FT
Provided Area =	242 SF
Provided Storage =	484 CF

24 HOUR CONTACT

DEXTER PATTERSON
470.217.4087
STARBUCKS COFFEE COMPANY

PRIMARY PERMITTEE

STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
404.834.0786
CONTACT:
RICK ANDERSON
RIANDERS@STARBUCKS.COM

SOIL SERIES

GWC2: GWINNETT SANDY CLAY LOAM, 2-10% SLOPES, ERODED
Ud: URBAN LAND

NOTE

CONTRACTOR IS RESPONSIBLE FOR THE SEQUENCE AND TIMING OF ALL EROSION AND SEDIMENT CONTROL MEASURES. PHASING PLANS ARE ONLY A GENERAL GUIDE TO EROSION AND SEDIMENT CONTROL REQUIREMENTS AS DEVELOPMENT OCCURS.

EROSION CONTROL LEGEND

CODE	PRACTICE	MAP SYMBOL	CODE	PRACTICE	MAP SYMBOL
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	[Symbol]	Sd1-CF3	SEDIMENT BARRIER (COMPOST FILTER SOCK)	[Symbol]
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	[Symbol]	Sd2-P	TEMPORARY INLET SEDIMENT TRAP (CURB INLET PROTECTION)	[Symbol]
Du	DUST CONTROL ON DISTURBED AREAS	[Symbol]	Co	CONSTRUCTION EXIT	[Symbol]
Sd2-E	TEMPORARY INLET SEDIMENT TRAP (EXCAVATED INLET SEDIMENT TRAP)	[Symbol]		LIMITS OF DISTURBANCE	[Symbol]
Re	RETAINING WALL	[Symbol]	Sd1-NS	SEDIMENT BARRIER (NON-SENSITIVE)	[Symbol]

GENERAL EROSION CONTROL NOTES

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 - WASHOUT OF CONCRETE DRUM AT CONSTRUCTION SITE IS PROHIBITED AND NOT ALLOWED IN WASH AREAS.
- TOTAL SITE AREA = 0.93 ACRES
TOTAL DISTURBED AREA = 0.95 ACRES

CERTIFICATION STATEMENT

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

I CERTIFY UNDER PENALTY OF THE LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

Kyle Sharpe 10/8/24
GEORGIA LICENSED PROFESSIONAL (SIGN) DATE

KYLE SHARPE
GEORGIA LICENSED PROFESSIONAL (PRINT)

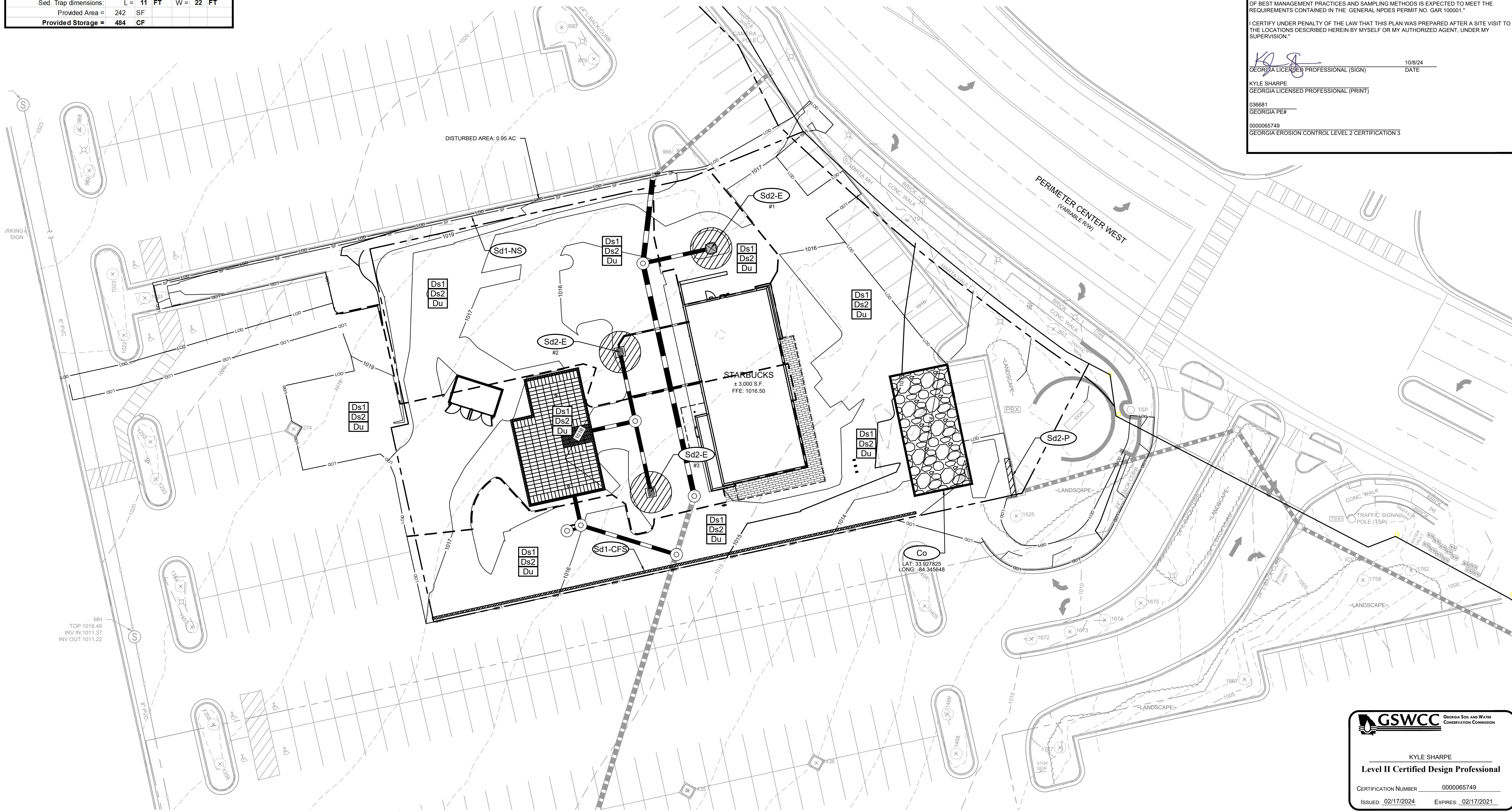
036681
GEORGIA PE#
0000065749
GEORGIA EROSION CONTROL LEVEL 2 CERTIFICATION 3

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW
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FAX - 770.441.0295
www.gaskinslecrew.com
PEF008127

REVISIONS:

NO.	DATE	DESCRIPTION	BY	CHECKED
1	03/27/24			
2	04/09/24			
3	04/23/24			
4	07/30/24			
5	10/09/24			



CLIENT
GPD GROUP
1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT
STARBUCKS - PERIMETER SQUARE
140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

10/8/2024

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SCALE & NORTH ARROW:

DESIGN INFO:

DRAWN BY: MAT
DESIGNED BY: MAT
REVIEWED BY: TKS
JOB #: 011148
DATE: JANUARY 12, 2024

ESPC PLAN - PHASE 2

C-2.1

Packet page:...

Drawing name: C:\Users\mboothaker\Gaskins+LeCraw\Dropbox\Share\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GAICADD\CONSTR011148 - 03 - ESPC.dwg ESPC PLAN - PHASE 2 Oct 08, 2024 3:01 pm by: mboothaker

24 HOUR CONTACT
DEXTER PATTERSON
470.217.4087
STARBUCKS COFFEE COMPANY

PRIMARY PERMITTEE
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
404.834.0786
CONTACT:
RICK ANDERSON
RIANDERS@STARBUCKS.COM

SOIL SERIES
GwC2: GWINNETT SANDY CLAY LOAM, 2-10% SLOPES, ERODED
Ud: URBAN LAND

NOTE
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EROSION CONTROL LEGEND

CODE	PRACTICE	MAP SYMBOL	CODE	PRACTICE	MAP SYMBOL
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	[Dotted Area]	Re	RETAINING WALL	[Wall Symbol]

GENERAL EROSION CONTROL NOTES

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TOTAL SITE AREA = 0.93 ACRES
TOTAL DISTURBED AREA = 0.95 ACRES

CERTIFICATION STATEMENT

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I CERTIFY UNDER PENALTY OF THE LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

[Signature] 10/8/24
DATE

KYLE SHARPE
GEORGIA LICENSED PROFESSIONAL (PRINT)
036681
GEORGIA PE#
0000065749
GEORGIA EROSION CONTROL LEVEL 2 CERTIFICATION 3

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW

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www.gaskinslecrew.com
PEF008127

REVISIONS:

REV #	DATE	CHECKED BY	DRAWN BY
5	10/09/24	TKS	MAT
4	07/30/24	TKS	MAT
3	04/23/24	TKS	MAT
2	04/09/24	TKS	MAT
1	03/27/24	TKS	MAT

CLIENT
CPD GROUP

PROJECT
STARBUCKS - PERIMETER SQUARE

1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215
140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

[Signature]
REGISTERED PROFESSIONAL ENGINEER
No. PE036681
TIMOTHY KYLE SHARPE
10/8/2024

CALL BEFORE YOU DIG

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Call before you dig.

SCALE & NORTH ARROW:

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

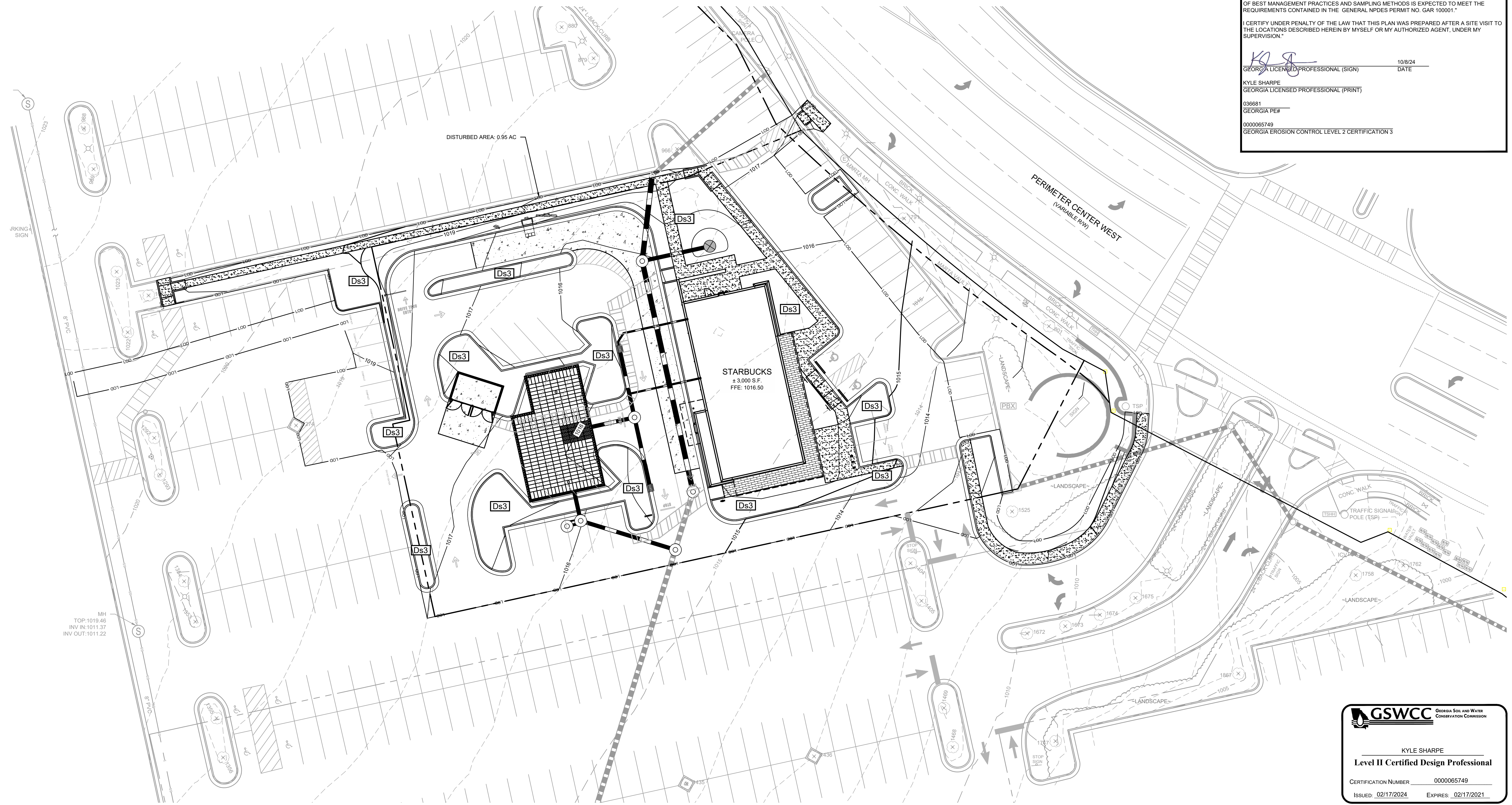
KYLE SHARPE
Level II Certified Design Professional

CERTIFICATION NUMBER 0000065749
ISSUED: 02/17/2024 EXPIRES: 02/17/2021

DESIGN INFO:
DRAWN BY: MAT
DESIGNED BY: MAT
REVIEWED BY: TKS
JOB #: 011148
DATE: JANUARY 12, 2024

ESPC PLAN - PHASE 3

C-2.2
Packet page:...



Drawing name: C:\Users\moothaker\Gaskins+LeCraw\Dropbox\Share\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GAICADD\CONSTR011148 - 03 - ESPC.dwg ESPC PLAN - PHASE 3 Oct 08, 2024 3:01 pm by: moothaker

GENERAL ES&PC NOTES & STATEMENTS

- THE ES&PC PLAN INCLUDES, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (LATEST EDITION).
- ALL ON-SITE WETLANDS AND BUFFERED STATE WATERS LOCATED ON OR WITHIN 200 FEET OF THE PROJECT SITE HAVE BEEN DELINEATED.
- THE HYDROLOGY STUDY FOR THIS SITE IS PROVIDED IN A SEPARATE DOCUMENT FROM THIS PLAN. STUDY TITLED "HYDROLOGY REPORT" AND SUBMITTED ON JANUARY 12, 2024 BY GASKINS + LeCRAW.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS. ALL AREAS OF IMPACT ARE NOTED AND DELINEATED WITHIN PLANS.
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- THE USE OF ALTERNATIVE BMPs WHOSE PERFORMANCE HAS BEEN DOCUMENTED TO BE EQUIVALENT OR SUPERIOR TO CONVENTIONAL BMPs AS CERTIFIED BY A DESIGN PROFESSIONAL MAY BE ALLOWED (UNLESS DISAPPROVED BY EPD OR THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION). PLEASE REFER TO THE ALTERNATIVE BMP GUIDANCE DOCUMENT FOUND AT WWW.GSWCC.ORG.
- BMPs HAVING DEMONSTRATED SUCCESS IN THE FIELD AT LEAST THREE TIMES UNDER THE ALTERNATIVE BMP PROCESS AND HAVING BEEN BENCH TESTED MAY BE PLACED ON AN EQUIVALENT BMP LIST (PLEASE REFER TO APPENDIX A-2 OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" 2016 EDITION).
- LIMITS OF DISTURBANCE SHALL BE NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE EPD DISTRICT OFFICE. IF EPD APPROVES THE REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE AT LEAST 4 OF THE BMPs LISTED IN APPENDIX 1 OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN ON CONSTRUCTION.
- WASTE MATERIAL SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

LAND DISTURBANCE CONSTRUCTION ACTIVITY SEQUENCE

THE FOLLOWING SEQUENCES ARE TO BE IMPLEMENTED IN THE ORDER SHOWN, UNLESS UNCLEMMENT WEATHER, SITE CONDITIONS, REVISIONS, PRE-CONSTRUCTION CONFERENCE, ETC., DICTATES A DEVIATION FROM THIS SCHEDULE. IF A DEVIATION IS UNDERTAKEN OR ANTICIPATED, THE ENGINEER SHALL BE NOTIFIED AND THE CHANGE OF SEQUENCE SHALL BE RECORDED IN THE DAILY LOG

- PHASE 1 - CLEARING & GRUBBING PLAN**
- OBTAIN AND POST COPY OF LAND DISTURBANCE PERMIT ON SITE.
 - SET UP A PRE-CONSTRUCTION CONFERENCE AT THE SITE WITH THE OWNER'S REPRESENTATIVE, CONTRACTOR, PROJECT DESIGN TEAM, AND COUNTY/CITY INSPECTOR TO REVIEW THE EROSION CONTROL AND SITE WORK CONSTRUCTION DOCUMENTS REQUIREMENTS.
 - SET UP A DAILY INSPECTION LOG FOR THE BMP INSPECTIONS TO BE KEPT IN THE CONSTRUCTION TRAILER.
 - CONSTRUCT THE CONSTRUCTION ENTRANCES/EXITS AT THE PROPOSED LOCATION AS SHOWN ON THE PLANS.
 - DELINEATE BUFFERS AND TREE PROTECTION LIMITS WITH TREE PROTECTION FENCING AS SHOWN ON PLANS.
 - FINAL AND STAKE PROPERTY LINES AND PROPERTY CORNERS, AS NECESSARY.
 - INSTALL ALL SILT FENCE AS SHOWN ON PHASE-I EROSION CONTROL PLAN (ECP).
 - CLEAR AND GRUB ROUTES TO AREAS FOR TEMPORARY AND PERMANENT STRUCTURAL BEST MANAGEMENT PRACTICES (BMP).
 - INSTALL ROCK FILTER DAMS IN NATURAL SWALES, AS SHOWN ON THE PLANS, WITH MINIMAL DISTURBANCE TO THE ADJACENT AREA.
 - CONSTRUCT ALL OTHER STRUCTURAL BMPs SHOWN ON THE PHASE-I ECP.
 - CONTRACTOR SHALL COMPLETE CLEARING AND GRUBBING FOR REMAINING AREAS OF CONSTRUCTION. ALL CLEARED MATERIAL THAT IS HAILED OFF SITE OR STOCKPILED FOR CHIPPING OR TUB GRINDING, OR BURNING, IF PERMITTED.
- PHASE 2 - GRADING AND TEMPORARY VEGETATION PLAN**
- APPLY TEMPORARY VEGETATION (Ds1/Ds2) IN ACCORDANCE WITH PLANS AND NOTES IN THESE DOCUMENTS FOR CLEARED AREAS.
 - CONSTRUCT ALL STRUCTURAL BMPs SHOWN ON THE PHASE-II ECP WHERE COMPLETION OF ROUGH GRADING IS NOT NECESSARY FOR INSTALLATION (I.E. AT TOE OF SLOPES, OTHER AREAS NOT TO BE AFFECTED BY ROUGH GRADING).
 - COMMENCE WITH ROUGH GRADING ON SITE. INSTALL STRUCTURAL AND VEGETATIVE BMPs AS SHOWN ON PLANS AND IN ACCORDANCE WITH ROUGH GRADING FOR EACH AREA IS COMPLETED.
 - INSTALL PERMANENT DETENTION POND(S), IF APPLICABLE, AS SHOWN.
 - CONSTRUCT TEMPORARY AND PERMANENT DRAINAGE STRUCTURES AS NECESSARY FOR PROPER SITE DRAINAGE AND CONVEYANCE TO THE PROPER BEST MANAGEMENT PRACTICES SHOWN ON THE PHASE-II ECP. INSTALL ALL OUTLET PROTECTION BMPs CONCURRENT WITH DRAINAGE OUTFALLS.
 - INSTALL INLET PROTECTION (Sd2) AT ALL INLET STRUCTURES. USE SD2-F OR SD2-Bg AS SHOWN ON DETAILS.
 - AS SLOPES ARE BEING CONSTRUCTED, SPREAD FERTILIZER AND GRASS SEED ALONG WITH RECOMMENDED MULCHING AS SOON AS FINAL GRADE IS ACHIEVED TO HELP STABILIZE THESE SLOPES.
 - CONSTRUCT DIVERSION DIKES(DI) AND DOWN DRAINS (Dn1) AS NEEDED AND AS SHOWN ON THE PHASE II ECP. CONSTRUCT FILTER RINGS (Fr) AROUND EACH TEMPORARY DOWN DRAIN INLET.
 - SPREAD MATTING AND BLANKETS AND APPLY PERMANENT GRASSING TO ALL FINISHED SLOPES. COMMENCE FINAL GRADING OF ALL ROADS, PARKING LOTS AND BUILDING PADS.
 - INSTALL INLET PROTECTION (Sd2) AT ALL INLET STRUCTURES. Sd2-P MAY BE INSTALLED ON INLET STRUCTURES WITH STRUCTURE TOPS IN PLACE.
 - INSTALL ALL SANITARY SEWER LINES AND REMAINING STORM DRAINS WITH OUTLET PROTECTION (S), LEVEL SPREADERS (LV), AND/OR OTHER NECESSARY CHANNEL STABILIZATION AS REQUIRED AT HEADWALLS.
 - INSTALL AGGREGATE BASE FOR ALL ROADWAYS.
 - INSTALL CURB & GUTTER FOR ROADS AND PARKING LOTS.
 - AFTER A CURING TIME OF NO LESS THAN SEVEN DAYS, CURBS SHALL BE BACKFILLED AND SHOULDERS SHALL BE SMOOTH GRADED AND TEMPORARILY VEGETATED OR MULCHED. (Ds1/Ds2).
 - INSTALL UTILITIES IN ALL THE SHOULDERS. APPLY TEMPORARY VEGETATION TO AREAS DISTURBED BY UTILITY CONSTRUCTION IN ACCORDANCE WITH PLAN NOTES.
 - CONSTRUCT SIDEWALKS AS SHOWN ON PLANS. AFTER A CURING TIME OF NO LESS THAN SEVEN DAYS, REMOVE FORMS AND APPLY MULCH OR VEGETATION TO DISTURBED AREAS.
 - AS SOON AS CONCRETE BUILDING PADS ARE POURED, ALL AREAS AROUND AND BETWEEN THESE PADS AND THE STREET/PARKING LOTS SHALL BE TEMPORARILY VEGETATED.
- PHASE 3 - STORMWATER MANAGEMENT & PERMANENT VEGETATION PLAN**
- SMOOTH GRADES AND PERMANENTLY VEGETATE DISTURBED AREAS AT COMPLETION OF PIPE CONSTRUCTION.
 - PAVE ALL STREETS, APPLY FINAL STABILIZATION TO ANY REMAINING AREAS THAT HAVE NOT BEEN PERMANENTLY VEGETATED IN ACCORDANCE WITH THESE PLANS.
 - ALL SEDIMENT PONDS AND PERIMETER SILT FENCING TO REMAIN THROUGHOUT BUILDING CONSTRUCTION TO BE DONE BY OTHERS. AT COMPLETION OF BUILDING CONSTRUCTION, ALL AREAS ARE TO BE PERMANENTLY VEGETATED.
 - REMOVE TEMPORARY SEDIMENT PONDS AND OTHER TEMPORARY STRUCTURAL BMPs FOLLOWING FINAL STABILIZATION AND WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED ON 90% OF THE SURFACE. USE PERMANENT VEGETATIVE BMPs TO STABILIZE BACKFILL FROM REMOVAL OF STRUCTURAL BMPs.
 - AS SOON AS PRACTICALLY POSSIBLE, PERMANENT LANDSCAPING SHALL BE INSTALLED ALONG ALL STREETS AND THROUGHOUT THE SITE TO PROTECT THE LAND AND HELP MINIMIZE THE EFFECTS OF SEDIMENT RUNOFF INTO STATE BUFFERS OR ONTO ADJACENT PROPERTIES.
 - DEVELOPER TO SUBMIT A NOTICE OF TERMINATION

BMP FOR BUILDING MATERIALS / BUILDING PRODUCTS

COVER FOR BUILDING MATERIALS AND/OR BUILDING PRODUCTS SHALL BE PROVIDED BY MEANS OF TEMPORARY TENTS AND/OR TARPS AS REQUIRED

SEEDING REQUIREMENTS

TEMPORARY	MULCH AS REQUESTED PER GEORGIA MANUAL FOR EROSION AND SEDIMENT CONTROL	SEEDING WITH MULCH	FERTILIZER	
[D1]	AREA	SOILING SEASON	SPECIES	SEED LBS/ACRE
TEMPORARY	FLAT TO ROLLING TERRAIN WITH SLOPES LESS THAN 3:1	AUG - FEB MARCH - APRIL APRIL - JUNE APRIL - JULY	ANNUAL RYEGRASS ANNUAL LESPEDEZA SUDANGRASS BR.TOP MILLET	40 LBS. 40 LBS. 60 LBS. 40 LBS.
TEMPORARY	SEEDING WITH MULCH			
	AGRICULTURAL LIMESTONE		4,000 LBS/ACRE	
	FERTILIZER, 5-10-15		1,500 LBS/ACRE	
	MULCH, STRAW OR HAY	6-10" DEPTH	5,000 LBS/ACRE	
	WOOD WASTE, CHIPS, BARK	2-3" DEPTH	14,000 LBS/ACRE	
	EMBANKMENTS WITH SLOPES > 3:1	MAR-JUNE 8/15-11/1	WEEPING LOVEGRASS TALL FESCUE	4 LBS. 50 LBS.
	FLAT TO ROLLING TERRAIN WITH SLOPES 3:1 OR LESS	NOV- MAR APRIL - JUNE SEPT - MAY MARCH - MAY	UNHILLED BERMUDA HILLED BERMUDA LESPEDEZA 2 LESPEDEZA 1 TALL FESCUE	10 LBS. 10 LBS. 75 LBS. 60 LBS.
PERMANENT	EMBANKMENTS WITH SLOPES GREATER THAN 3:1	MAR-JUNE SEPT-MAY 8/15-11/1	WEEPING LOVEGRASS SERICEA LESPEDEZA 2 TALL FESCUE	6 LBS. 75 LBS. 75 LBS.

DISTURBED AREAS IDLE FOR GREATER THAN 7 DAYS WILL BE MULCHED OR SEEDED WITH TEMPORARY VEGETATION. AREAS SHOWN GREATER THAN 14 DAYS AFTER LAST CONSTRUCTION ACTIVITY WITHOUT PERMANENT SEEDING, THE SURFACE WILL BE ROUGHENED PRIOR TO PLANTING TO PROMOTE GOOD SEED INFILTRATION. HAND-PLANTED SEED WILL BE STABILIZED WITH APPROPRIATE MULCH (E.G., HAY, STRAW) WITHIN 24-HOURS OF PLANTING. SLOPES GREATER THAN 3 TO 1 WILL BE UNDERLAIN WITH A DOT APPROVED MATTING AND HYDROSEED.

STORMWATER MANAGEMENT NOTES

THE FOLLOWING IS A DESCRIPTION OF MEASURES THAT MAY BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED.

- STORM WATER DETENTION STRUCTURES (INCLUDING WET PONDS)
 - STORM WATER RETENTION STRUCTURES
 - FLOW ATTENUATION BY USE OF OPEN VEGETATED SWALES AND NATURAL DEPRESSIONS
 - INFILTRATION OF RUNOFF ON-SITE
 - SEQUENTIAL SYSTEMS (WHICH COMBINE SEVERAL PRACTICES)
- STRUCTURAL MEASURES SHOULD BE PLACED ON UPLAND SOILS TO THE DEGREE ATTAINABLE
 - THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CWA
 - THE ES&PC PLAN ONLY ADDRESSES THE INSTALLATION OF STORM WATER MANAGEMENT MEASURES, AND NOT THE ULTIMATE OPERATION AND MAINTENANCE OF SUCH STRUCTURES AFTER THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION.
 - OPERATORS ARE ONLY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF STORM WATER MANAGEMENT MEASURES PRIOR TO FINAL STABILIZATION OF THE SITE, AND ARE NOT RESPONSIBLE FOR MAINTENANCE AFTER STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY HAVE BEEN ELIMINATED FROM THE SITE.
- VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL FOR THE PURPOSE OF PROVIDING A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G. NO SIGNIFICANT CHANGES IN THE HYDROLOGICAL REGIME OF THE RECEIVING WATER(S))
- INSTALLATION AND USE OF GREEN INFRASTRUCTURE APPROACHES AND PRACTICES THAT MIMIC NATURAL PROCESSES AND DIRECT STORMWATER WHERE IT CAN BE INFILTRATED, EVAPOTRANSPIRATED OR RE-USED WITH SIGNIFICANT UTILIZATION OF SOILS AND VEGETATION RATHER THAN TRADITIONAL HARDCAPE COLLECTION, CONVEYANCE AND STORAGE STRUCTURES ARE ENCOURAGED TO THE MAXIMUM EXTENT PRACTICABLE. GREEN INFRASTRUCTURE PRACTICES OR APPROACHES INCLUDE PERMEABLE OR POROUS PAVING, VEGETATED SWALES INSTEAD OF CURBS AND GUTTERS, GREEN ROOFS, TREE BOXES, RAIN GARDENS, CONSTRUCTED WETLANDS, INFILTRATION PLANTERS, VEGETATED MEDIUM STRIPS, PROTECTION AND ENHANCEMENT OF RIPARIAN BUFFERS AND FLOODPLAINS, AND THE OVERALL REDUCTION IN SITE DISTURBANCE AND IMPERVIOUS AREA. DESIGN INFORMATION ON GREEN INFRASTRUCTURE PRACTICES AND OTHER WAYS TO MANAGE STORMWATER CAN BE FOUND IN THE GEORGIA STORMWATER MANAGEMENT MANUAL AND COASTAL STORMWATER SUPPLEMENT. ADDITIONAL INFORMATION ON GREEN INFRASTRUCTURE CAN BE FOUND AT THE USEPA WEBSITE.

BEST MANAGEMENT PRACTICES

- STRIPPING OF VEGETATION, REGRADING, AND OTHER DEVELOPMENT ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO MINIMIZE EROSION.
- CUT AND FILL OPERATIONS SHALL BE KEPT TO A MINIMUM, AND WILL NOT ENDANGER ADJACENT PROPERTIES.
- DEVELOPMENT PLANS WILL CONFORM TO TOPOGRAPHY AND SOIL TYPE, SO AS TO CREATE THE LOWEST PRACTICABLE EROSION POTENTIAL;
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED, AND SUPPLEMENTED;
- THE DISTURBED AREA AND THE DURATION OF EXPOSURE TO EROSION ELEMENTS SHALL BE KEPT TO A PRACTICABLE MINIMUM;
- DISTURBED SOIL SHALL BE STABILIZED AS QUICKLY AS PRACTICABLE;
- TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT;
- PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE;
- TO THE EXTENT NECESSARY, SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED BY THE USE OF DEBRIS BASINS, SILT TRAPS, OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED. SILT FENCING WILL BE DOT TYPE "C"
- ADEQUATE PROVISIONS SHALL BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACES OF FILLS, ALL FILL SLOPES SHALL HAVE SILT FENCING AT THE TOE;
- GRADING EQUIPMENT SHALL CROSS FLOWING STREAMS BY THE MEANS OF BRIDGES OR CULVERTS, EXCEPT WHEN SUCH METHODS ARE NOT FEASIBLE, PROVIDED IN ANY CASE THAT SUCH CROSSINGS SHALL BE KEPT TO A MINIMUM;
- FILLS SHALL NOT ENCRoACH UPON NATURAL WATER COURSES OR CONSTRUCTED CHANNELS IN A MANNER SO AS TO ADVERSELY AFFECT OTHER PROPERTY OWNERS;
- PROVISIONS SHALL BE PROVIDED FOR TREATMENT OR CONTROL OF ANY SOURCE OF SEDIMENTS AND ADEQUATE SEDIMENTATION CONTROL FACILITIES TO RETAIN SEDIMENTS ON SITE OR PRECLUDE SEDIMENTATION OF ADJACENT WATERS BEYOND THE LEVELS SPECIFIED IN THIS PERMIT;
- NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 25-FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS. EXCEPTIONS INCLUDE AN APPROVED VARIANCE OR WHERE A DRAINAGE STRUCTURE OR A ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED, PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED IN THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED;
- NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A BUFFER AND A BUFFER SHALL REMAIN IN ITS NATURAL UNDISTURBED, STATE OF VEGETATION UNTIL ALL LAND-DISTURBING ACTIVITIES ON THE CONSTRUCTION SITE ARE COMPLETED;
- NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 25-FOOT BUFFER, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, ALONG THE BANKS OF ANY STATE WATERS CLASSIFIED AS "TROUT STREAMS" EXCEPT WHEN APPROVAL IS GRANTED BY THE DIRECTOR FOR ALTERNATE BUFFER REQUIREMENTS IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED, PROVIDED, HOWEVER, THAT SMALL SPRINGS AND STREAMS CLASSIFIED AS "TROUT STREAMS" WHICH DISCHARGE AN AVERAGE ANNUAL FLOW OF 25 GALLONS PER MINUTE OR LESS SHALL HAVE A 25-FOOT BUFFER OR THEY MAY BE PIPED, AT THE DISCRETION OF THE PERMITEE, PURSUANT TO THE TERMS OF A RULE PROVIDING FOR A GENERAL VARIANCE PROMULGATED BY THE BOARD OF NATURAL RESOURCES INCLUDING NOTIFICATION OF SUCH TO EPD AND THE LOCAL ISSUING AUTHORITY OF THE LOCATION AND EXTENT OF THE PIPING AND PRESERVED METHODOLOGY FOR MINIMIZING THE IMPACT OF SUCH PIPING AND FOR MEASURING THE VOLUME OF WATER DISCHARGED BY THE STREAM. ANY SUCH PIPE MUST STOP SHORT OF THE DOWN STREAM PERMITEE'S PROPERTY, AND THE PERMITEE MUST COMPLY WITH THE BUFFER REQUIREMENT FOR ANY ADJACENT TROUT STREAMS;
- EXCEPT AS PROVIDED ABOVE, FOR BUFFERS REQUIRED PURSUANT TO PART IV.(XV), AND (XVI), NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A BUFFER AND A BUFFER SHALL REMAIN IN ITS NATURAL UNDISTURBED, STATE OF VEGETATION UNTIL ALL LAND-DISTURBING ACTIVITIES ON THE CONSTRUCTION SITE ARE COMPLETED. BETWEEN THE TIME FINAL STABILIZATION OF THE SITE IS ACHIEVED AND UPON THE SUBMITTAL OF A NOTICE OF TERMINATION, A BUFFER MAY BE THINNEO OR TRIMMED OF VEGETATION AS LONG AS A PROTECTIVE VEGETATIVE COVER REMAINS TO PROTECT WATER QUALITY AND AQUATIC HABITAT AND A NATURAL CANOPY IS LEFT IN SUFFICIENT QUANTITY TO KEEP SHADE ON THE STREAM BED;
- VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL FOR THE PURPOSE OF PROVIDING A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., NO SIGNIFICANT CHANGES IN THE HYDROLOGICAL REGIME OF THE RECEIVING WATER(S)).
- INSTALLATION AND USE OF GREEN INFRASTRUCTURE APPROACHES AND PRACTICES THAT MIMIC NATURAL PROCESSES AND DIRECT STORM WATER WHERE IT CAN BE INFILTRATED, EVAPOTRANSPIRATED OR RE-USED WITH SIGNIFICANT UTILIZATION OF SOILS AND VEGETATION RATHER THAN TRADITIONAL HARDCAPE COLLECTION, CONVEYANCE AND STORAGE STRUCTURES ARE ENCOURAGED TO THE MAXIMUM EXTENT PRACTICABLE;
- WASTE DISPOSAL. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- OFF-SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED OR ELIMINATED TO THE MAXIMUM EXTENT PRACTICAL. THE PLAN SHALL INCLUDE THE BEST MANAGEMENT PRACTICE TO BE IMPLEMENTED AT THE SITE OR COMMON DEVELOPMENT.
- ALL PERMITEES SHALL ENSURE AND DEMONSTRATE THAT THEIR PLAN IS IN COMPLIANCE WITH APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS.

PRODUCT SPECIFIC PRACTICES

- PETROLEUM PRODUCTS:**
ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY PETROLEUM TO BE STORED IN TANKS WILL HAVE BE SURROUNDED BY AN EARTHEN BERM AS A SECONDARY PROTECTIVE MEASURE. ALL CONTAINER/TANKS WILL BE REGULARLY INSPECTED FOR CRACKS OR LEAKAGE. IF POSSIBLE, PETROLEUM PRODUCTS WILL BE STORED IN A COVERED AREA. ANY ASPHALT SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- PAINTS:**
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM OR SURFACE WATERS BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURE'S INSTRUCTIONS AND FEDERAL, STATE AND LOCAL REGULATIONS.
- CONCRETE TRUCKS:**
CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASHOUT OR DISCHARGE SURPLUS CONCRETE DRUM WASH ON SITE. WASHOUT OF THE DRUM AT THE SITE IS PROHIBITED.
- FERTILIZERS:**
FERTILIZER USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED (WHENEVER POSSIBLE). THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO SEALABLE PLASTIC BINS TO AVOID SPILLS (WHENEVER POSSIBLE).
- SANITARY/SEPTIC WASTES:**
DURING CONSTRUCTION, 1 PORTABLE TOILET PER EVERY 10 WORKERS SHALL BE PROVIDED ONSITE. ALL SANITARY WASTE FACILITIES WILL BE SERVICED BY A QUALIFIED DOMESTIC WASTE HAULER. FACILITIES WILL BE PLACED OUT OF HIGH FLOW AREAS, AND WILL BE KEPT AWAY FROM, AND NOT RINSED INTO, STORM DRAIN INLETS AND RECEIVING BODIES OF WATER. AT COMPLETION, THE SITE WILL BE SERVED BY DEKALB COUNTY SANITARY SEWER.
- MULCH:**
MULCH STORAGE MUST COMPLY WITH THE FOLLOWING SECTION OF THE STANDARD FIRE PREVENTION CODE: SECTION 502.3.1 - NO PERSON SHALL STORE IN ANY BUILDING OR UPON ANY PRESED GROUND IN EXCESS OF 2,000 LBS. OF GROSS WEIGHT CONSTRUCTION ACTIVITY EMPTY PACKING CASES, BOXES, BARRELS OR SIMILAR CONTAINERS, OR RUBBER TIRES, OR RUBBER OR OTHER SIMILARLY COMBUSTIBLE MATERIALS WITHOUT A PERMIT.
- SANDBLASTING GRITS:**
NO SANDBLASTING GRIT WILL BE DISPOSED OF ON SITE. ITS DISPOSAL WILL BE COORDINATED WITH A LICENSED WASTE MANAGEMENT OR TRANSPORT AND DISPOSAL FIRM.
- CONSTRUCTION WASTES:**
ALL CONSTRUCTION WASTE, FOR EXAMPLE, RUBBLE, PACKAGING MATERIALS, SCRAP BUILDING SUPPLIES, AND TREES AND SHRUBS REMOVED DURING GRUBBING, WILL BE COLLECTED AT A DESIGNATED ON-SITE LOCATION. IF POSSIBLE THE WASTE ACCUMULATION AREA WILL BE LOCATED IN A COVERED AREA. ALL CONSTRUCTION WASTES WILL BE REMOVED REGULARLY ON A CONSISTENT SCHEDULE AND DISPOSED OF AT AUTHORIZED DISPOSAL SITES.
- DETERGENTS:**
THE USE OF DETERGENTS WILL BE LIMITED ON SITE, AND NO WASH WATER CONTAINING DETERGENTS WILL BE DISCHARGED TO STORM DRAIN INLETS OR RECEIVING BODIES OF WATER.

SCHEDULE OF ACTIVITIES

DESCRIPTION	ESTIMATED COMPLETION: MAY 2024		
	MARCH	APRIL	MAY
BEGIN CONSTRUCTION MARCH 2024	1	2	3
INSTALL & MAINTAIN SEDIMENT CONTROL STRUCTURES	██████████		
INITIAL PHASE EROSION CONTROL BMP INSTALLATION	██████████		
INTERMEDIATE PHASE EROSION CONTROL BMP INSTALLATION		██████████	
FINAL PHASE EROSION CONTROL BMP INSTALLATION			██████████
INSTALLATION AND MAINTENANCE OF TEMPORARY SEDIMENT BASIN/RETROFIT	██████████	██████████	
DEMOLITION, CLEARING, AND GRUBBING	██████████		
GRADING	██████████	██████████	
TEMPORARY MULCHING/SEEDING AS REQD TO STABILIZE @ 14 DAY INTERVALS	██████████	██████████	
UTILITIES (STORM)	██████████	██████████	
PAVING		██████████	██████████
FINAL STABILIZATION/PERMANENT AS REQD AT 30 DAY INTERVALS			██████████
REMOVE SEDIMENT CONTROL STRUCTURES			██████████
FINAL CLEAN-UP			██████████

GENERAL SITE INFORMATION

DESCRIPTION OF EXISTING LAND USE
EXISTING PARKING LOT WITH UTILITIES AND STORMWATER CONVEYANCE SYSTEM

SITE PURPOSE AND CONSTRUCTION ACTIVITY
THIS SITE IS PROPOSED TO BE A FREE STANDING STARBUCKS AND ASSOCIATED PARKING LOT AND UTILITIES. THE PROPOSED DETENTION FACILITIES ARE LOCATED ON SITE AND DISCHARGE WILL ULTIMATELY BE CONVEYED TO AN UT OF NANCY CREEK.

SITE DESCRIPTION AND LOCATION
TOTAL SITE AREA - 0.93 AC
TOTAL AREA OF DISTURBANCE - 0.85 ACRES
SOIL TYPES: GW2 & UD
THIS SITE IS LOCATED IN DUNWOODY, DEKALB COUNTY, GEORGIA.
THE SITE IS LOCATED ON THE SOUTHERN QUADRANT OF THE INTERSECTION OF CENTRAL PARKWAY AND PERIMETER CENTER WEST ADDRESS: 140 PERIMETER CENTER WEST

RUNOFF CURVE NUMBER NPDES FEE CALCULATION GPS LOCATION OF Co
BEFORE CONSTRUCTION - .93 \$40 X 0.85 AC = \$34 CITY FEE LAT: 33.927825°
AFTER CONSTRUCTION - .91 \$40 X 0.85 AC = \$34 EPD FEE LONG: -84.345648°

WETLANDS/STREAMS:
THERE ARE NO KNOWN WETLANDS OR STREAMS LOCATED ON THIS SITE. THERE ARE NO KNOWN BLUELINE STREAMS ON SITE.

RECEIVING WATERS:
RECEIVING WATERS FROM THE SITE - UT OF NANCY CREEK. THERE SHALL BE NO ADVERSE IMPACTS TO THE RECEIVING WATERS BY POST DEVELOPMENT RUNOFF FROM THE SITE.

DRAINAGE DESCRIPTION:
THE SITE IS SLOPING TERRAIN WITH SLOPES RANGING FROM 1-4% SLOPES. THE EXISTING DRAINAGE FLOWS TO AN UNNAMED TRIBUTARY OF UT OF NANCY CREEK.

SLOPES AFTER GRADING:
AFTER CONSTRUCTION THE AVERAGE SLOPE OF THE SITE IS APPROXIMATELY 3%. EMBANKMENT ARE 2:1 OR LESS.

CONTACT INFORMATION

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OPERATOR:
CONTRACTOR - TBD
QUALIFIED PERSONNEL

24 HOUR CONTACT:
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www.gaskinslecraw.com
PEF008127

REVISIONS:

NO.	DATE	DESCRIPTION	CHK'D BY	DATE
1				

CITY, COUNTY AND CLIENT COMMENTS

1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

STARBUCKS - PERIMETER SQUARE

140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18.349.04.001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:



3/27/2024

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Call before you dig.

SCALE & NORTH ARROW:

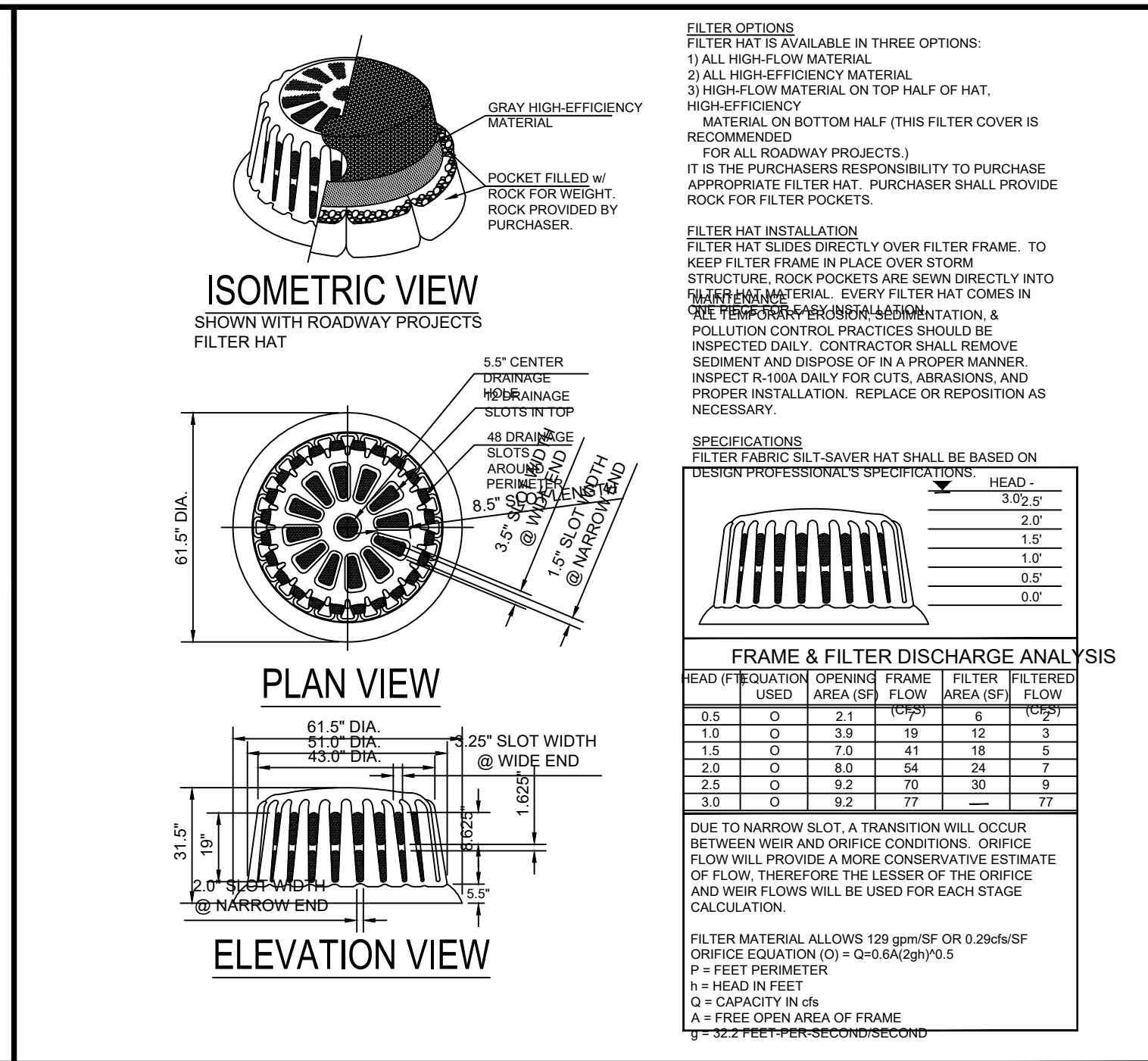
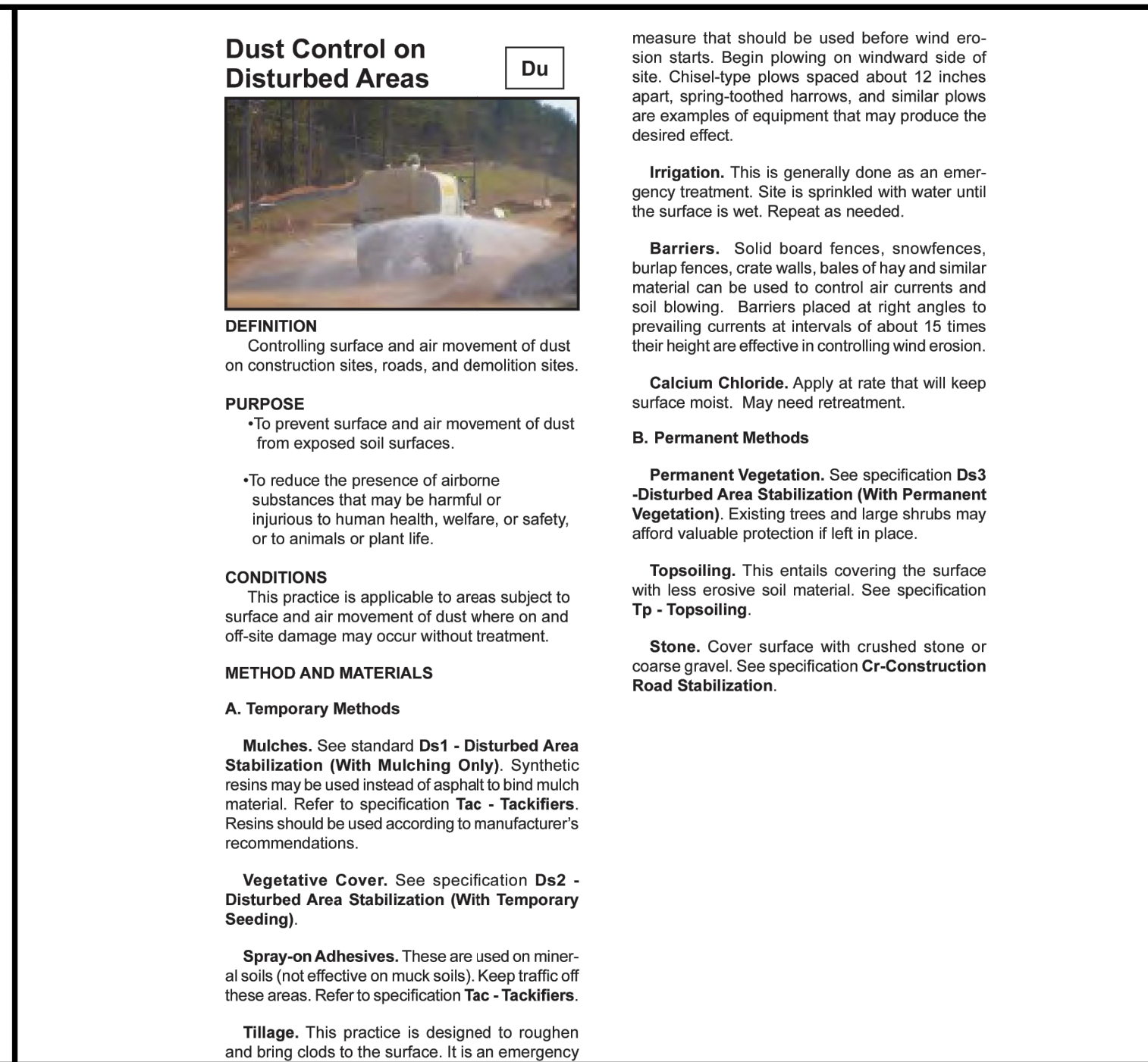
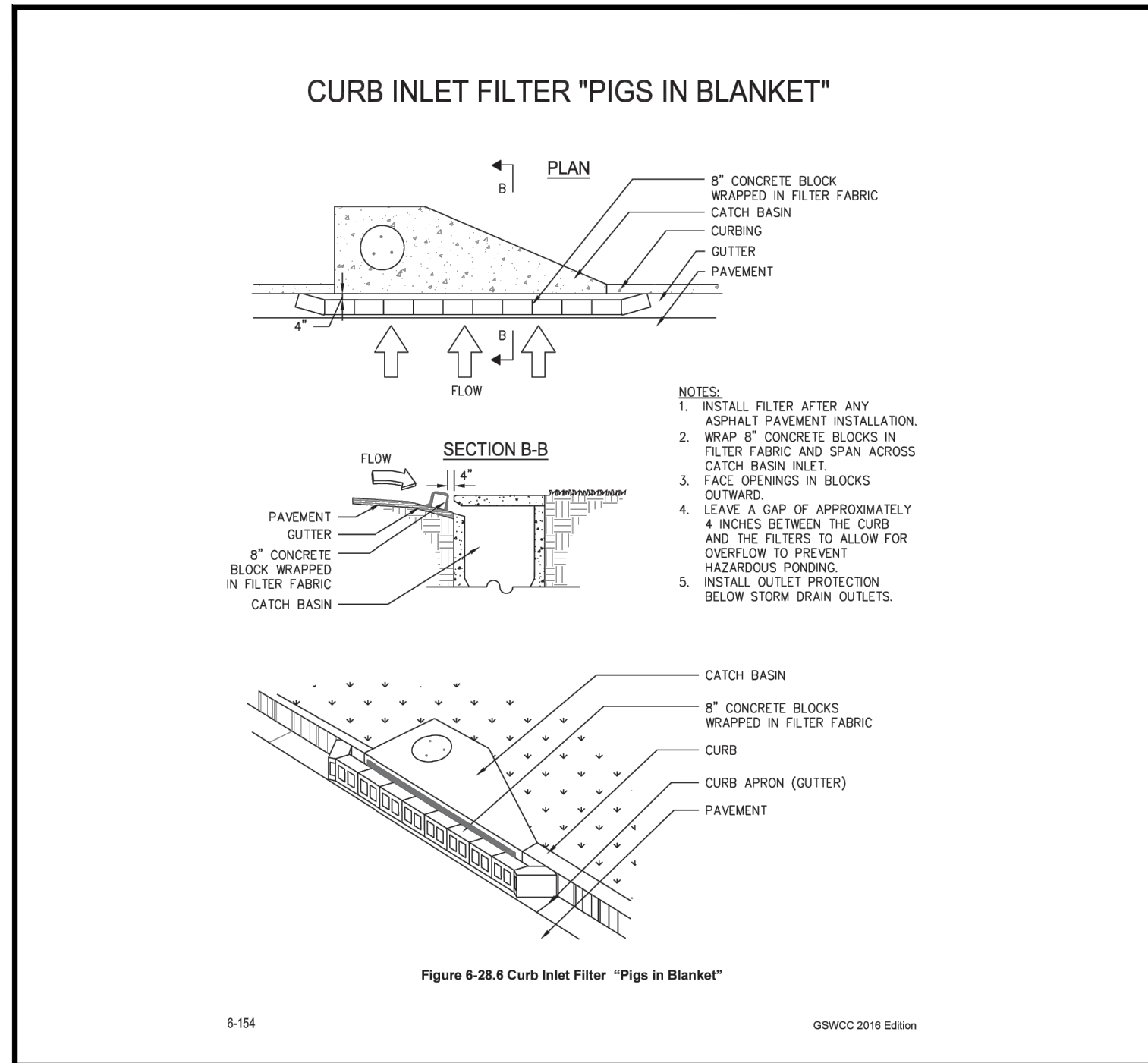


DESIGN INFO:

DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

C-2.3

Packet page:...



GSWCC DESIGN PROFESSIONAL

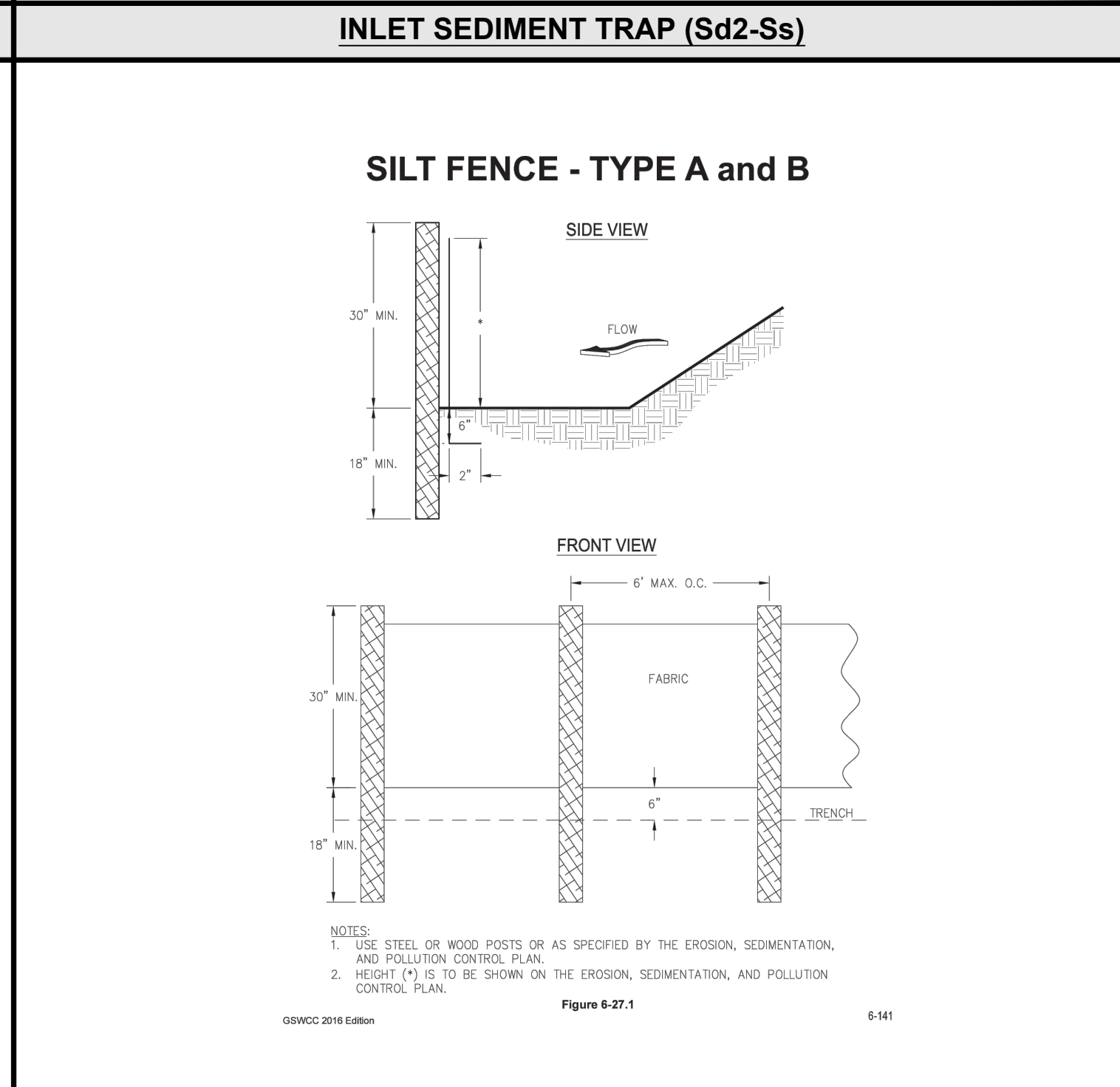
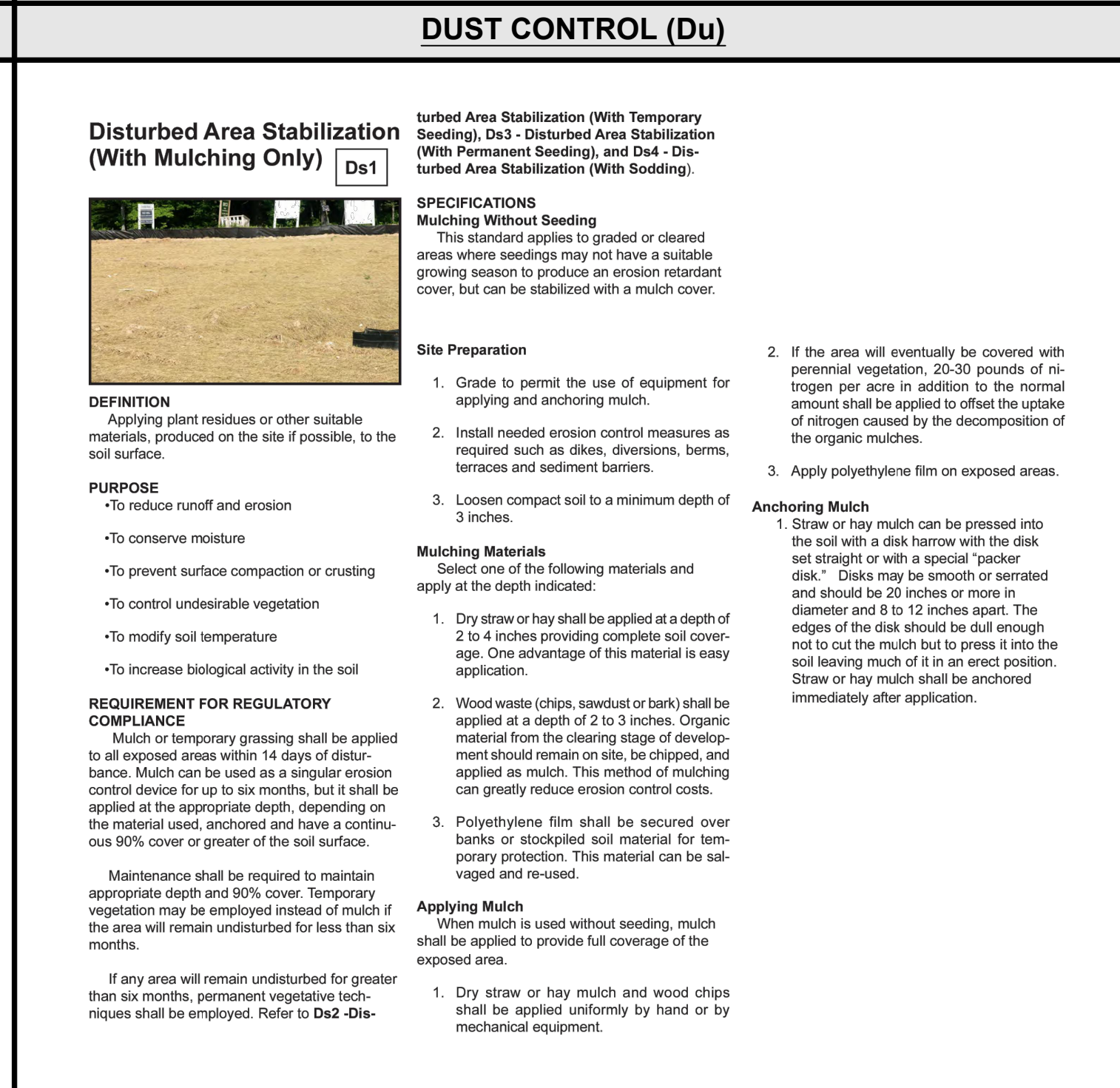
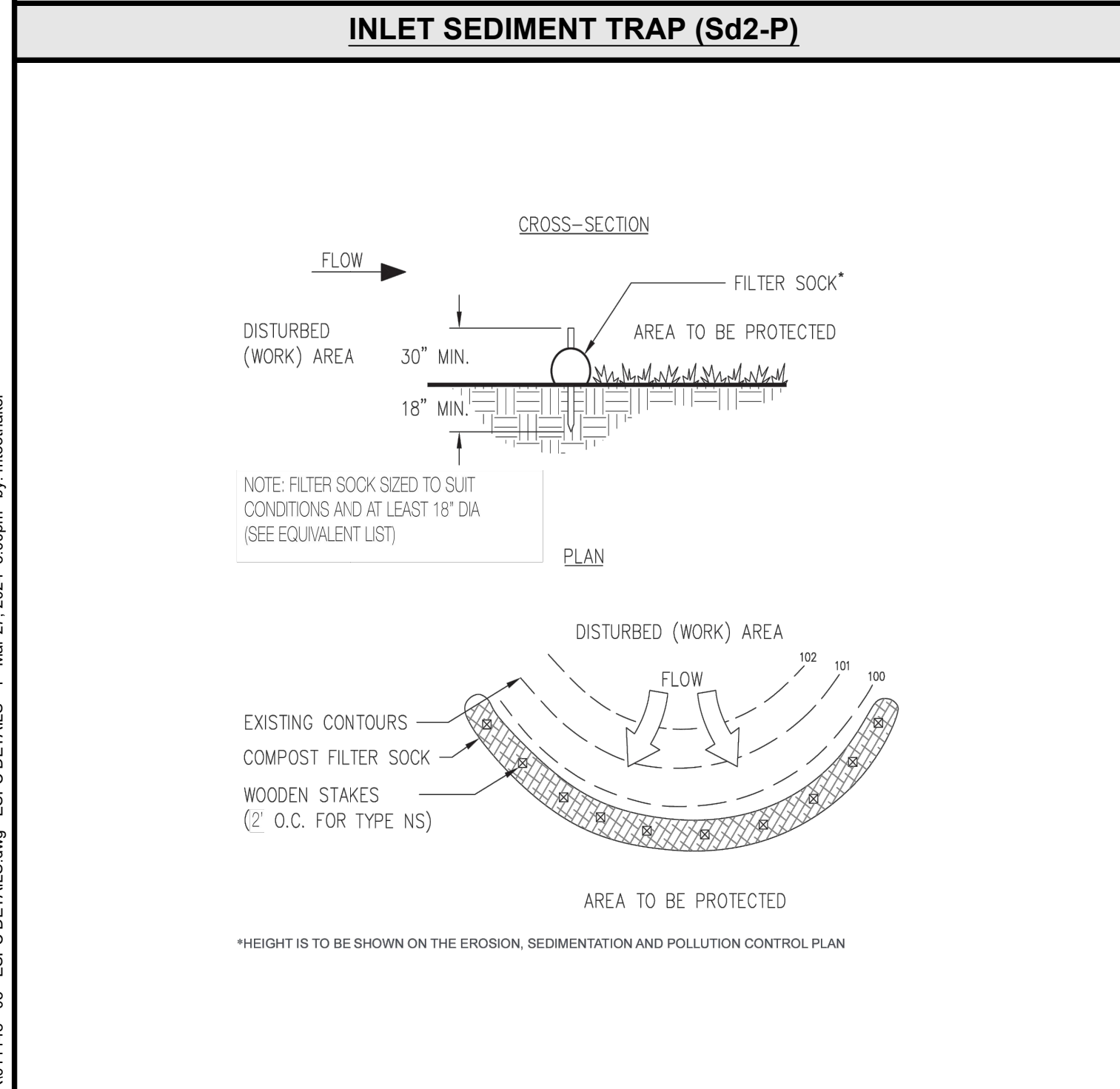
KYLE SHARPE
Level II Certified Design Professional

CERTIFICATION NUMBER: 000065749
ISSUED: 02/17/2024 EXPIRES: 02/17/2021

PREPARED IN THE OFFICE OF:
GASKINS + LECRAW
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DULUTH, GA 30096
PHONE: 678-546-8100
FAX: 770-441-0298
www.gaskinsleccraw.com
PEF008127

REVISIONS:

NO.	DATE	BY	REVISION
1	03/27/24	TKS	CITY, COUNTY AND CLIENT COMMENTS



GEORGIA UNIFORM CODING SYSTEM

FOR SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES
GEORGIA SOIL AND WATER CONSERVATION COMMISSION

CODE	PRACTICE	DETAIL	SUBSET	DESCRIPTION
ES	EROSION CONTROL			
ES1	EROSION CONTROL			
ES2	EROSION CONTROL			
ES3	EROSION CONTROL			
ES4	EROSION CONTROL			
ES5	EROSION CONTROL			
ES6	EROSION CONTROL			
ES7	EROSION CONTROL			
ES8	EROSION CONTROL			
ES9	EROSION CONTROL			
ES10	EROSION CONTROL			
ES11	EROSION CONTROL			
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ES100	EROSION CONTROL			

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	SUBSET	DESCRIPTION
VS	VEGETATIVE PRACTICES			
VS1	VEGETATIVE PRACTICES			
VS2	VEGETATIVE PRACTICES			
VS3	VEGETATIVE PRACTICES			
VS4	VEGETATIVE PRACTICES			
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VS94	VEGETATIVE PRACTICES			
VS95	VEGETATIVE PRACTICES			
VS96	VEGETATIVE PRACTICES			

GSWCC DESIGN PROFESSIONAL

GSWCC Georgia Soil and Water Conservation Commission
KYLE SHARPE
Level II Certified Design Professional
CERTIFICATION NUMBER 0000065749
ISSUED: 02/17/2024 EXPIRES: 02/17/2021

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW
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3475 CORPORATE WAY
SUITE A
DULUTH, GA 30096
PHONE - 678.546.8100
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PEF008127

REVISIONS:

Table with columns: NO., DATE, CITY, COUNTY AND CLIENT COMMENTS, DRAWN BY, TKS, CHECKED BY.

Table 6-5.1. Fertilizer Requirements

Table with columns: TYPE OF SPECIES, YEAR, ANALYSIS OR EQUIVALENT N-P-K, RATE, TOP DRESSING RATE. Lists fertilizer requirements for various species like cool season grasses, ground covers, pine seedlings, etc.

- 1/ Apply in spring following seeding.
2/ Apply in split applications when high rates are used.
3/ Apply in 3 split applications.
4/ Apply when plants are pruned.
5/ Apply to grass species only.
6/ Apply when plants grow to a height of 2 to 4 inches.

FERTILIZER REQUIREMENTS

PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER

Large table for permanent vegetative practices with columns for Species, Broadcast Rates, Resource Area, Planting Dates by Resource Area, and Remarks. Includes species like Bahia, Lespedeza, Bermuda, etc.

PERMANENT VEGETATIVE PRACTICES (Ds3)

DETAIL

Table 6-4.1 - Temporary Cover or Companion Cover Crops

PLANT, PLANTING RATE, AND PLANTING DATE FOR TEMPORARY COVER OR COMPANION CROPS

Large table for temporary vegetative practices with columns for Species, Broadcast Rates, Resource Area, Planting Dates by Resource Area, and Remarks. Includes species like Barley, Lespedeza, Lovegrass, etc.

TEMPORARY VEGETATIVE PRACTICES (Ds2)

Drawing name: C:\Users\moochaker\Gaskins+LeCraw\Dropbox\Sharpe\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GACADD\CONSTR011148 - 05 - ESPCCDETAILS.dwg

CLIENT: GPD GROUP
PROJECT: STARBUCKS - PERIMETER SQUARE
1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215
140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

Professional Engineer Seal for Timothy Kyle Sharpe, No. PE036681, State of Georgia.

3/27/2024

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811 logo with text: Know what's below. Call before you dig.

SCALE & NORTH ARROW:

North Arrow pointing up, with text: NORTH ARROW DETAILS ARE NOT DRAWN TO SCALE

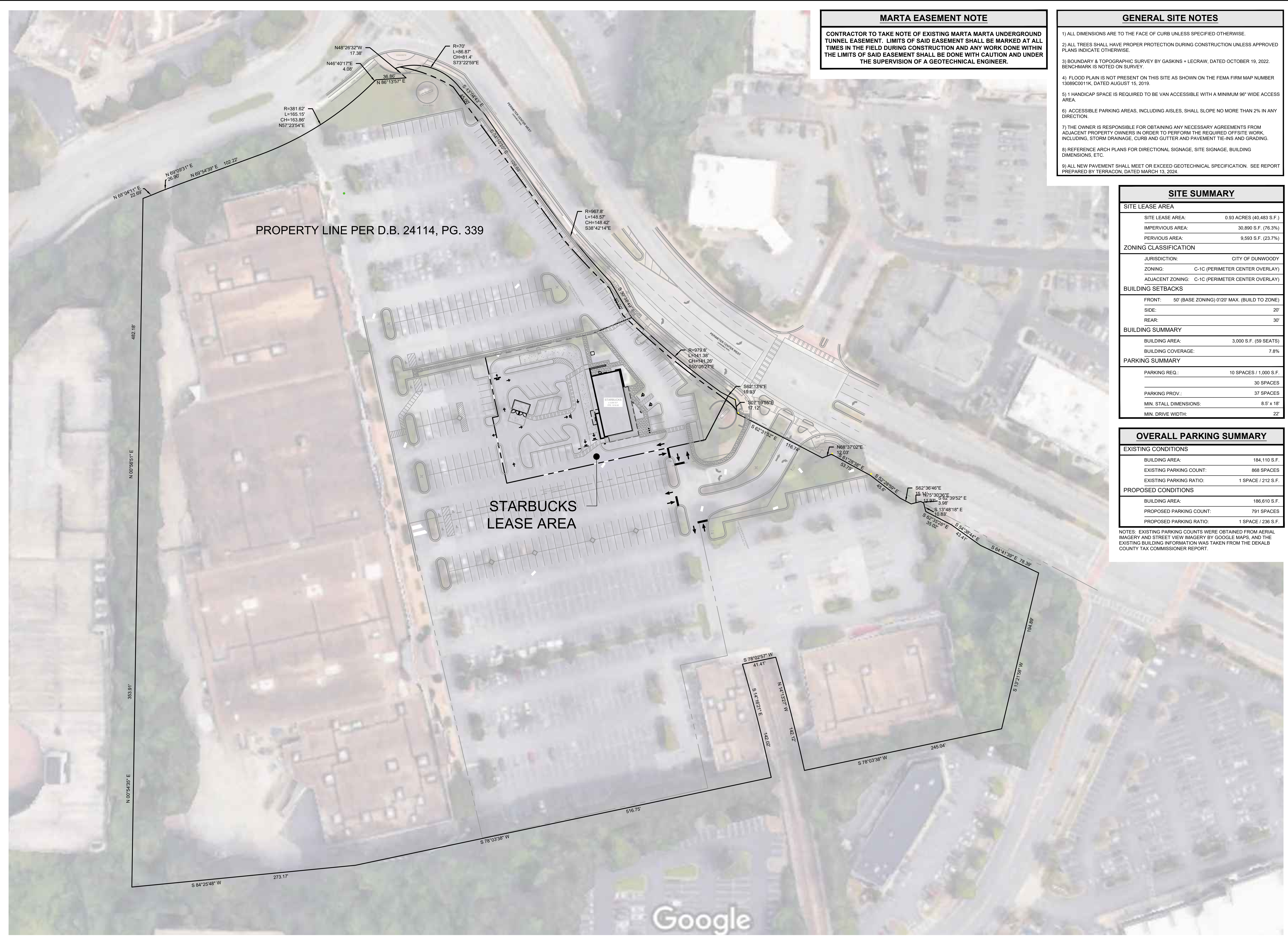
DESIGN INFO:

Table with columns: DRAWN BY, DESIGNED BY, REVIEWED BY, JOB #, DATE. Lists project personnel and dates.

ESPC DETAILS - 2

C-2.5

Drawing name: C:\Users\mbobaker\Gaskins+LeCraw\Dropbox\Shared Folders\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GAICADD\CONSTR011148 - 06 - SITE.dwg OVERALL SITE PLAN Oct 08, 2024 3:01pm by mbobaker



MARTA EASEMENT NOTE

CONTRACTOR TO TAKE NOTE OF EXISTING MARTA UNDERGROUND TUNNEL EASEMENT. LIMITS OF SAID EASEMENT SHALL BE MARKED AT ALL TIMES IN THE FIELD DURING CONSTRUCTION AND ANY WORK DONE WITHIN THE LIMITS OF SAID EASEMENT SHALL BE DONE WITH CAUTION AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

GENERAL SITE NOTES

- 1) ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS SPECIFIED OTHERWISE.
- 2) ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
- 3) BOUNDARY & TOPOGRAPHIC SURVEY BY GASKINS + LECRAW, DATED OCTOBER 19, 2022. BENCHMARK IS NOTED ON SURVEY.
- 4) FLOOD PLAIN IS NOT PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 13089C0011K, DATED AUGUST 15, 2019.
- 5) 1 HANDICAP SPACE IS REQUIRED TO BE VAN ACCESSIBLE WITH A MINIMUM 96" WIDE ACCESS AREA.
- 6) ACCESSIBLE PARKING AREAS, INCLUDING AISLES, SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION.
- 7) THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING, STORM DRAINAGE, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
- 8) REFERENCE ARCH PLANS FOR DIRECTIONAL SIGNAGE, SITE SIGNAGE, BUILDING DIMENSIONS, ETC.
- 9) ALL NEW PAVEMENT SHALL MEET OR EXCEED GEOTECHNICAL SPECIFICATION. SEE REPORT PREPARED BY TERRACON, DATED MARCH 13, 2024.

SITE SUMMARY

SITE LEASE AREA	
SITE LEASE AREA:	0.93 ACRES (40,483 S.F.)
IMPERVIOUS AREA:	30,890 S.F. (76.3%)
PERVIOUS AREA:	9,593 S.F. (23.7%)
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF DUNWOODY
ZONING:	C-1C (PERIMETER CENTER OVERLAY)
ADJACENT ZONING:	C-1C (PERIMETER CENTER OVERLAY)
BUILDING SETBACKS	
FRONT:	50' (BASE ZONING) 0/20' MAX. (BUILD TO ZONE)
SIDE:	20'
REAR:	30'
BUILDING SUMMARY	
BUILDING AREA:	3,000 S.F. (59 SEATS)
BUILDING COVERAGE:	7.8%
PARKING SUMMARY	
PARKING REQ.:	10 SPACES / 1,000 S.F.
	30 SPACES
PARKING PROV.:	37 SPACES
MIN. STALL DIMENSIONS:	8.5' x 18'
MIN. DRIVE WIDTH:	22'

OVERALL PARKING SUMMARY

EXISTING CONDITIONS	
BUILDING AREA:	184,110 S.F.
EXISTING PARKING COUNT:	868 SPACES
EXISTING PARKING RATIO:	1 SPACE / 212 S.F.
PROPOSED CONDITIONS	
BUILDING AREA:	186,610 S.F.
PROPOSED PARKING COUNT:	791 SPACES
PROPOSED PARKING RATIO:	1 SPACE / 236 S.F.

NOTES: EXISTING PARKING COUNTS WERE OBTAINED FROM AERIAL IMAGERY AND STREET VIEW IMAGERY BY GOOGLE MAPS, AND THE EXISTING BUILDING INFORMATION WAS TAKEN FROM THE DEKALB COUNTY TAX COMMISSIONER REPORT.

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW

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www.gaskinslecrow.com
PEF008127

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

CLIENT: **GPD GROUP**

PROJECT: **STARBUCKS - PERIMETER SQUARE**

1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

10/8/2024

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Call before you dig.

SCALE & NORTH ARROW:

NORTH ARROW

SCALE: 1" = 50'

DESIGN INFO:

DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

OVERALL SITE PLAN

C-3.0

MARTA EASEMENT NOTE

CONTRACTOR TO TAKE NOTE OF EXISTING MARTA MARTA UNDERGROUND TUNNEL EASEMENT. LIMITS OF SAID EASEMENT SHALL BE MARKED AT ALL TIMES IN THE FIELD DURING CONSTRUCTION AND ANY WORK DONE WITHIN THE LIMITS OF SAID EASEMENT SHALL BE DONE WITH CAUTION AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

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EXISTING PARKING COUNT:	868 SPACES
EXISTING PARKING RATIO:	1 SPACE / 212 S.F.
PROPOSED CONDITIONS	
BUILDING AREA:	186,610 S.F.
PROPOSED PARKING COUNT:	788 SPACES
PROPOSED PARKING RATIO:	1 SPACE / 236 S.F.

NOTES: EXISTING PARKING COUNTS WERE OBTAINED FROM AERIAL IMAGERY AND STREET VIEW IMAGERY BY GOOGLE MAPS, AND THE EXISTING BUILDING INFORMATION WAS TAKEN FROM THE DEKALB COUNTY TAX COMMISSIONER REPORT.

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ADJACENT ZONING:	C-1C (PERIMETER CENTER OVERLAY)
BUILDING SETBACKS	
FRONT:	50' (BASE ZONING) 0/20' MAX. (BUILD TO ZONE)
SIDE:	20'
REAR:	30'
BUILDING SUMMARY	
BUILDING AREA:	3,000 S.F. (69 SEATS)
BUILDING COVERAGE:	7.8%
PARKING SUMMARY	
PARKING REQ.:	10 SPACES / 1,000 S.F.
	30 SPACES
PARKING PROV.:	37 SPACES
MIN. STALL DIMENSIONS:	8.5' x 18'
MIN. DRIVE WIDTH:	22'

- GENERAL SITE NOTES**
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 - 8) REFERENCE ARCH PLANS FOR DIRECTIONAL SIGNAGE, SITE SIGNAGE, BUILDING DIMENSIONS, ETC.
 - 9) ALL NEW PAVEMENT SHALL MEET OR EXCEED GEOTECHNICAL SPECIFICATION. SEE REPORT PREPARED BY TERRACON, DATED MARCH 13, 2024.

IMPERVIOUS CALCULATIONS

	PERVIOUS (SF)	IMPERVIOUS (SF)
EXISTING CONDITION:	4,441 (11.0%)	36,042 (89.0%)
PROPOSED CONDITION:	9,593 (23.7%)	30,890 (76.3%)

CALCULATIONS BASED ON AREA OF PROPOSED LEASE LINE OF STARBUCKS PROJECT (40,483 S.F.)

KEY NOTES

- 1) 24" CURB & GUTTER, SEE SHEET C-7.0 FOR DETAIL
- 2) 24" WHITE STOP BAR, SEE SHEET C-7.0 FOR DETAIL
- 3) HEAVY DUTY PAVEMENT, REFER TO GEOTECH REPORT FOR PAVEMENT SPECIFICATIONS
- 4) STANDARD DUTY PAVEMENT, REFER TO GEOTECH REPORT FOR PAVEMENT SPECIFICATIONS
- 5) CONCRETE SIDEWALK, SEE SHEET C-7.0 FOR DETAIL
- 6) GOOT STANDARD ADA RAMP WITH DETECTABLE WARNING, SEE SHEET C-7.1 FOR DETAIL
- 7) CONTRACTOR TO TIE INTO AND MATCH EXISTING CURB & GUTTER
- 8) LANDSCAPE AREA, SEE SHEET L-1.1 FOR LANDSCAPE PLANTING DESIGN
- 9) ADA PARKING AREA, SEE SHEET C-7.0 FOR DETAIL(S)
- 10) ADA PARKING SIGN, SEE SHEET C-7.0 FOR DETAIL
- 11) DUMPSTER ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS
- 12) STOP SIGN (R1-1), SEE SHEET C-7.0 FOR MOUNTING DETAIL
- 13) DO NOT ENTER SIGN (R5-1), SEE SHEET C-7.0 FOR MOUNTING DETAIL
- 14) CONCRETE WHEEL STOP PLACED 2' FROM FACE OF CURB OR SIDEWALK, SEE SHEET C-7.0 FOR DETAIL
- 15) CONCRETE PAVEMENT, REFER TO GEOTECH REPORT FOR PAVEMENT SPECIFICATIONS
- 16) CONCRETE PAVERS UNDER BUILDING CANOPY, SEE ARCH PLANS FOR DETAILS
- 17) CONCRETE TRANSFORMER PAD PER UTILITY OWNER'S REQUIREMENTS
- 18) TYPICAL PAVEMENT MARKINGS, SEE SHEET C-7.0 FOR DETAILS
- 19) STARBUCKS PAVEMENT MARKINGS, SEE SHEET C-7.0 FOR DETAILS
- 20) 4" WIDE SINGLE SOLID WHITE LINE (SSWL)
- 21) 5' WIDE, STAMPED CONCRETE AND WHITE STRIPED PEDESTRIAN PATH/CROSSWALK
- 22) CONCRETE BOLLARD, SEE SHEET C-7.0 FOR DETAIL(S)
- 23) BIKE RACKS, SEE SHEET C-7.0 FOR DETAIL(S)

PREPARED IN THE OFFICE OF:



GASKINS + LECRAW

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3475 CORPORATE WAY
SUITE A
DULUTH, GA 30096
PHONE - 678.346.8100
FAX - 770.441.0295
www.gaskinslecrow.com
PEF008127

REVISIONS:

REV #	DATE	CHECKED BY	DRAWN BY
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2			
1			

CLIENT: **GPD GROUP**

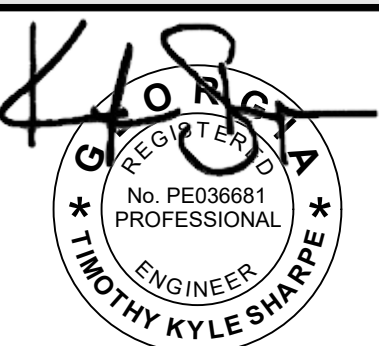
PROJECT: **STARBUCKS - PERIMETER SQUARE**

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DEKALB COUNTY AP#: 3150095

SEAL:



REGISTERED PROFESSIONAL ENGINEER
No. PE036681
TIMOTHY KYLE SHURE

10/8/2024

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Call before you dig.

SCALE & NORTH ARROW:



DESIGN INFO:

DRAWN BY: MAT

DESIGNED BY: TKS

REVIEWED BY: TKS

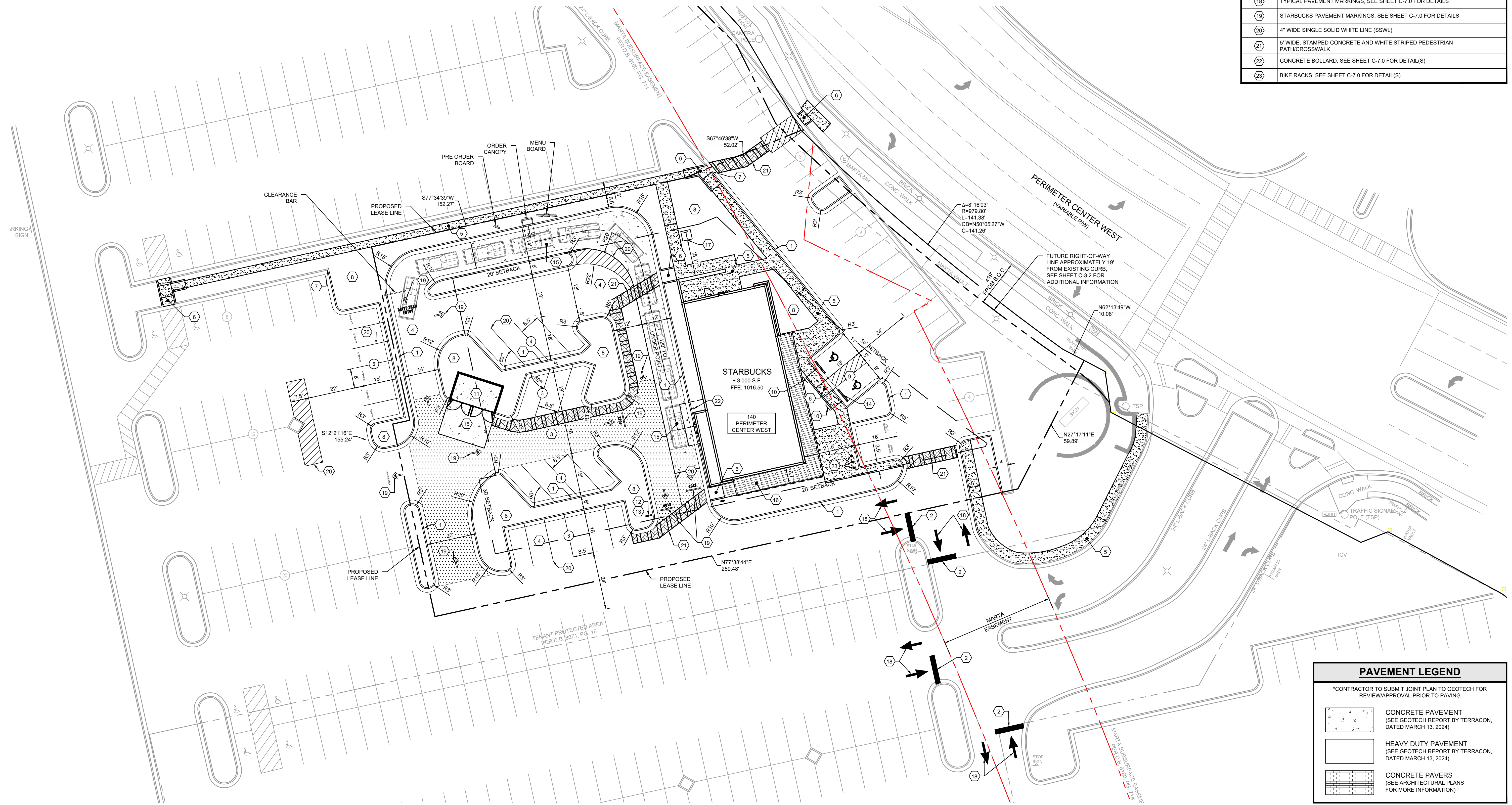
JOB #: 011148

DATE: JANUARY 12, 2024

SITE PLAN

C-3.1

Packet page:...



PREPARED IN THE OFFICE OF:



GASKINS + LECRAW
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 3475 CORPORATE WAY
 SUITE A
 DULUTH, GA 30096
 PHONE - 678.546.8100
 FAX - 770.441.0295
 www.gaskinslecrow.com
 PEF008127

REVISIONS:

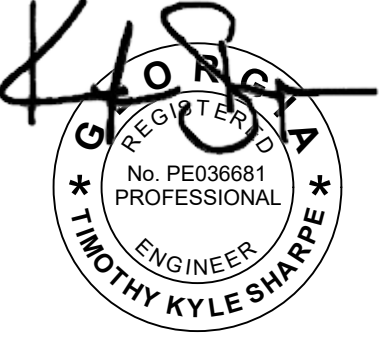
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4	07/30/24	MAT	TKS
3	04/23/24	MAT	TKS
2	04/09/24	MAT	TKS
1	03/27/24	MAT	TKS

CLIENT
GPD GROUP
 1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT
STARBUCKS - PERIMETER SQUARE
 140 PERIMETER CENTER WEST
 LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
 DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:



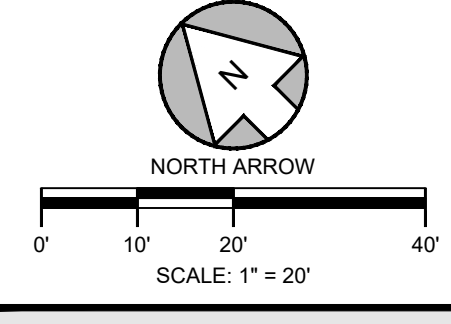
10/8/2024

CALL BEFORE YOU DIG



Know what's below.
 Call before you dig.

SCALE & NORTH ARROW:



DESIGN INFO:

DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

R.O.W. DEDICATION PLAN

C-3.2

Packet page:...



Drawing name: C:\Users\mboobaker\Gaskins+LeCraw\Dropbox\Share\Folders\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GA\CADD\CONSTR\011148 - SITE.dwg R.O.W. DEDICATION PLAN Oct 08, 2024, 3:07 pm by mboobaker

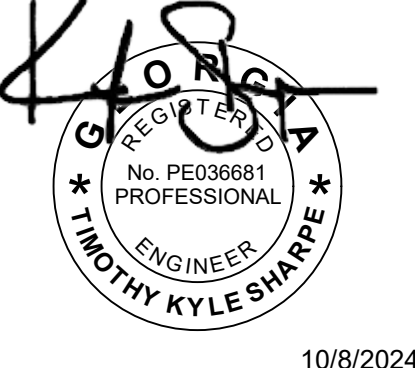
REVISIONS:

NO.	DATE	BY	CHKD.	DESCRIPTION
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2	04/09/24	MAT	TKS	CITY CLIENT COMMENTS
3	04/23/24	MAT	TKS	CITY CLIENT COMMENTS
4	07/30/24	MAT	TKS	CITY SLIP COMMENTS
5	10/09/24	MAT	TKS	CITY SLIP COMMENTS

CLIENT: GPD GROUP
PROJECT: STARBUCKS - PERIMETER SQUARE
1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215
140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

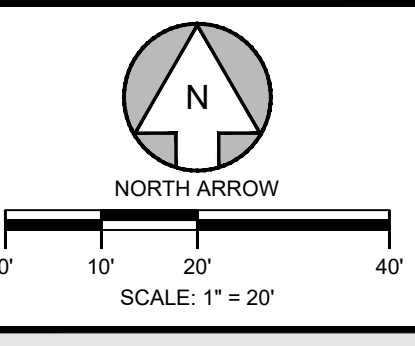


10/8/2024

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SCALE & NORTH ARROW:



DESIGN INFO:

DRAWN BY: MAT
DESIGNED BY: MAT
REVIEWED BY: TKS
JOB #: 011148
DATE: JANUARY 12, 2024

GRADING PLAN

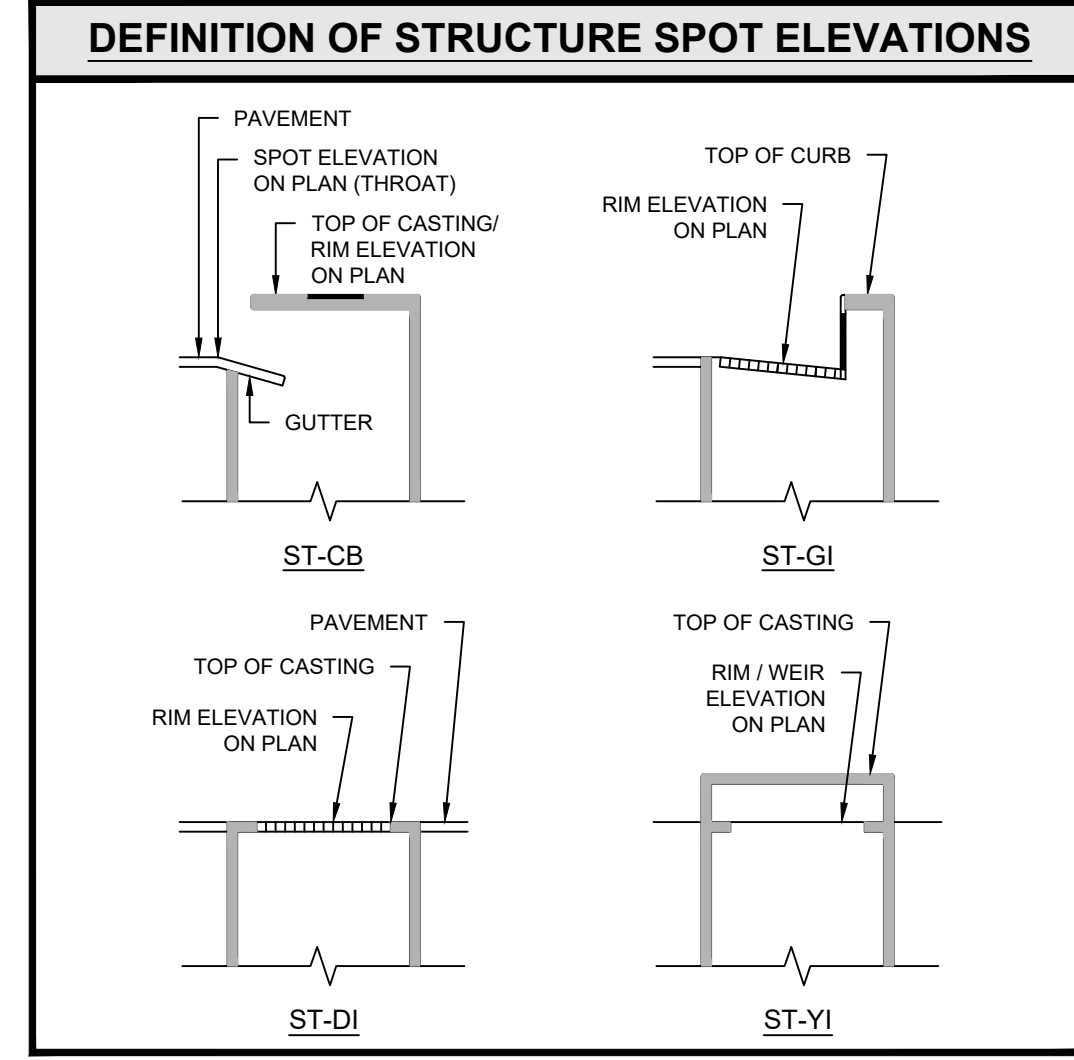
C-4.0

GENERAL GRADING NOTES

- 1) ALL CRITICAL SPOT GRADES ALONG CURB ARE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE SPECIFIED.
- 2) NO SLOPES ARE TO BE STEEPER THAN 2:1.
- 3) ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- 4) BOUNDARY & TOPOGRAPHIC INFORMATION FROM SURVEY BY GASKINS + LECRAW, DATED OCTOBER 19, 2022.
- 5) FLOOD PLAIN IS NOT PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 13089C001K, DATED AUGUST 15, 2019.
- 6) EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 7) OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL STORM SEWER ON PRIVATE PROPERTY.
- 8) THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING, STORM DRAINAGE, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
- 9) VERTICAL DEPTH OF ALL DRY AND PRESSURIZED UTILITIES IS UNKNOWN. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE FOUND.
- 10) SIDEWALKS ADJACENT TO BUILDING AND ALONG ADA ROUTES TO HAVE MAXIMUM CROSS SLOPE OF 2%.

KEY NOTES

1	CONTRACTOR TO TIE INTO AND MATCH EXISTING GRADE
2	RIDGE LINE
3	2:1 SLOPE
4	PROPOSED RETAINING WALL, DESIGNED AND PERMITTED BY OTHERS
5	ADA PARKING AREA, MAXIMUM SLOPE OF 2% IN ANY DIRECTION
6	8" HDPE HEADER PIPE FOR ROOF DRAIN CONNECTION, MINIMUM SLOPE OF 1%, CONTRACTOR TO LAY LINES ABOVE STORM LINE C1-C2 WITH MAXIMUM COVER POSSIBLE AND ENSURE THERE ARE NO CONFLICTS
7	UNDERGROUND DETENTION POND
8	CONVERT EXISTING INLET TO JUNCTION BOX AND SET RIM FLUSH WITH PROPOSED GRADE
9	OUTLET CONTROL STRUCTURE. SEE SHEET C-4.2 FOR DETAIL



RETAINING WALL DESIGN/BUILD NOTE

THE CONTRACTOR SHALL BE REQUIRED TO CONTRACT WITH A THIRD PARTY ENGINEER FOR THE DESIGN OF THE PROPOSED RETAINING WALL(S). THE SPOT ELEVATIONS SHOWN ALONG THE WALL ON THIS SHEET REPRESENT THE FINISHED GRADE ELEVATION AT THE BOTTOM FACE AND TOP BACK OF THE WALL AND SHOULD NOT BE TAKEN TO MEAN THE ACTUAL BOTTOM AND TOP ELEVATIONS OF THE WALL OR FOOTING. THE ELEVATIONS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHOULD REFER TO THE RETAINING WALL DESIGN PLANS, BY OTHERS, FOR MORE INFORMATION. THE WALL DESIGNER SHALL ALSO BE RESPONSIBLE FOR PROVIDING ANY FENCING AS NECESSARY BASED ON WALL HEIGHT TO MEET CODE AS A PART OF THE DESIGN FOR THE RETAINING WALL.

SPOT ELEVATION LEGEND

BR: BOTTOM OF RAMP
BW: BOTTOM OF WALL
LP: LOW POINT
TR: TOP OF RAMP
TW: TOP OF WALL
HP: HIGH POINT
*ALL CRITICAL SPOT GRADES ALONG CURB ARE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE SPECIFIED.

STRUCTURE TYPES

STYI: GDOT STD 9031-S
STGI: GDOT STD 1019A TYPE E
STOCS: SEE DETAILS SHEET C-4.2

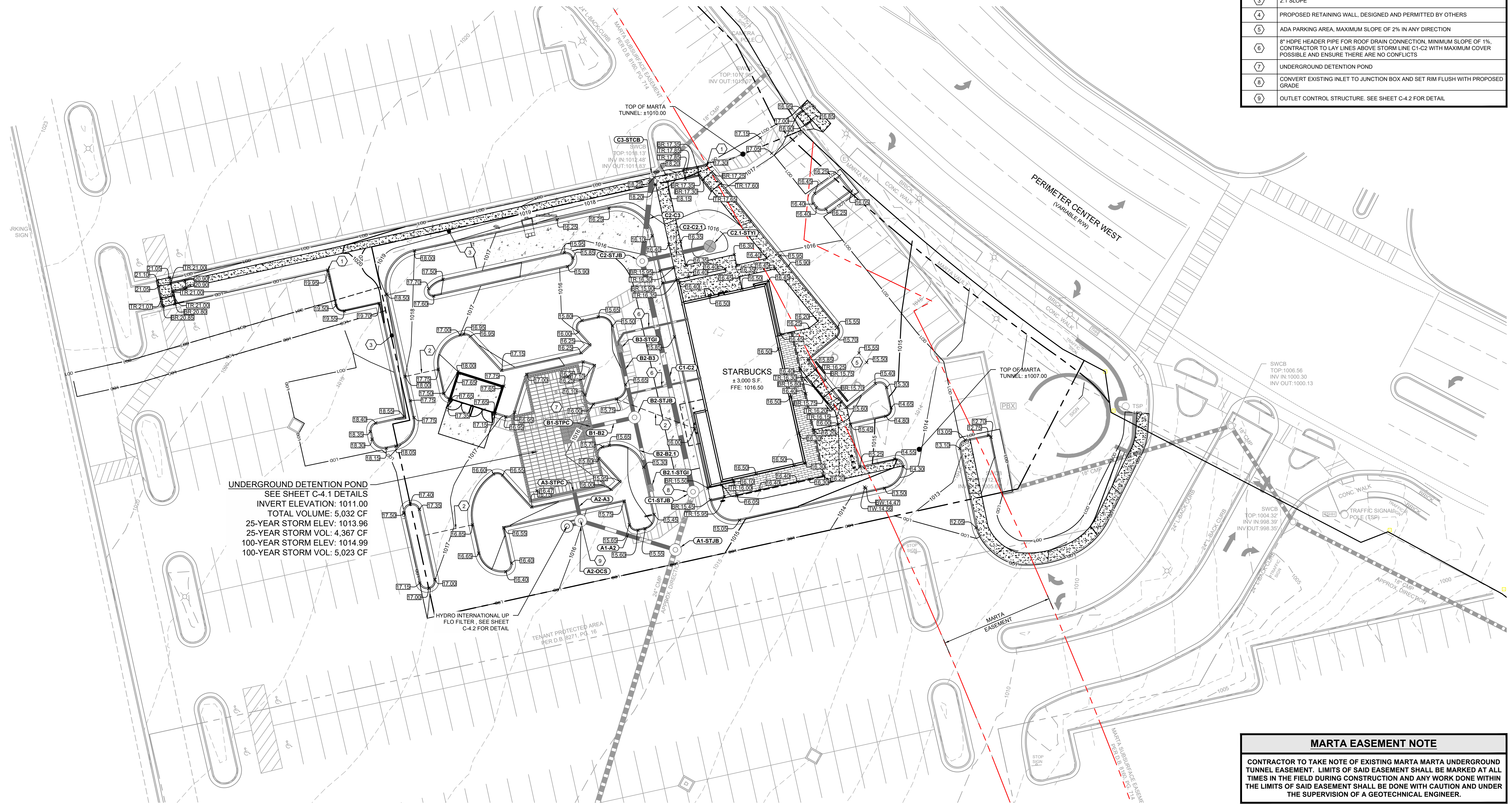
SIPC: POND CONNECTION
STJB: GDOT STD 1011A

STORM PIPES

NAME	SIZE	LENGTH	SLOPE	INV UP	INV DOWN	MATERIAL
A1-A2	18"	41.05	1.00%	1011.00 (A2-OCS)	1010.59 (A1-STJB)	HDPE
A2-A3	18"	11.99	0.00%	1011.00 (A3-STPC)	1011.00 (A2-OCS)	HDPE
B1-B2	18"	18.00	1.00%	1011.16 (B2-STJB)	1011.00 (B1-STPC)	HDPE
B2-B2.1	18"	29.94	1.00%	1011.46 (B2.1-STGI)	1011.16 (B2-STJB)	HDPE
B2-B3	18"	29.05	1.00%	1011.47 (B3-STGI)	1011.18 (B2-STJB)	HDPE
C1-C2	24"	97.86	1.00%	1011.59 (C2-STJB)	1010.61 (C1-STJB)	HDPE
C2-C2.1	18"	28.67	1.00%	1012.38 (C2.1-STYI)	1012.09 (C2-STJB)	HDPE
C2-C3	24"	35.68	1.00%	1011.95 (C3-STCB)	1011.59 (C2-STJB)	HDPE

STORM STRUCTURES

NAME	TYPE	STATION	RIM	INV IN: (PIPE)	INV OUT: (PIPE)
A1-STJB	JUNCTION BOX	0+00.00	1015.31	1010.59 (A1-A2)	
A2-OCS	OUTLET CONTROL STRUCTURE	0+41.05	1016.02	1011.00 (A2-A3)	1011.00 (A1-A2)
A3-STPC	POND CONNECTION	0+53.04	1016.30		1011.00 (A2-A3)
B1-STPC	POND CONNECTION	0+00.00	1015.90	1011.00 (B1-B2)	
B2-STJB	JUNCTION BOX	0+18.00	1015.53	1011.16 (B2-B3) 1011.16 (B2-B2.1)	1011.18 (B1-B2)
B2.1-STGI	GRATE INLET	0+29.94	1015.20		1011.46 (B2-B2.1)
B3-STGI	GRATE INLET	0+47.05	1015.35		1011.47 (B2-B3)
C1-STJB	JUNCTION BOX	0+00.00	1015.41	1010.61 (C1-C2)	
C2-STJB	JUNCTION BOX	0+97.86	1015.97	1012.09 (C2-C2.1) 1011.59 (C2-C3)	1011.59 (C1-C2)
C2.1-STYI	YARD INLET	0+28.67	1015.50		1012.38 (C2-C2.1)
C3-STCB	CATCH BASIN (EX)	1+33.54	1018.59		1011.95 (C2-C3)



UNDERGROUND DETENTION POND
SEE SHEET C-4.1 DETAILS
INVERT ELEVATION: 1011.00
TOTAL VOLUME: 5,032 CF
25-YEAR STORM ELEV: 1013.96
100-YEAR STORM ELEV: 1014.99
100-YEAR STORM VOL: 5,023 CF

MARTA EASEMENT NOTE

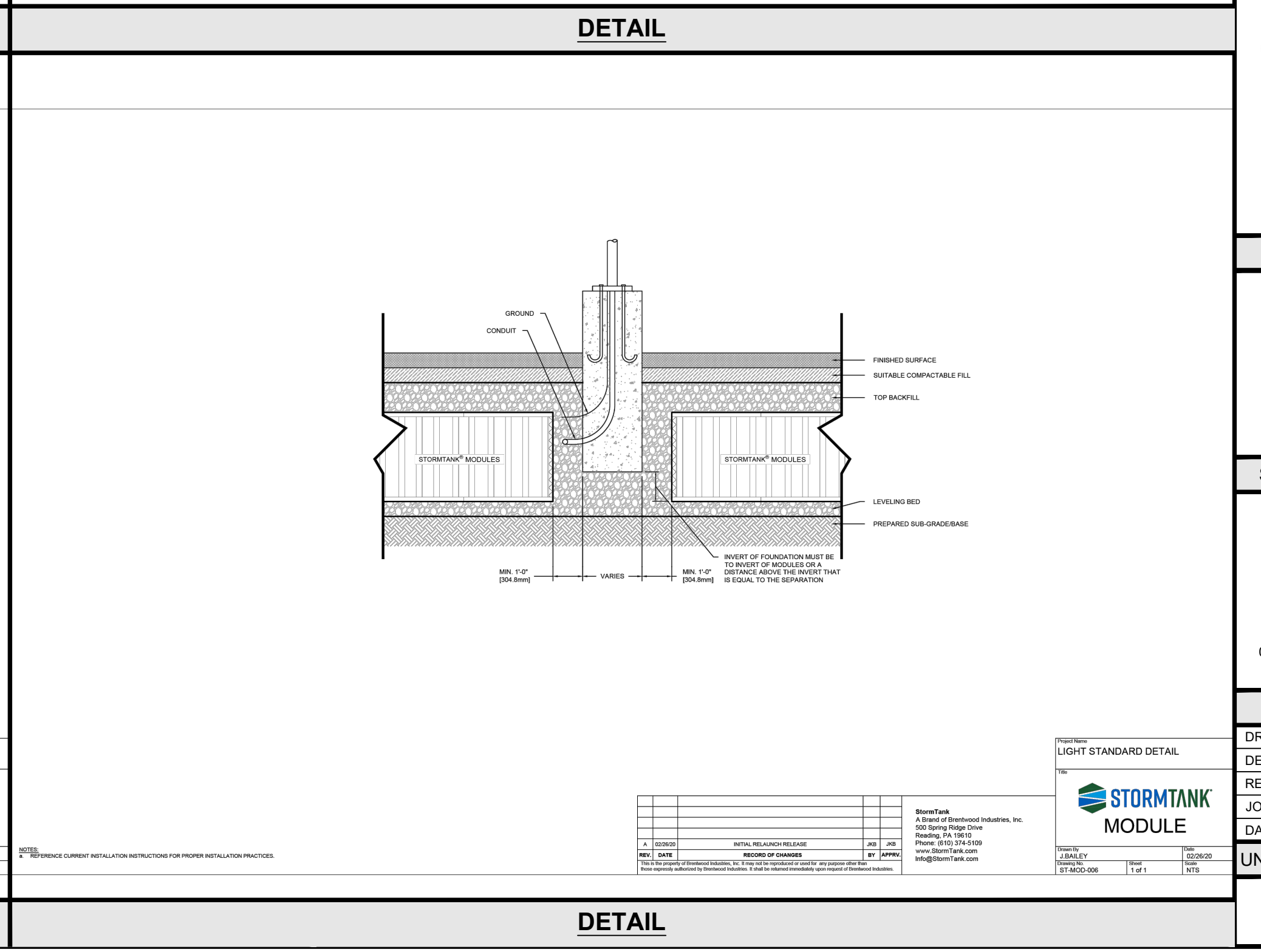
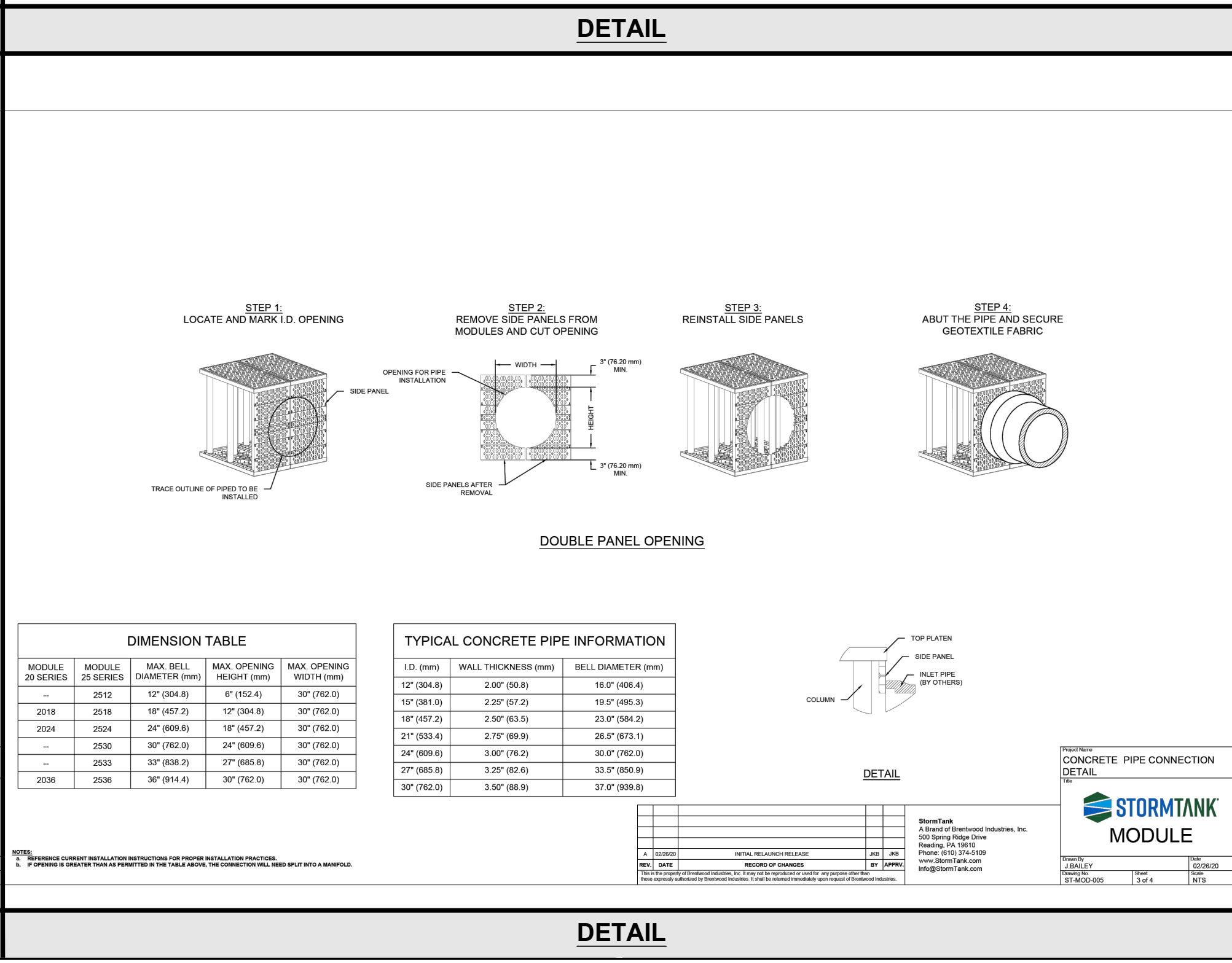
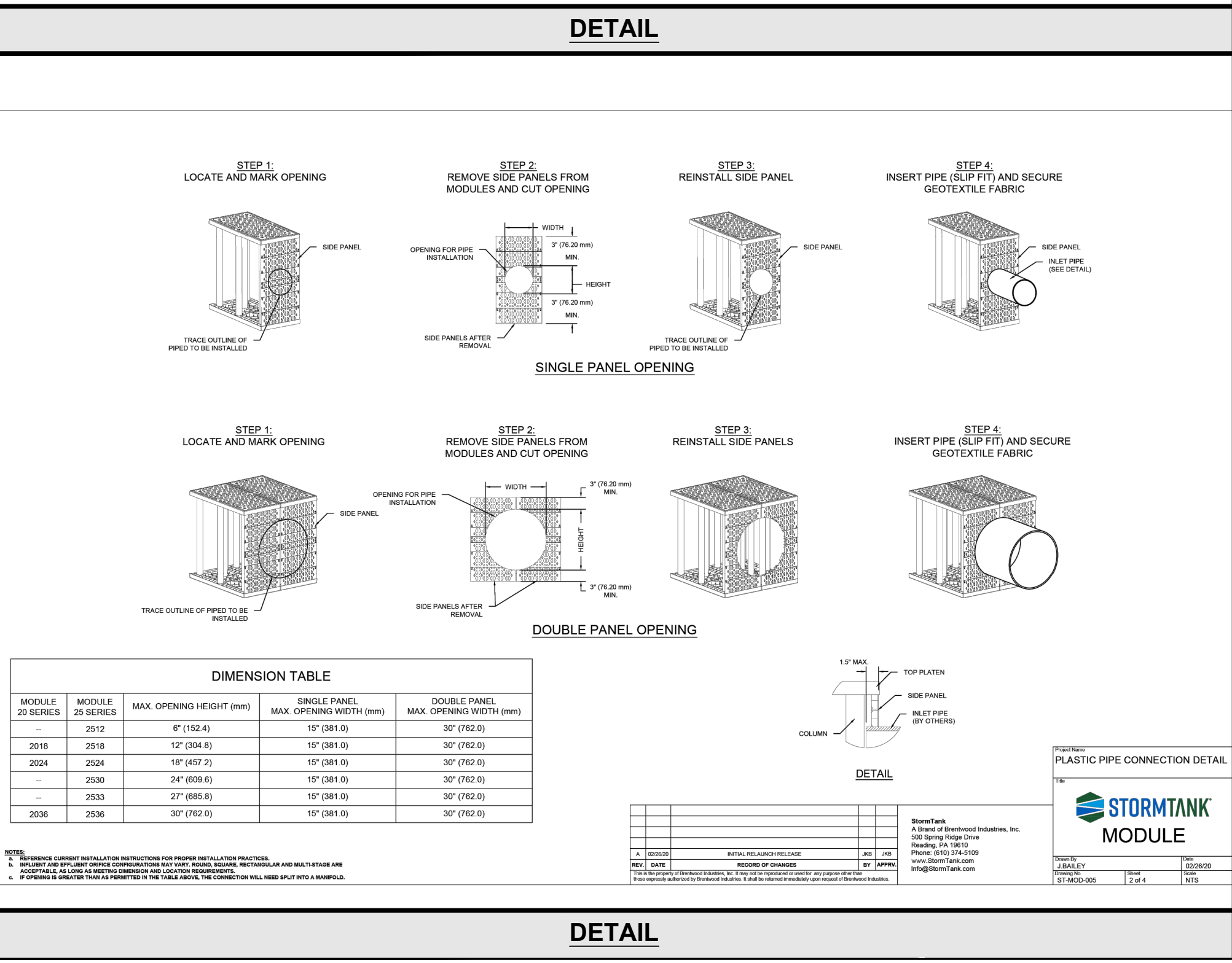
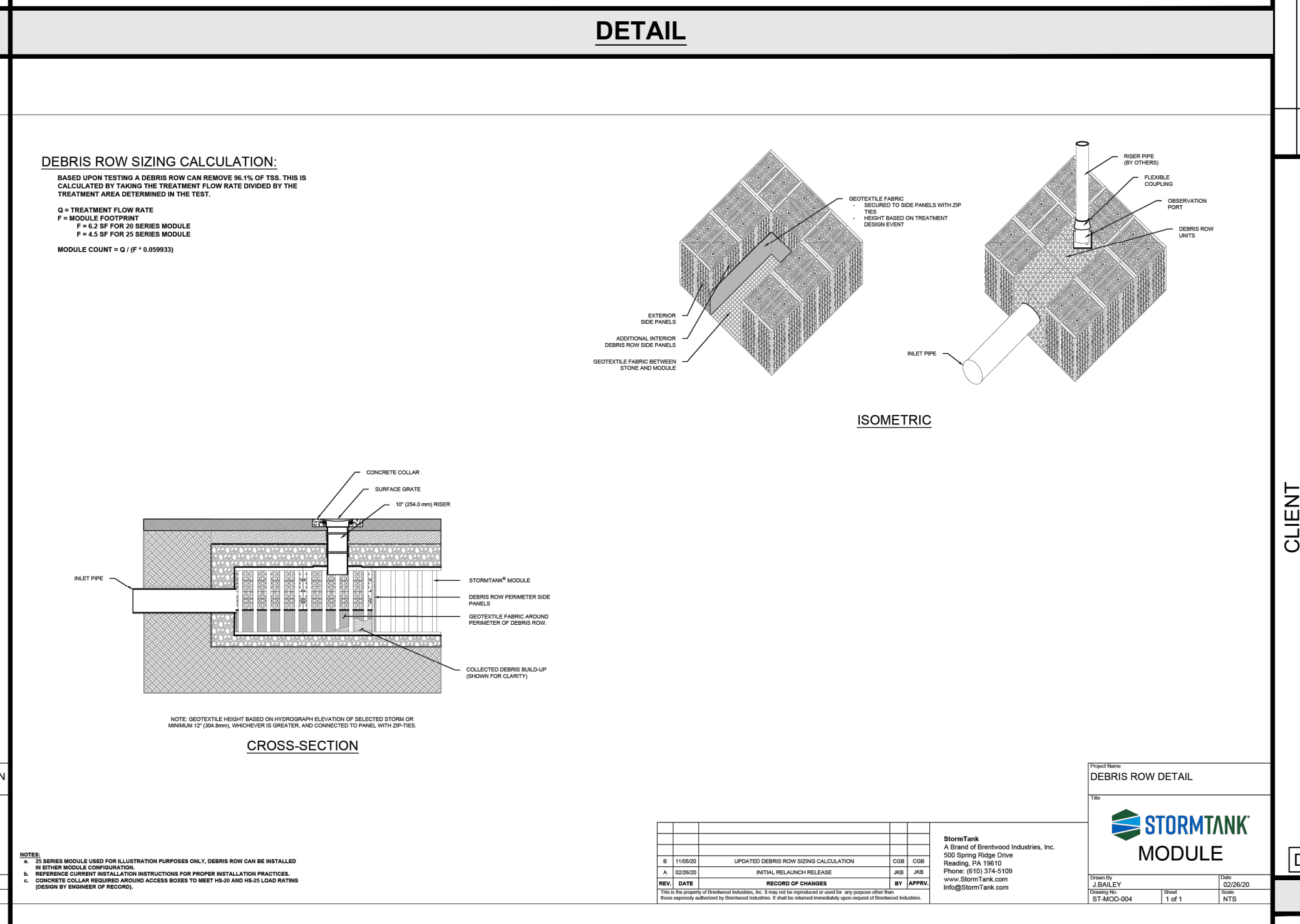
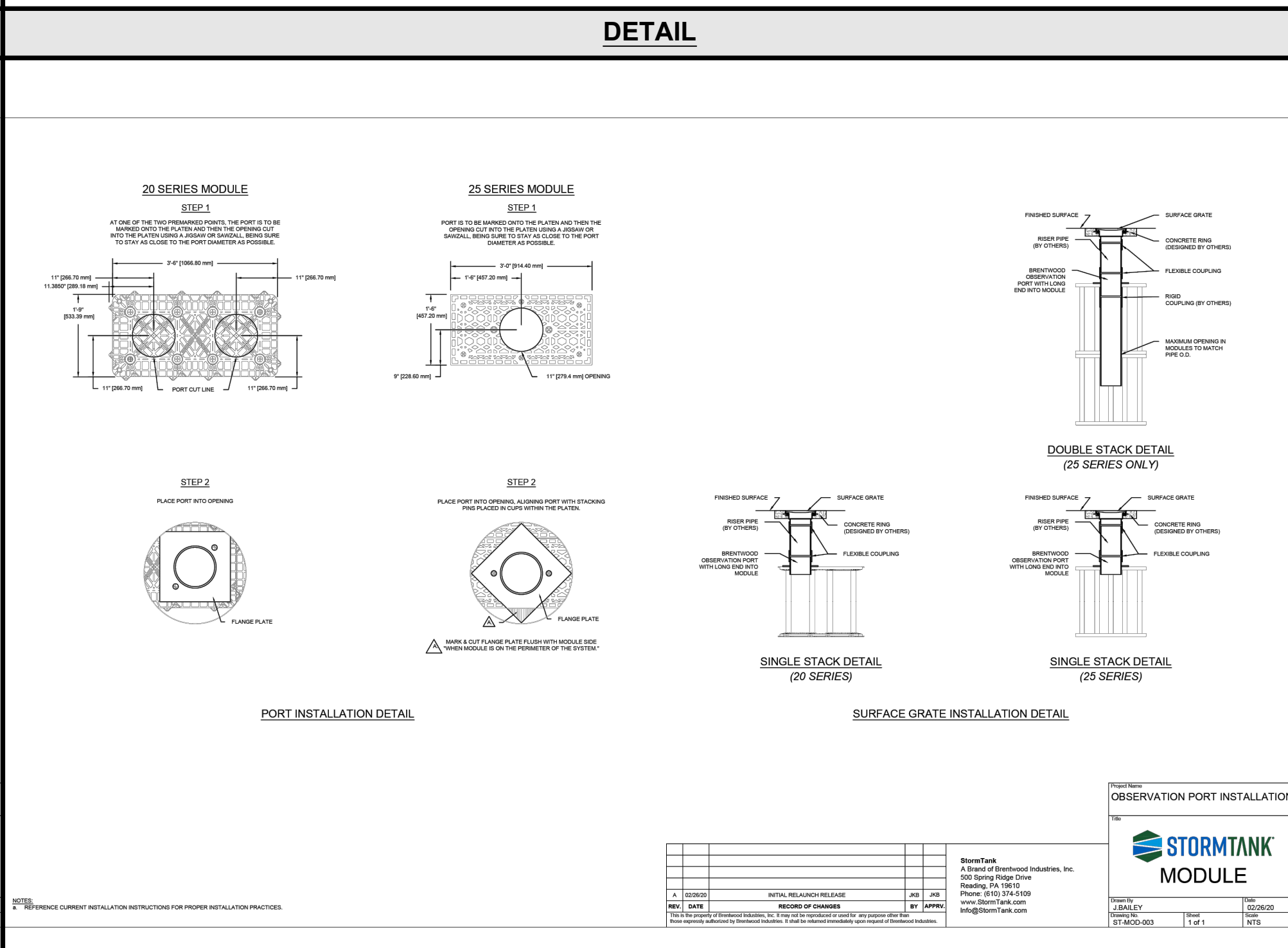
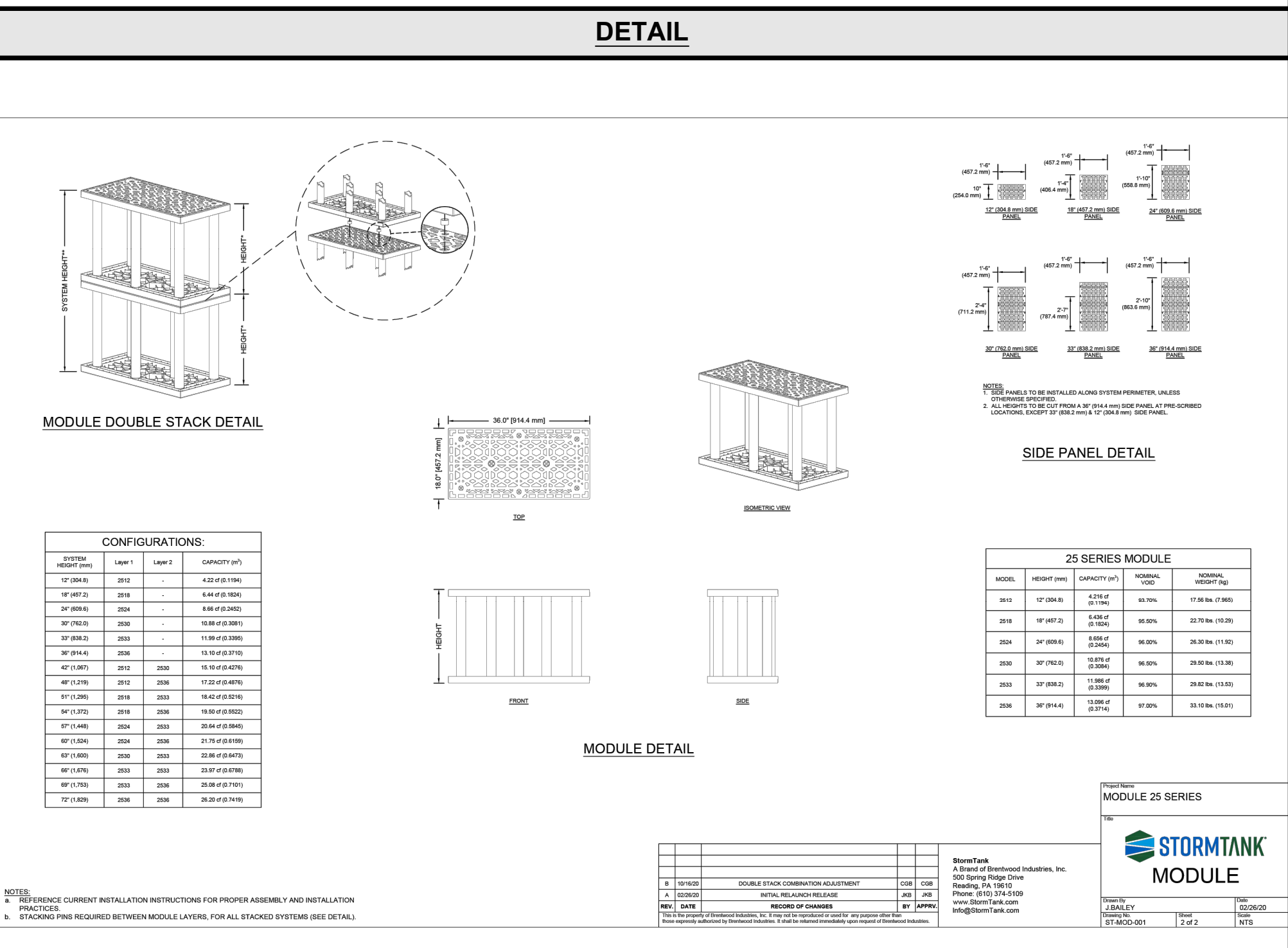
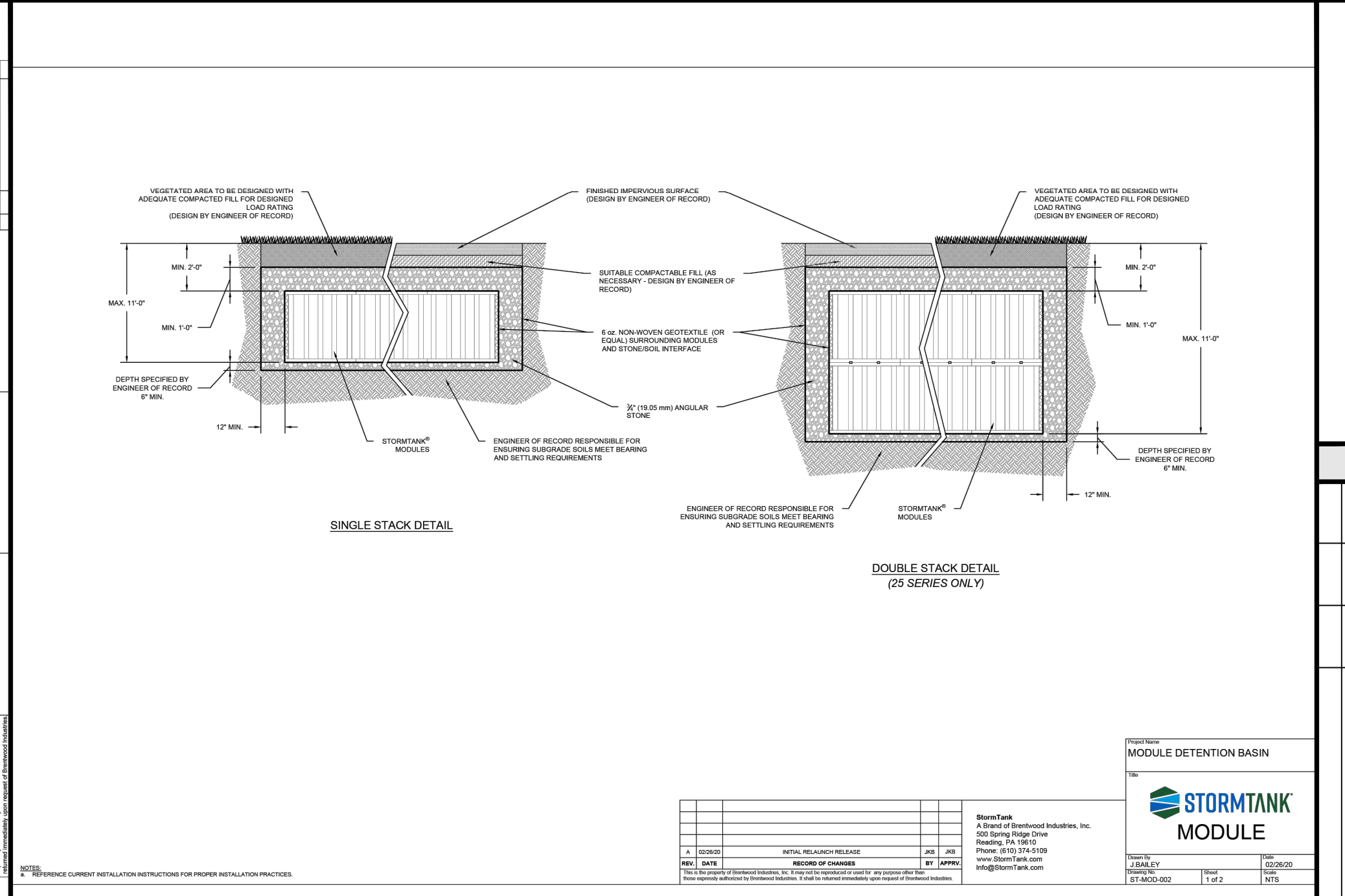
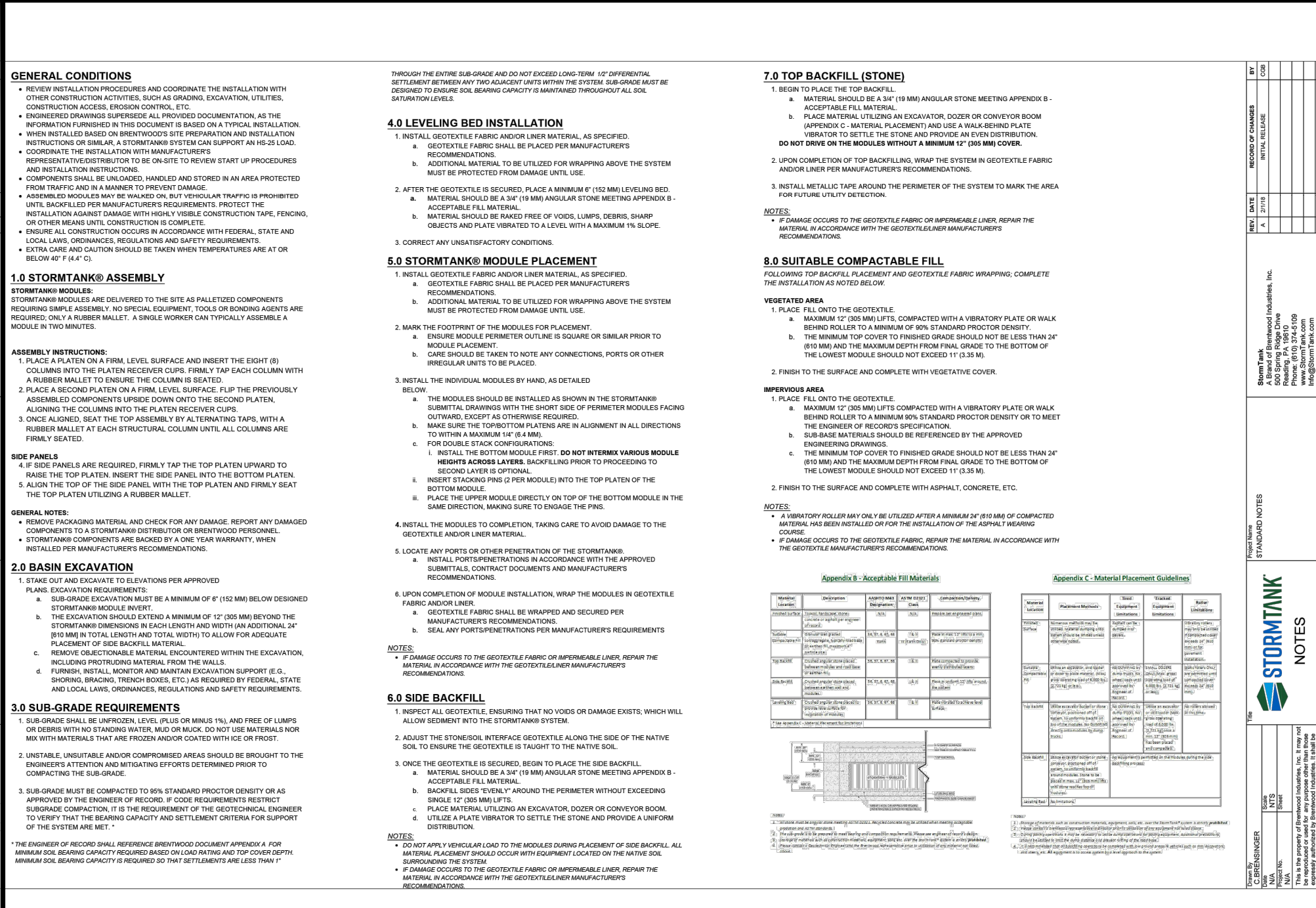
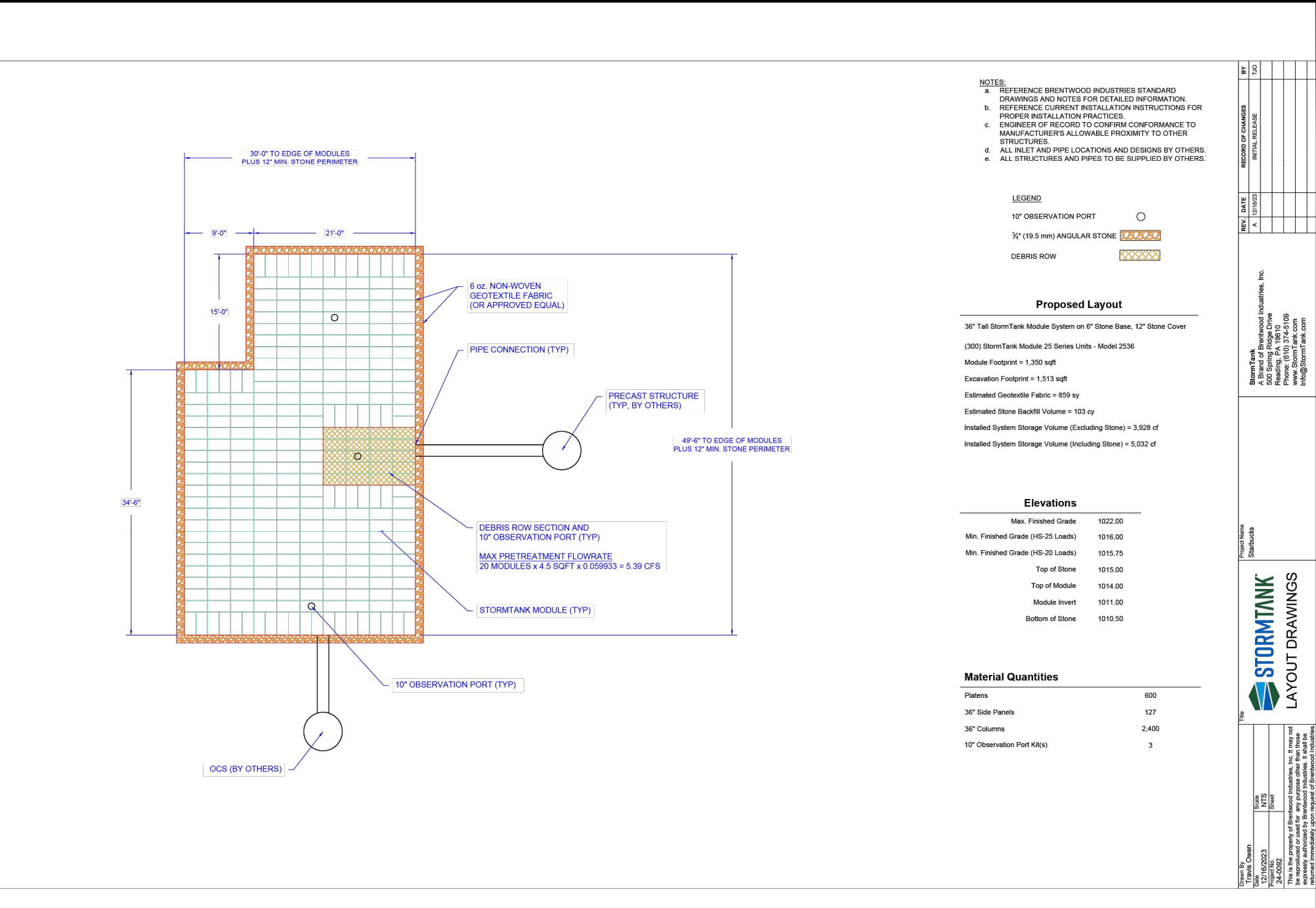
CONTRACTOR TO TAKE NOTE OF EXISTING MARTA MARTA UNDERGROUND TUNNEL EASEMENT. LIMITS OF SAID EASEMENT SHALL BE MARKED AT ALL TIMES IN THE FIELD DURING CONSTRUCTION AND ANY WORK DONE WITHIN THE LIMITS OF SAID EASEMENT SHALL BE DONE WITH CAUTION AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW
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 3475 CORPORATE WAY
 SUITE A
 DULUTH, GA 30096
 PHONE - 678.546.8100
 FAX - 770.441.0295
 www.gaskinslecrow.com
 PEFO08127

REVISIONS:

NO.	DATE	BY	CHKD.	DESCRIPTION
1	03/27/24	TKS	TKS	CITY, COUNTY AND CLIENT COMMENTS



CLIENT: GPD GROUP
 1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT: STARBUCKS - PERIMETER SQUARE
 140 PERIMETER CENTER WEST
 LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
 DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL: [Professional Engineer Seal]

3/27/2024

CALL BEFORE YOU DIG

811 Know what's below. Call before you dig.

SCALE: 1" = 20"

NORTH ARROW

REVISIONS:				
REV. #	DATE	CHECKED BY	DRAWN BY	DESCRIPTION
3	04/23/24	TKS	MAT	CITY/CLIENT COMMENTS
2	04/09/24	TKS	MAT	COUNTY COMMENTS
1	03/27/24	TKS	MAT	CITY, COUNTY AND CLIENT COMMENTS

CLIENT
GPD GROUP
 1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT
STARBUCKS - PERIMETER SQUARE
 140 PERIMETER CENTER WEST
 LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
 DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

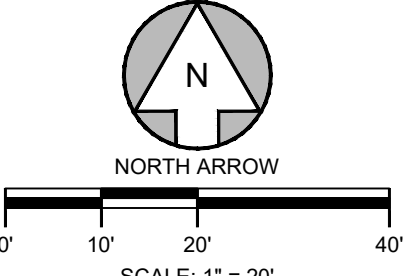


5/6/2024

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SCALE & NORTH ARROW:

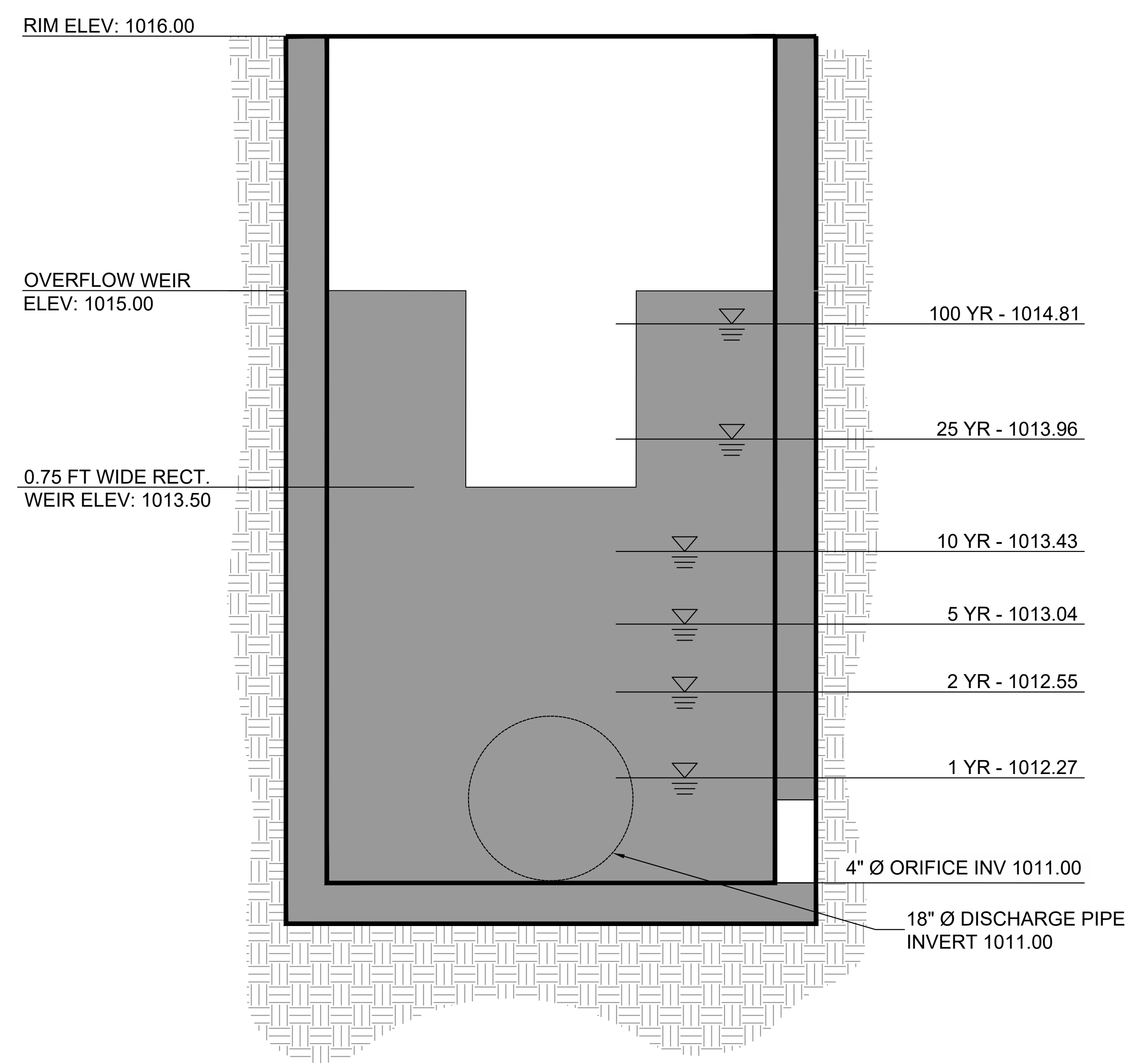


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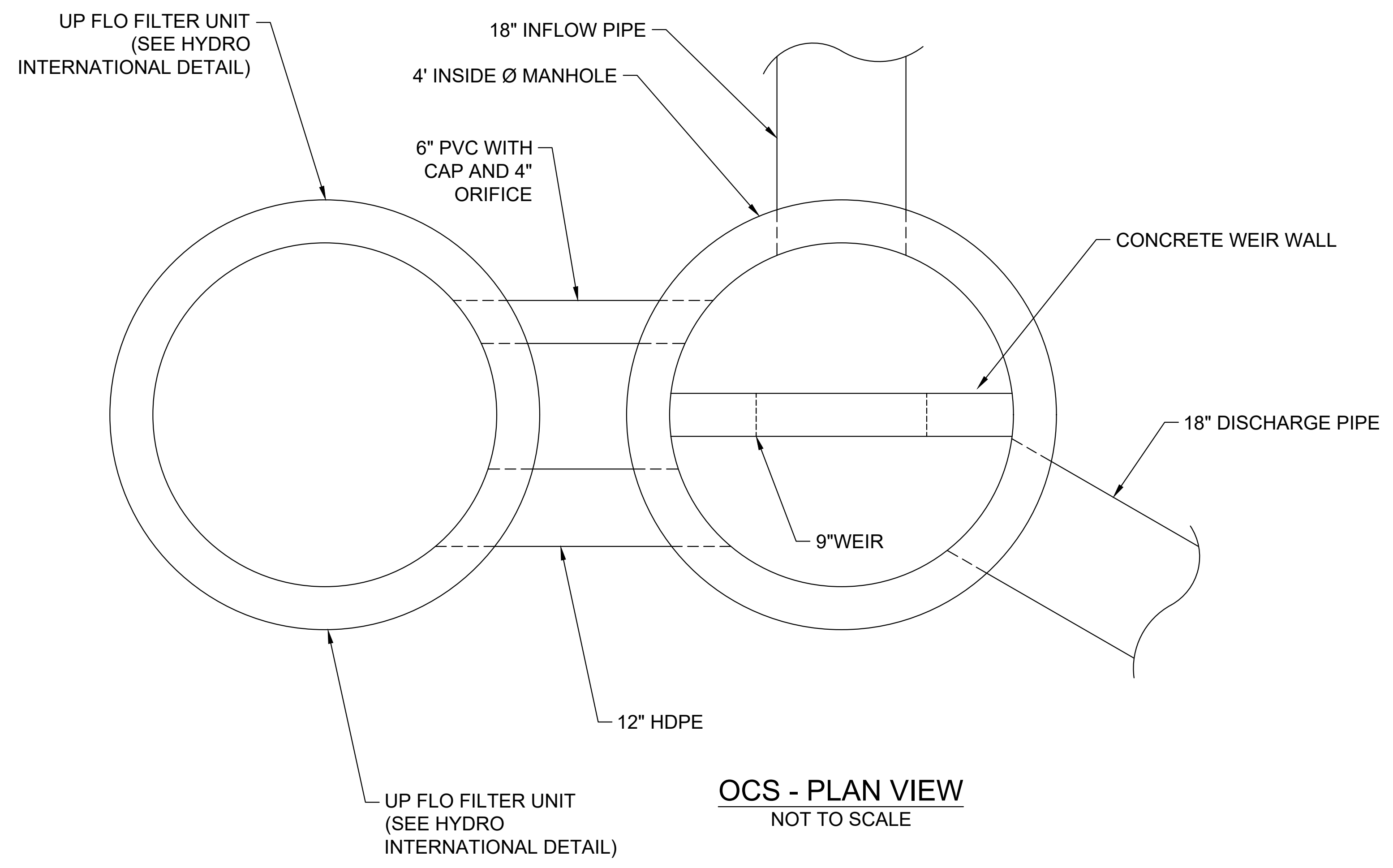
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DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

OCS DIAGRAM & WQ DETAIL

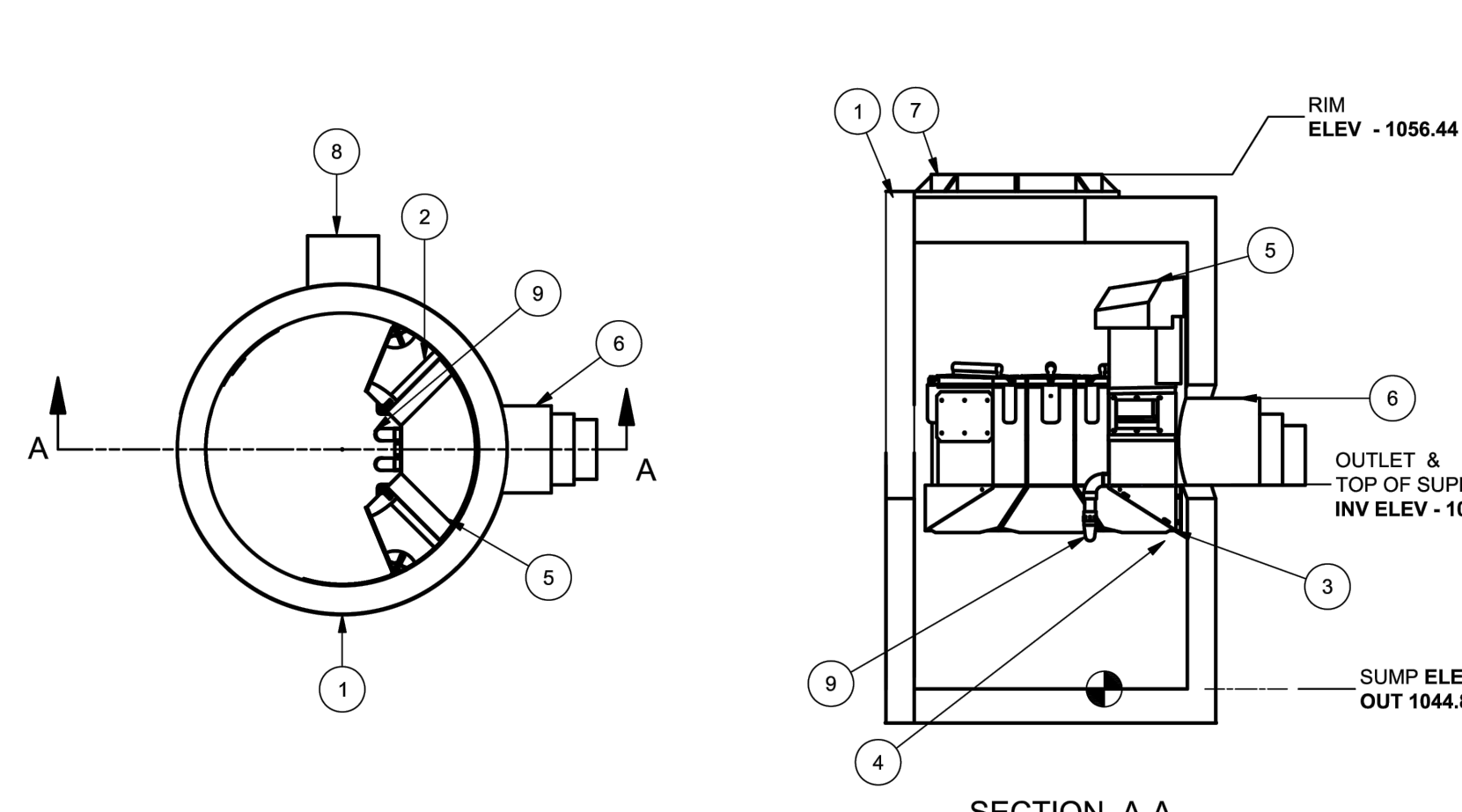
C-4.2



OCS - SECTION VIEW
 NOT TO SCALE



OCS - PLAN VIEW
 NOT TO SCALE



NOTES:

REV	BY	DATE	DESCRIPTION
1	RC	02/03/09	FIRST ISSUE


DATE: 5/6/24 SCALE: 3" = 1'0"

DRAWN: TMK CHECKED: APPROVED:

TITLE: 4-FT DIAMETER UP-FLO FILTER® 2 MODULE

STR. UFF
 C-STORE - FLINT RIVER RD

ITEM	QTY	SIZE	DESCRIPTION
1	1	48 in	CONCRETE MANHOLE
2	4		FILTER MODULE (GPZ MEDIA)
3	1		SUPPORT
4	1		ANGLED SCREEN
5	1		SIPHONIC BYPASS AND FLOATABLES BAFFLE
6	1	12 in	OUTLET MODULE AND PIPE STUB
7	1	30 in	FRAME AND COVER
8	1	6 in	INLET PIPE (PVC)
9	2		DRAINDOWN FILTER



PH: 770-868-5599

Hydro International stormwater

94 Hutchins Drive
 Portland, Maine 04102
 Tel: (207) 756-6200
 Fax: (207) 756-6212
 Email: stormwaterinquiry@hi-tech.com

CAD Ref.: GA2-6M
 Project No.:
 Drawing No.: GA2-6M



REVISIONS:

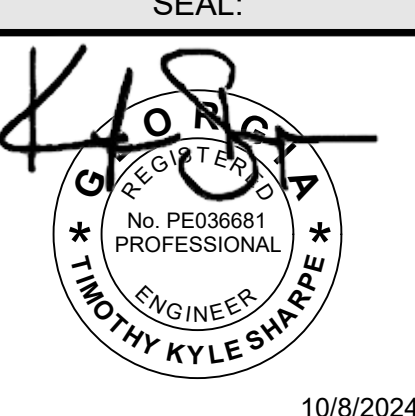
Table with columns for REV #, DATE, CHECKED BY, and DRAWN BY. Includes revision notes for slip comments and client comments.

CLIENT

GPD GROUP
1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215
PROJECT
STARBUCKS - PERIMETER SQUARE
140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18.349.04.001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

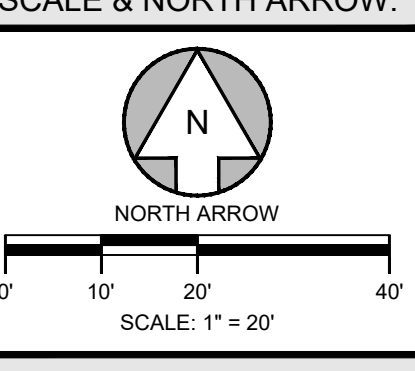


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SCALE & NORTH ARROW:



DESIGN INFO:

Table with columns for DRAWN BY, DESIGNED BY, REVIEWED BY, JOB #, and DATE.

UTILITY PLAN

C-5.0

GENERAL UTILITY NOTES table with 5 numbered items regarding utility notifications, easements, and depths.

KEY NOTES table with 19 numbered items detailing utility specifications and construction requirements.

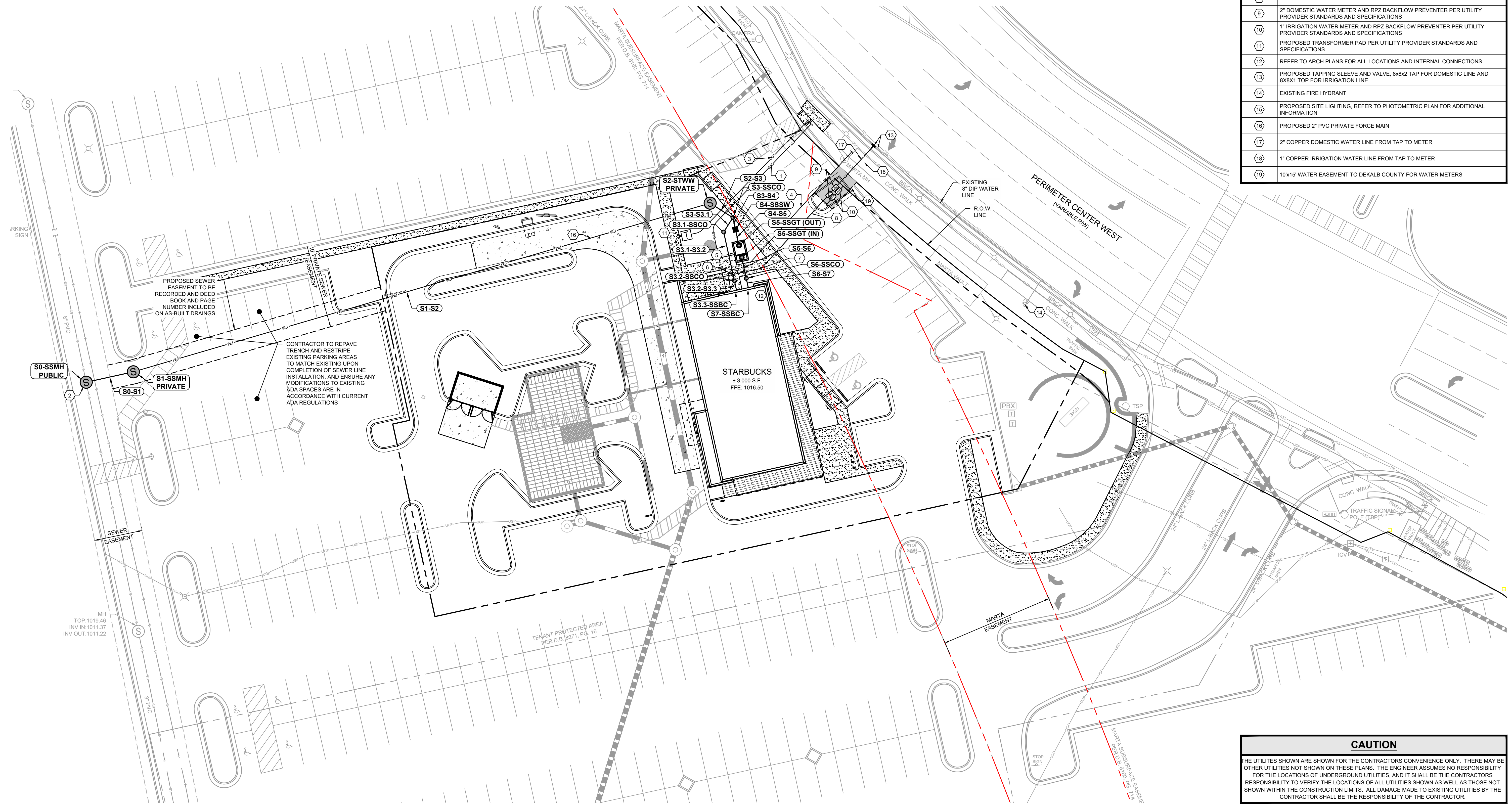
CAUTION
THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

STRUCTURE TYPES table with columns for structure type and material. Includes SSMH, SSMH, and SSSC with their respective materials.

MARTA EASEMENT NOTE
CONTRACTOR TO TAKE NOTE OF EXISTING MARTA UNDERGROUND TUNNEL EASEMENT. LIMITS OF SAID EASEMENT SHALL BE MARKED AT ALL TIMES IN THE FIELD DURING CONSTRUCTION AND ANY WORK DONE WITHIN THE LIMITS OF SAID EASEMENT SHALL BE DONE WITH CAUTION AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

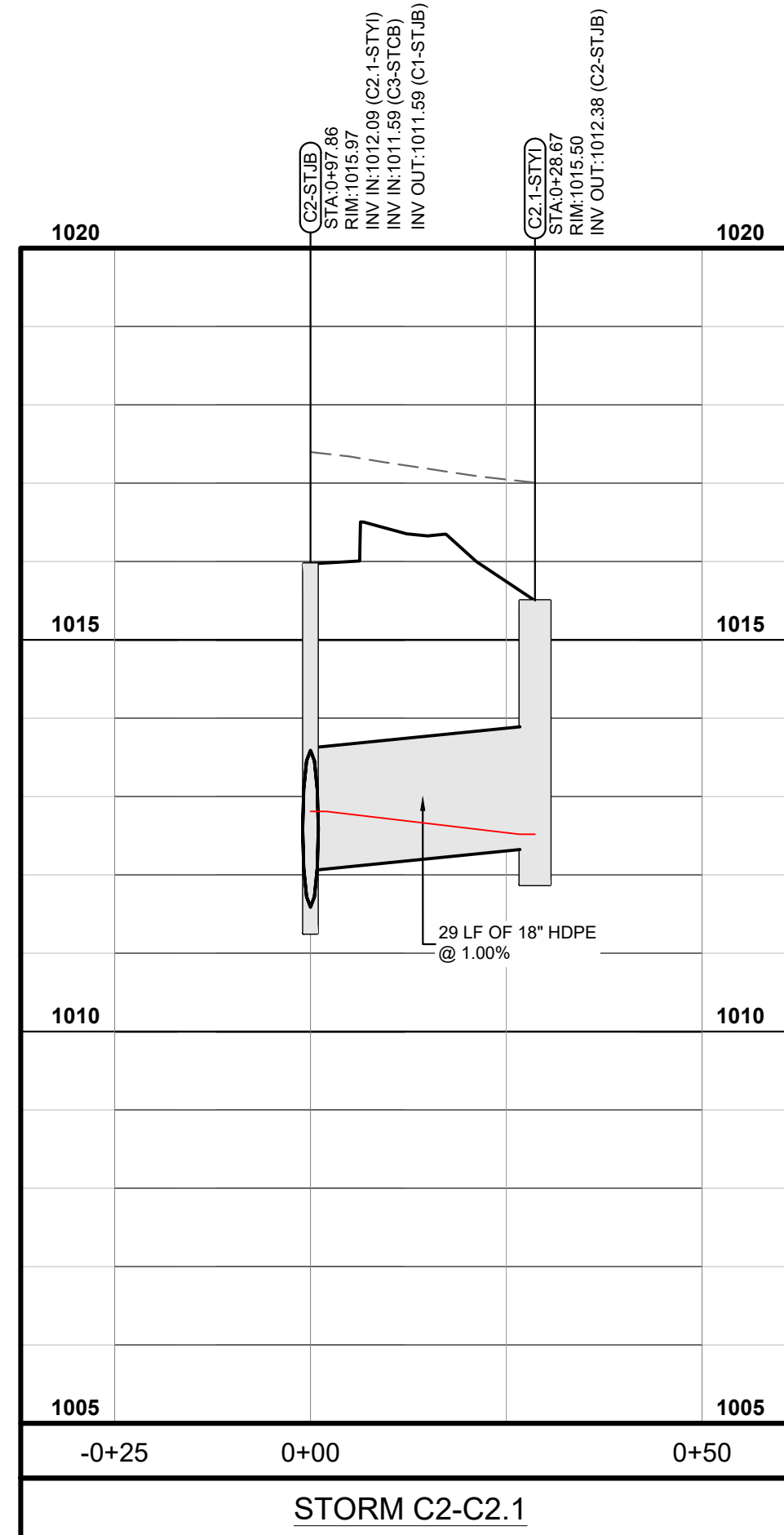
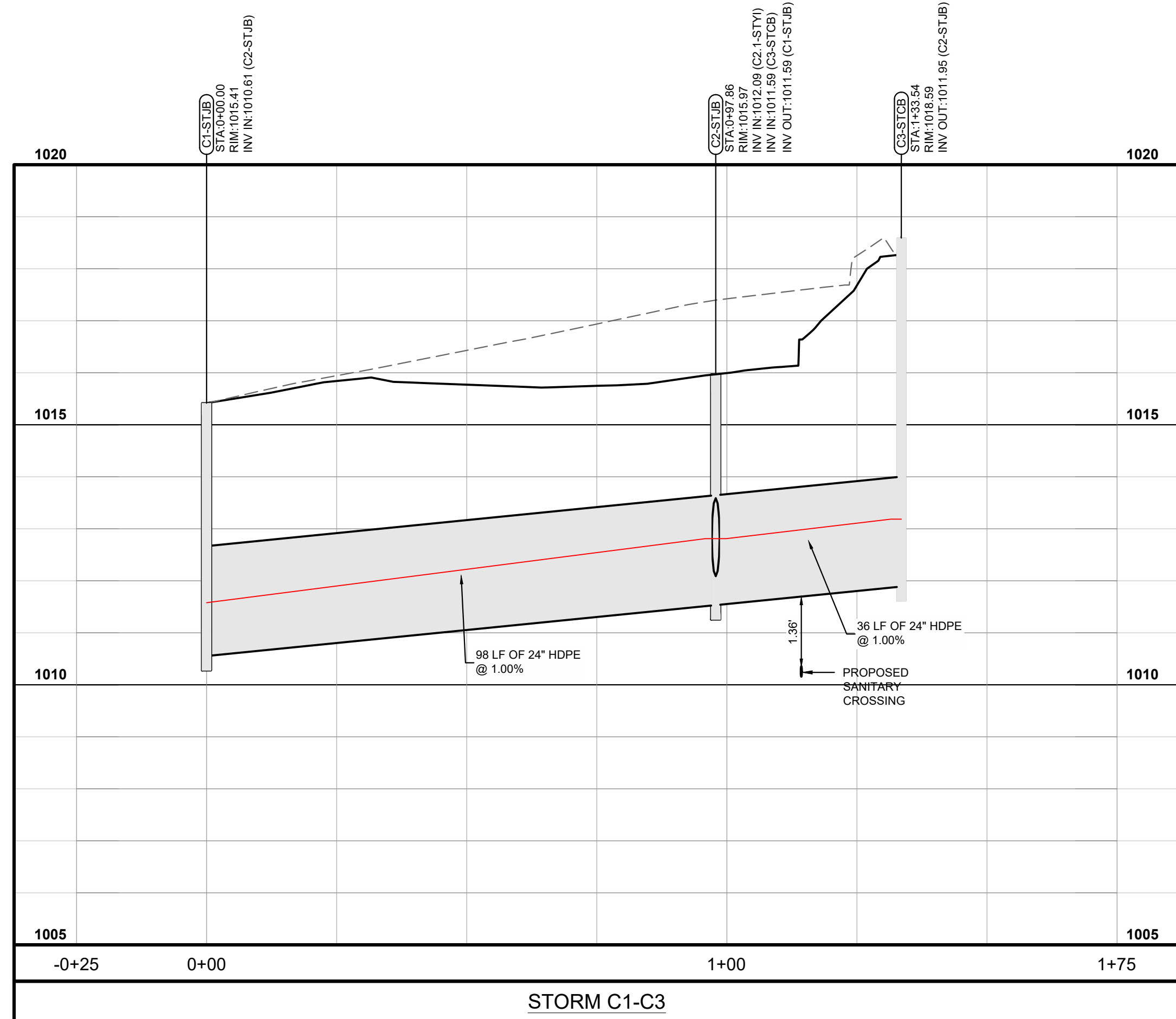
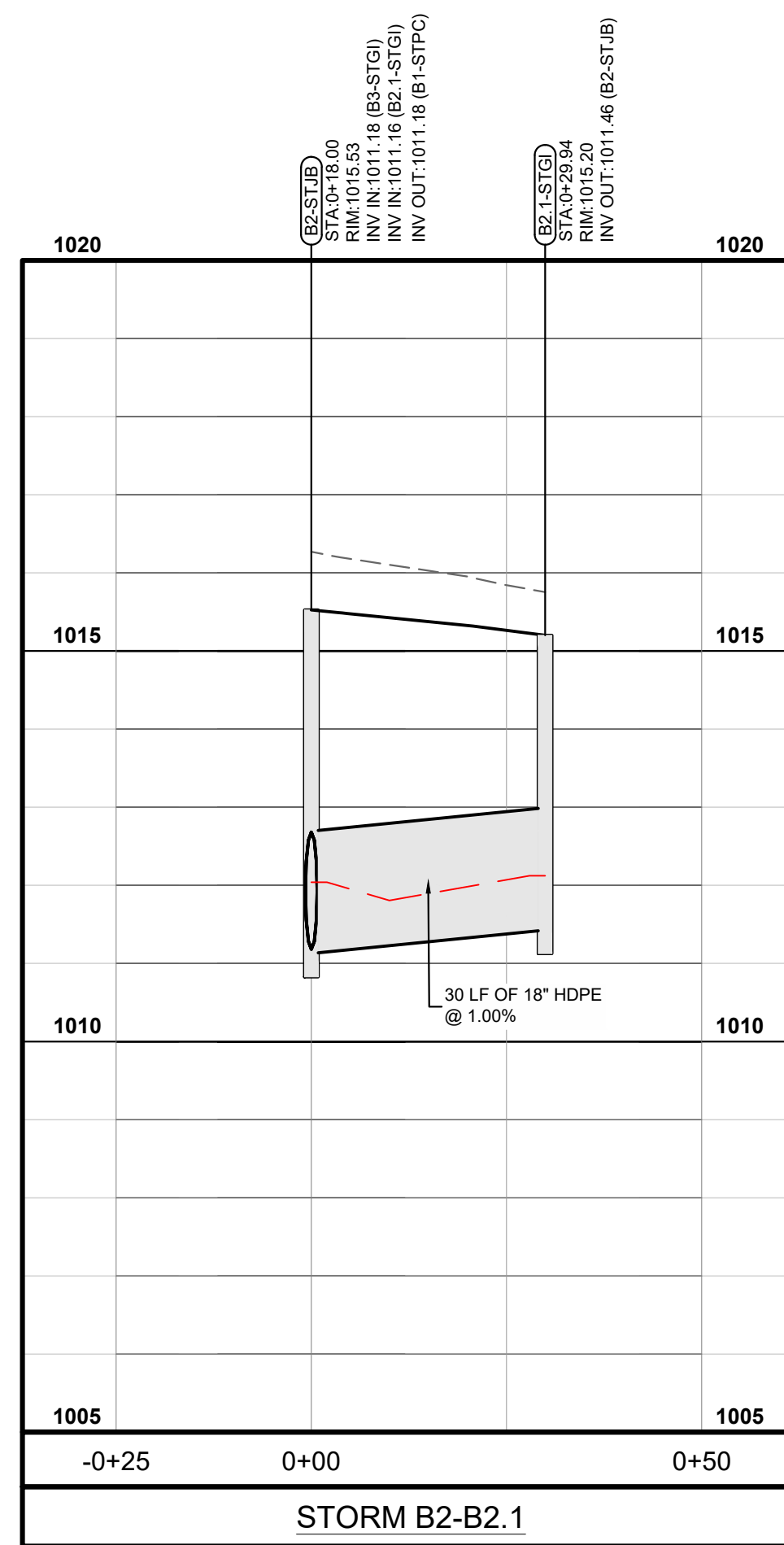
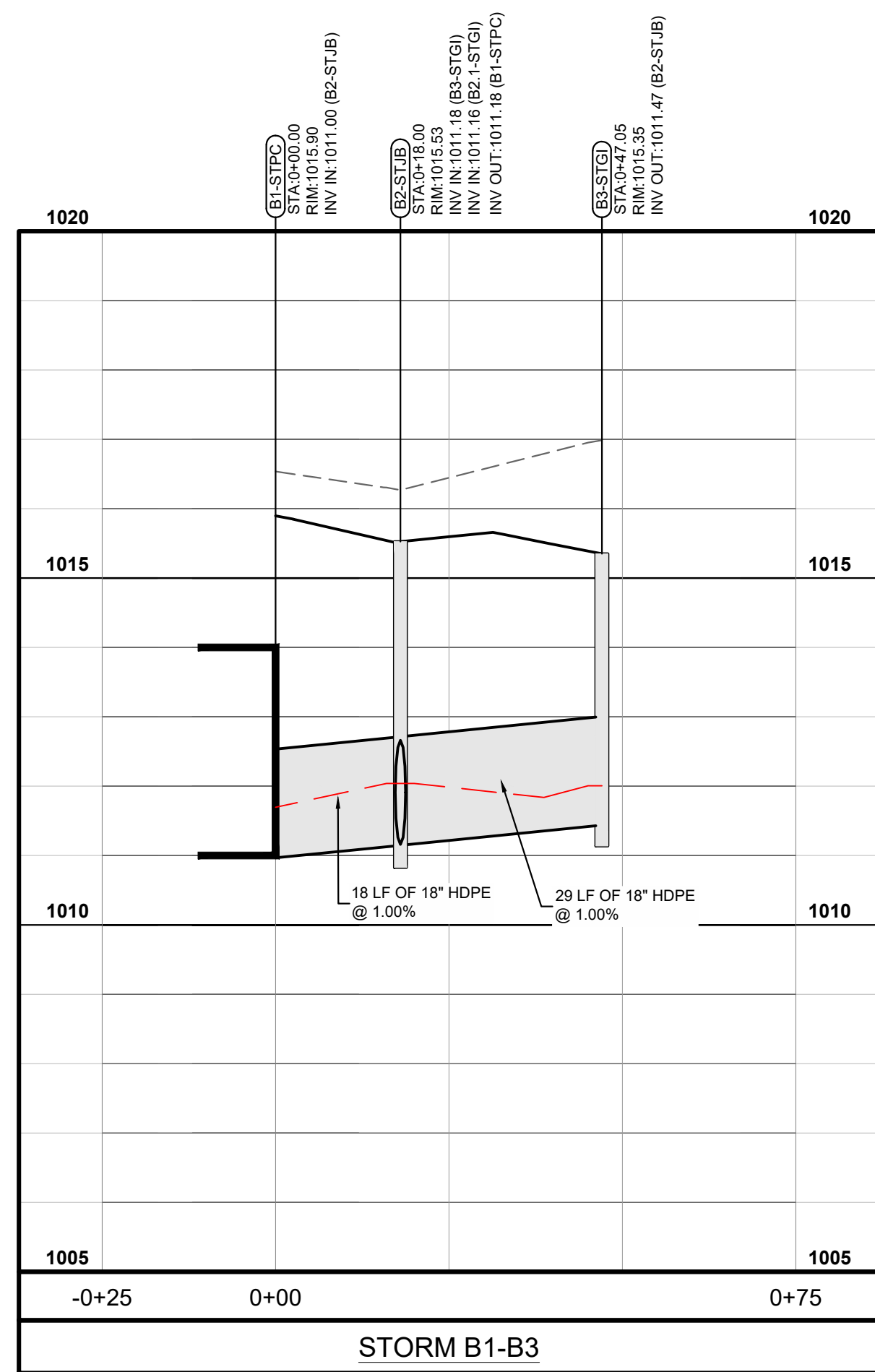
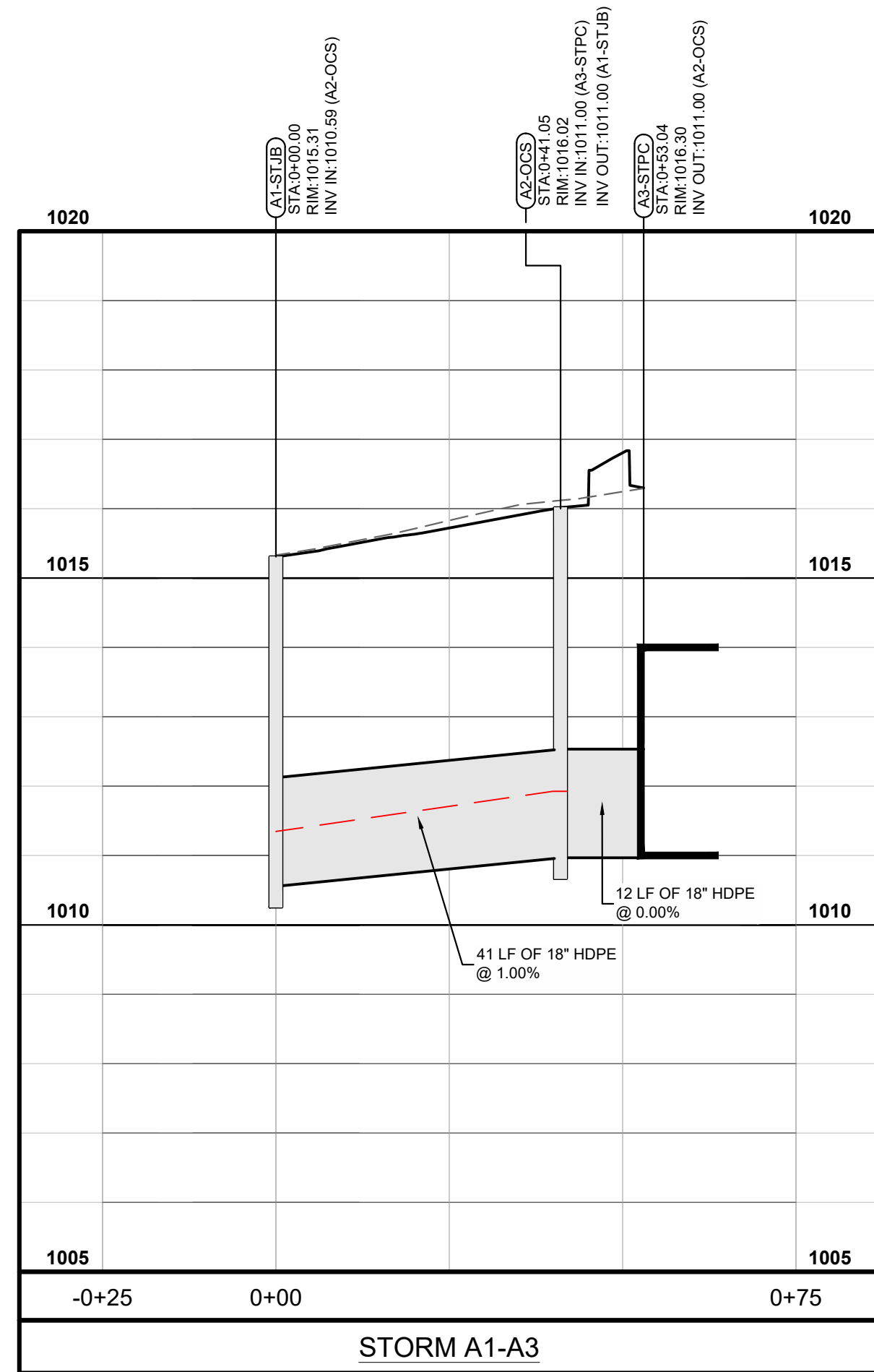
SANITARY PIPES table with columns for NAME, SIZE, LENGTH, SLOPE, INV UP, INV DOWN, and MATERIAL. Lists various pipe segments like S0-S1, S1-S2, etc.

SANITARY STRUCTURES table with columns for NAME, TYPE, STATION, RIM, INV IN (PIPE), and INV OUT (PIPE). Lists structures like S0-SSMH, S1-SSMH, S2-STWW, etc.



Drawing name: C:\Users\mbohnaker\Gaskins+LeCraw\Dropbox\Share\Engineering\011148 - 08 - UTILITY.dwg UTILITY PLAN Oct 08, 2024 3:02pm by: mbohnaker

Drawing name: C:\Users\mboothaker\Gaskins+LeCraw\Dropbox\Share\Folders\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GA\CADD\CONSTR\011148 - 09 - PROFILES.dwg STORM PROFILES - Mar 27, 2024 3:02pm by mboothaker



STRUCTURE TYPES			
STY1:	GDOT STD 9031-S	STPC:	POND CONNECTION
STG1:	GDOT STD 1019A TYPE E	STJB:	GDOT STD 1011A
STOCS:	SEE DETAILS SHEET C-4.2		

PROFILE LEGEND	
EXISTING GRADE:	-----
PROPOSED GRADE:	_____
100 YR. HGL:	-----

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW

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3475 CORPORATE WAY
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DULUTH, GA 30096
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www.gaskinsleccraw.com
PEF008127

REVISIONS:

REV.#	DATE	BY	CHECKED	COMMENTS
1	03/27/24	TKS		CITY, COUNTY AND CLIENT COMMENTS

CLIENT
GPD GROUP
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LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

3/27/2024

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SCALE & NORTH ARROW:

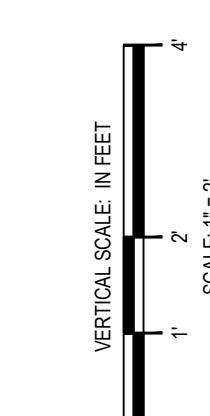
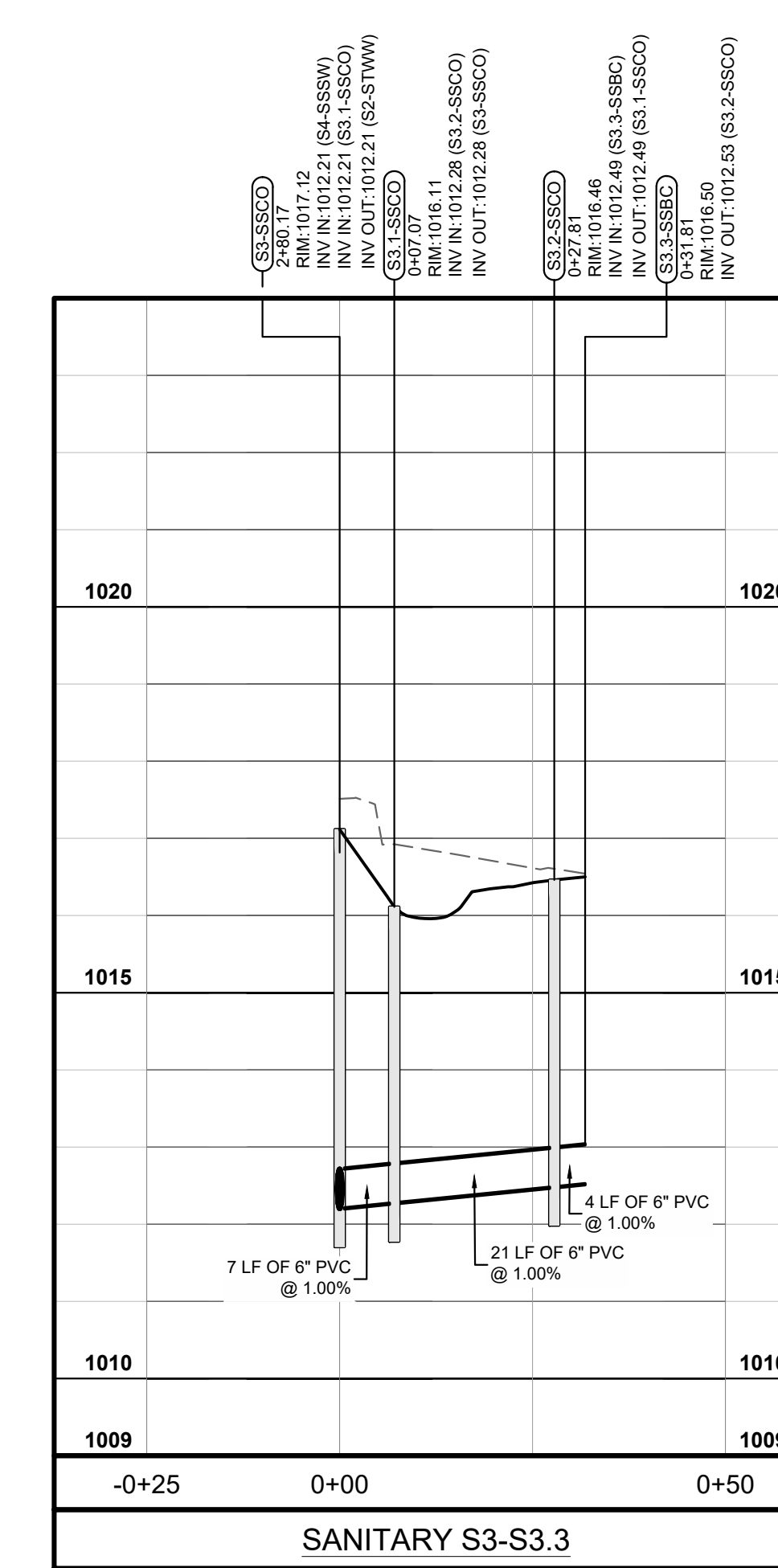
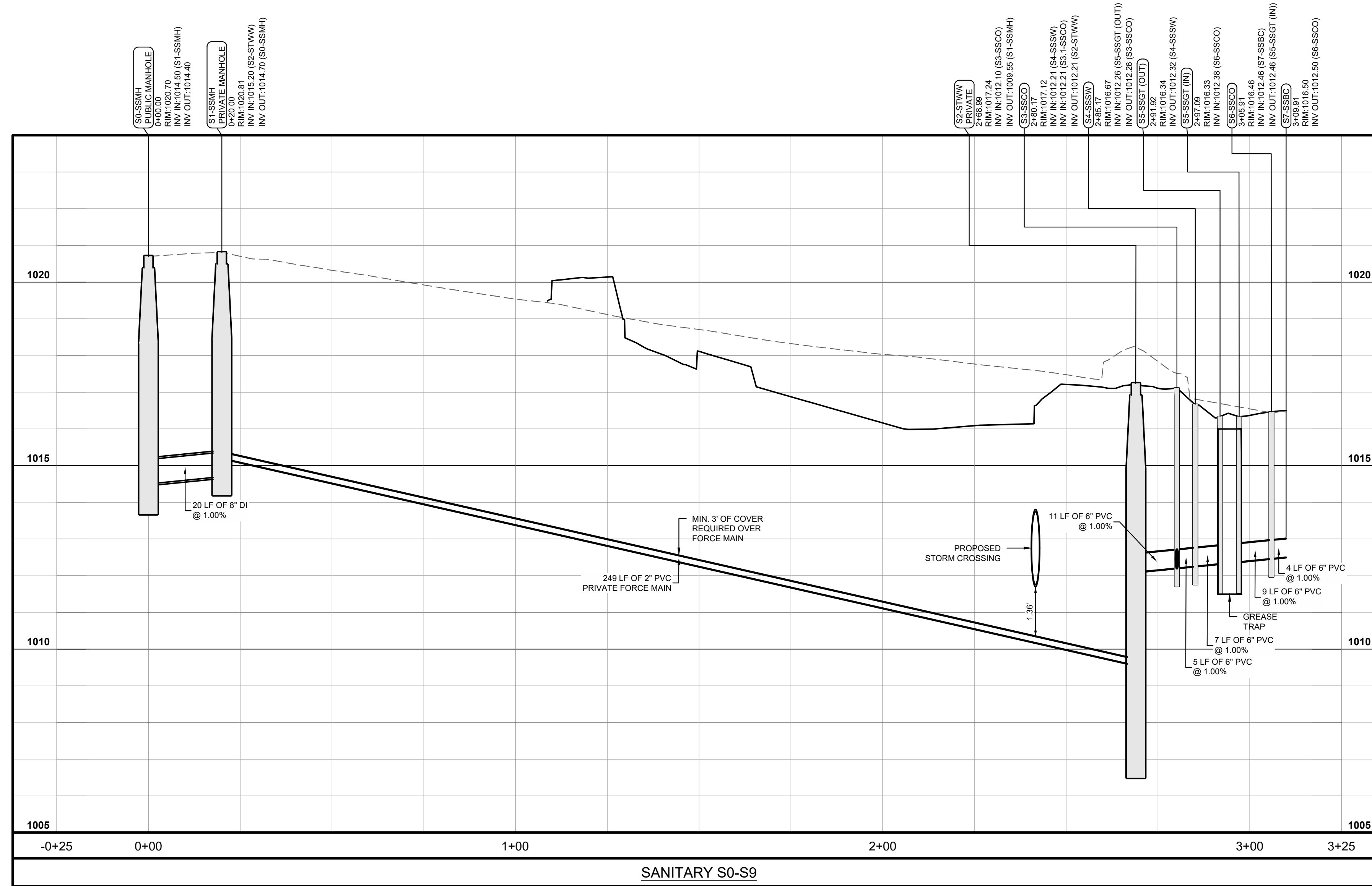
NORTH ARROW
SCALE: 1" = 20'

DESIGN INFO:

DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

STORM PROFILES
C-6.0

VERTICAL SCALE: IN FEET
SCALE: 1" = 2'



REVISIONS:

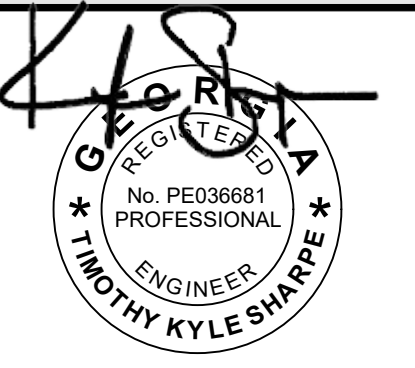
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1	03/27/24	MAT	TKS	CITY, COUNTY AND CLIENT COMMENTS
2	04/09/24	MAT	TKS	CITY, COUNTY AND CLIENT COMMENTS
3	04/23/24	MAT	TKS	CITY, COUNTY AND CLIENT COMMENTS

CLIENT: **GPD GROUP**
 1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

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 LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
 DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:




4/23/2024

CALL BEFORE YOU DIG

811
 Know what's below.
 Call before you dig.

SCALE & NORTH ARROW:



NORTH ARROW
 DETAILS ARE NOT
 DRAWN TO SCALE

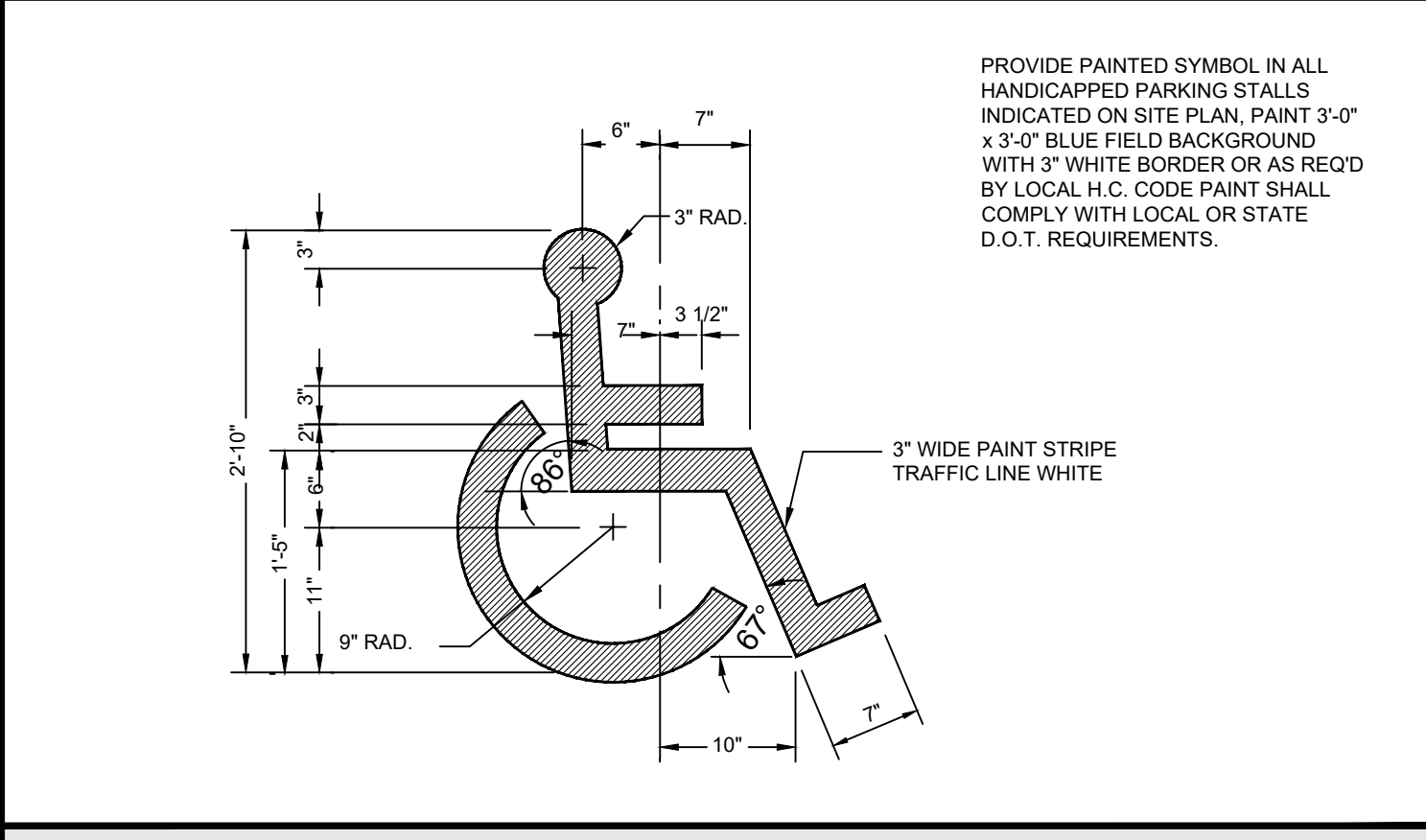
DESIGN INFO:

DRAWN BY: MAT
 DESIGNED BY: MAT
 REVIEWED BY: TKS
 JOB #: 011148
 DATE: JANUARY 12, 2024

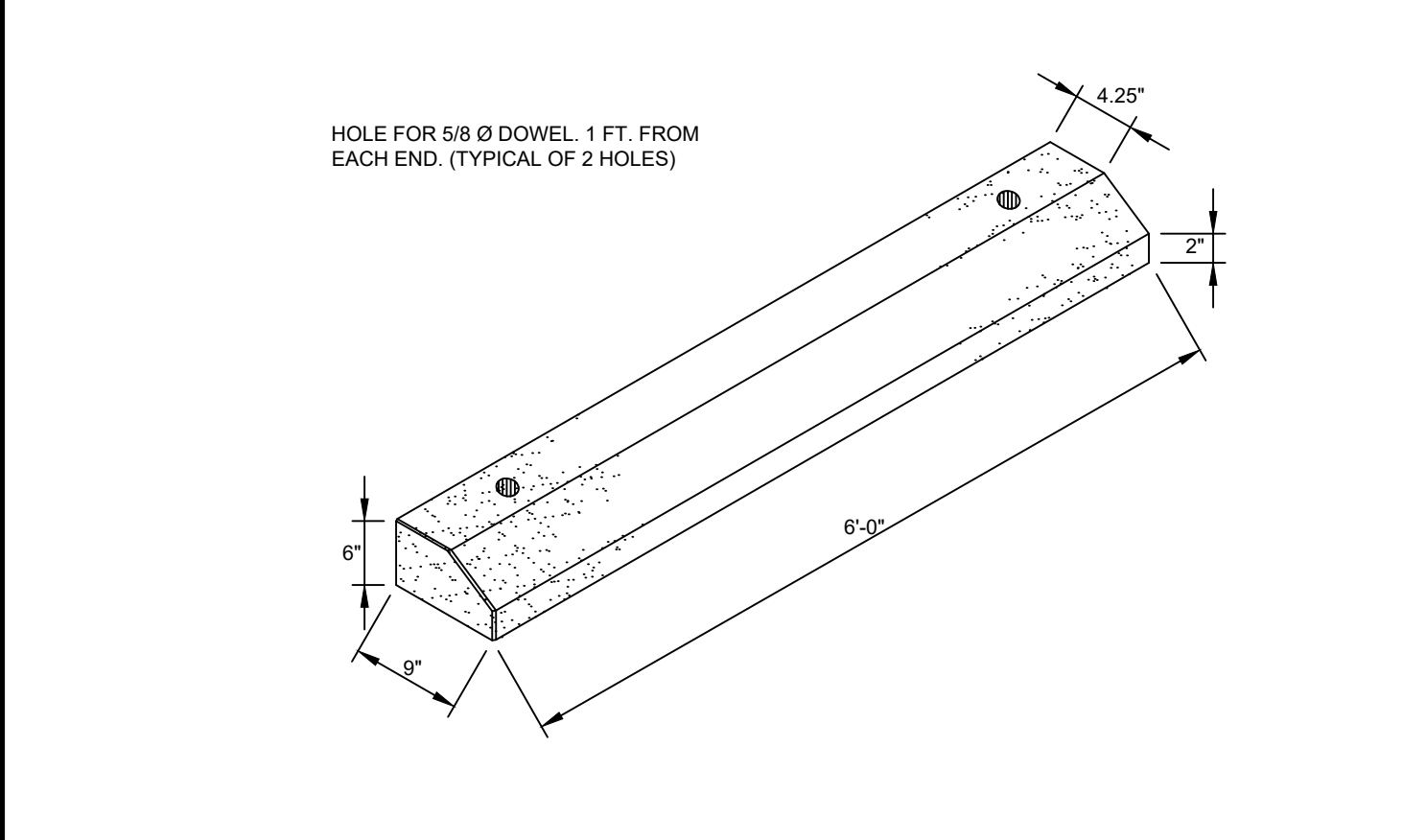
C-7.0
 Packet page:...



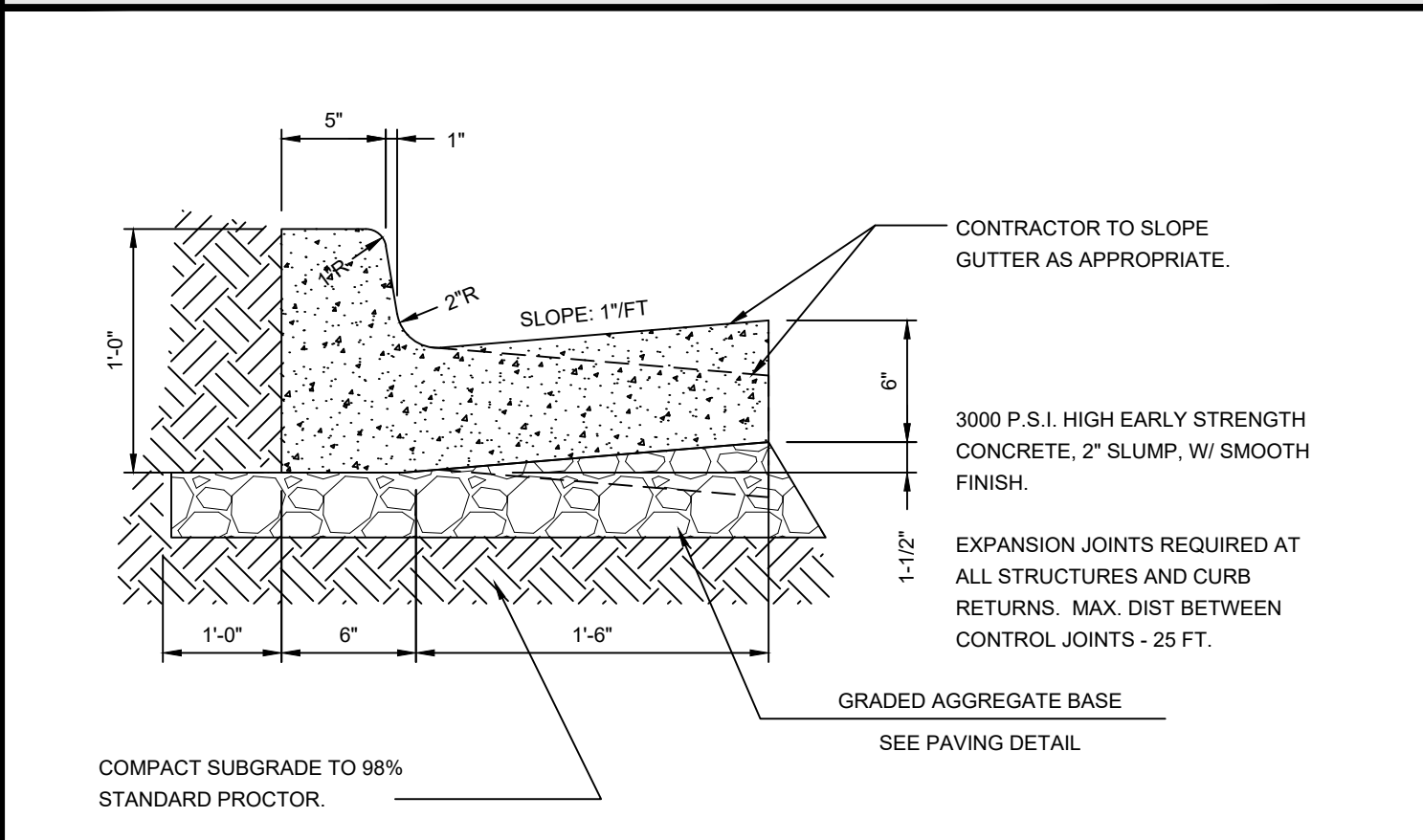
ADA SIGN DETAIL



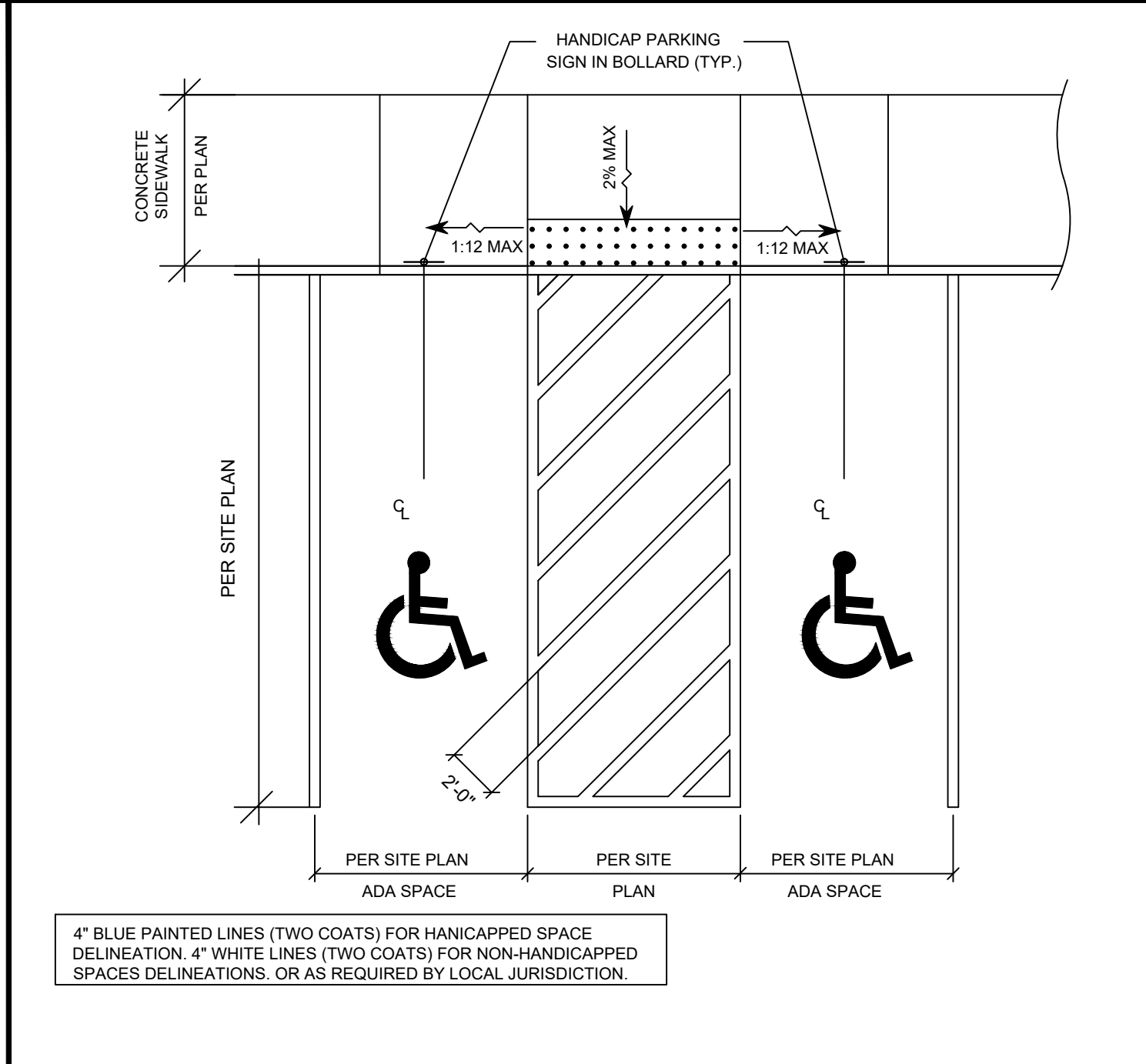
ADA PARKING SYMBOL DETAIL



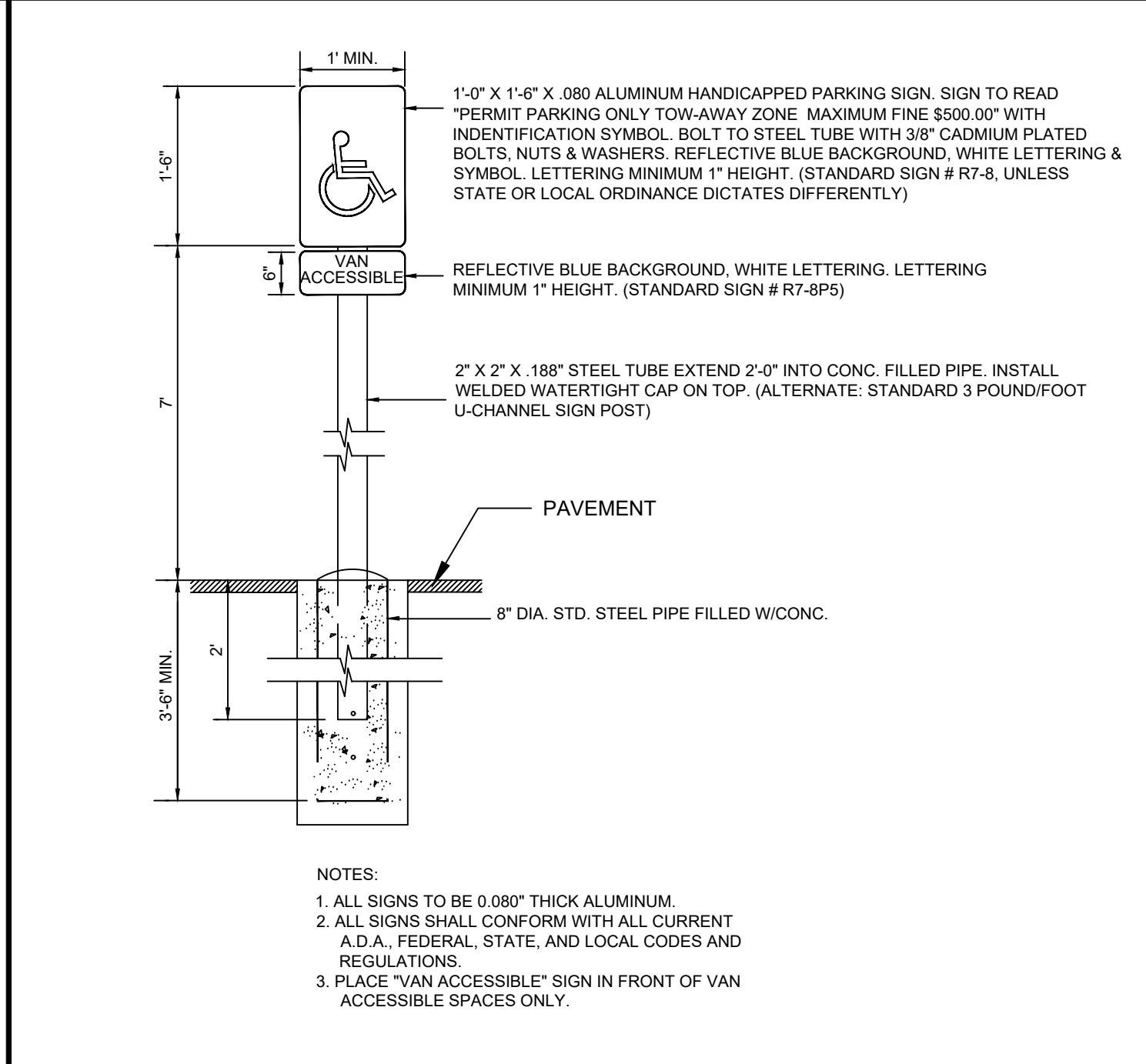
CONCRETE WHEELSTOP DETAIL



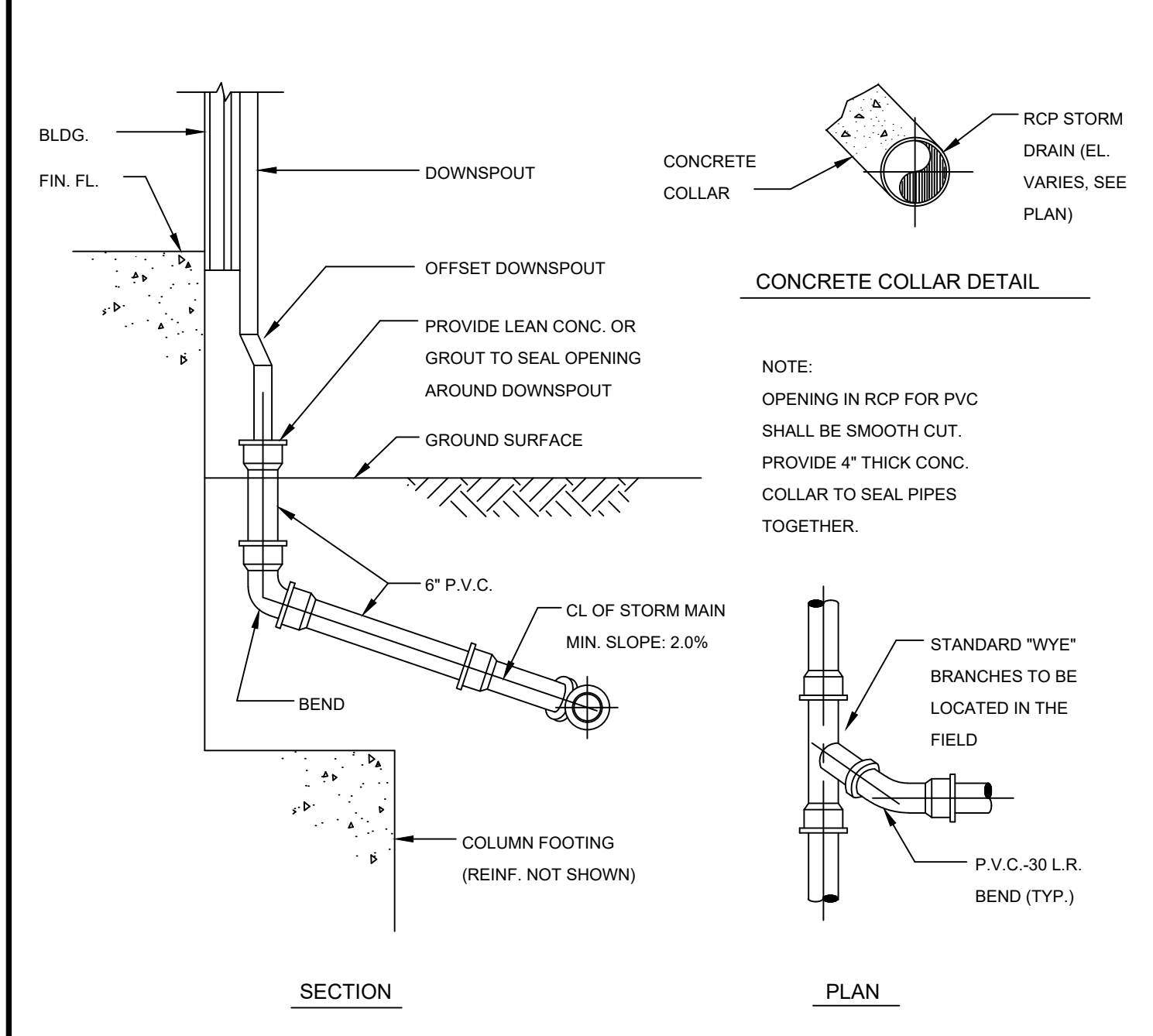
CURB & GUTTER DETAIL



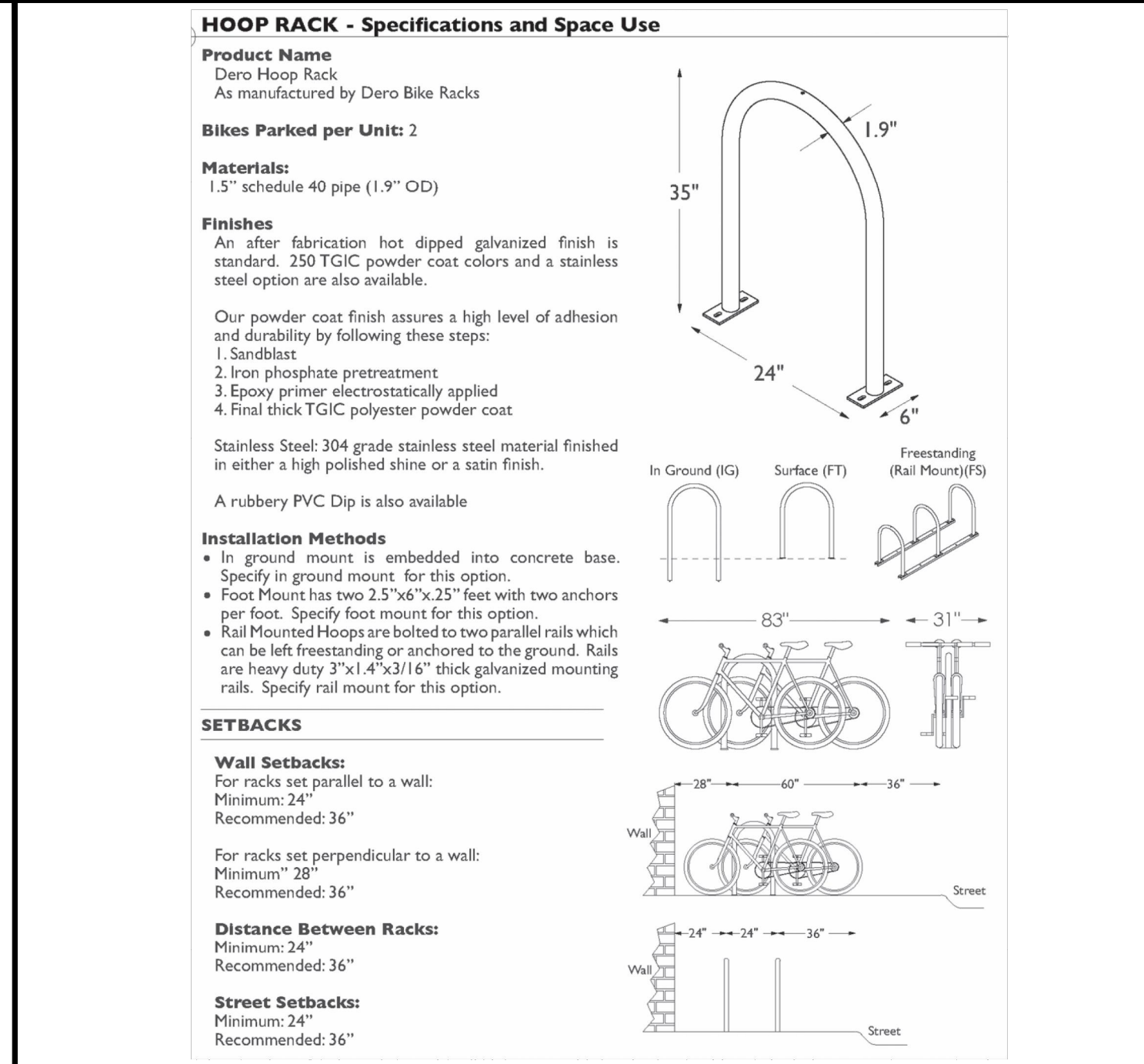
ADA PARKING DETAIL



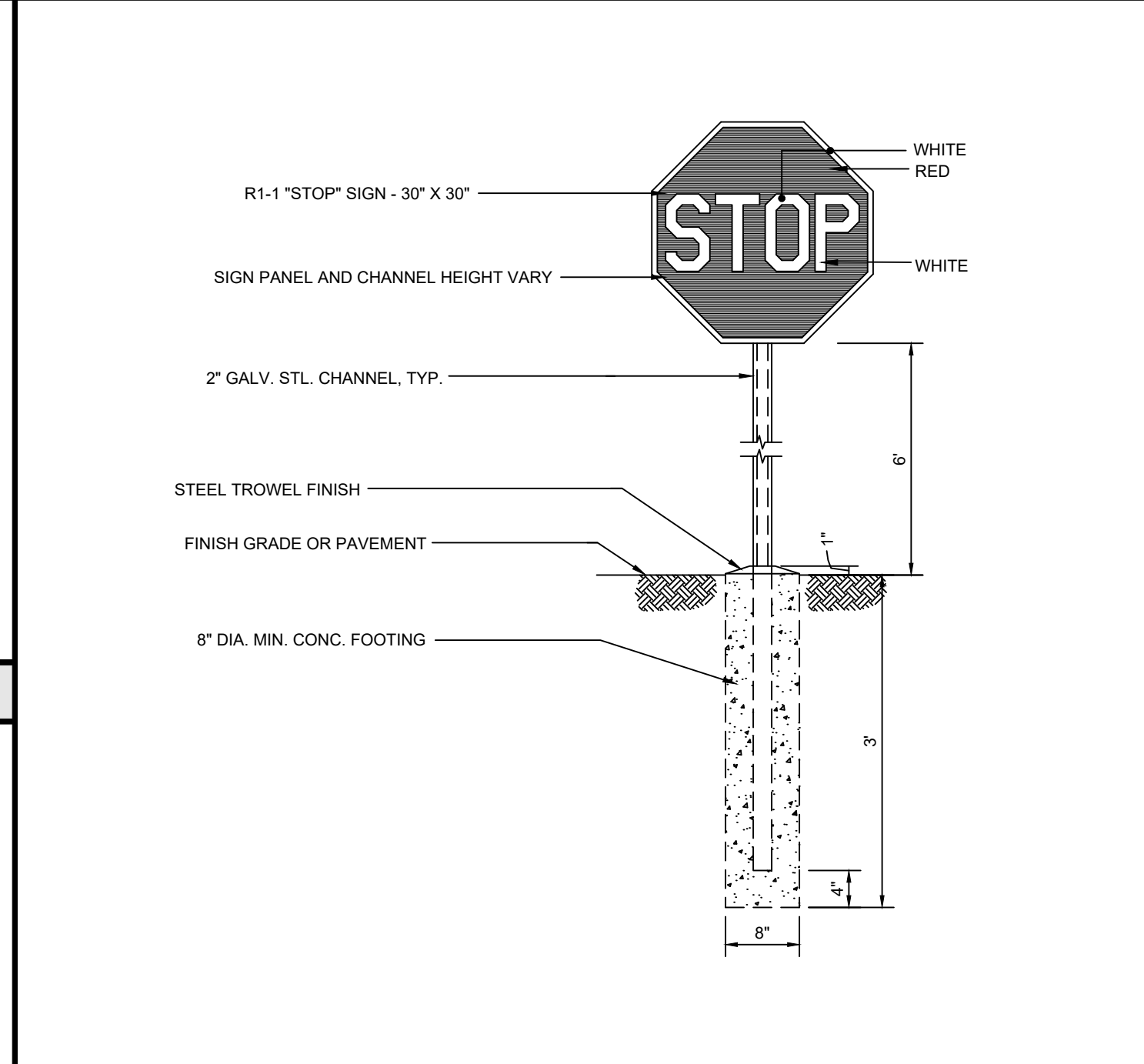
ADA SIGN MOUNTING DETAIL



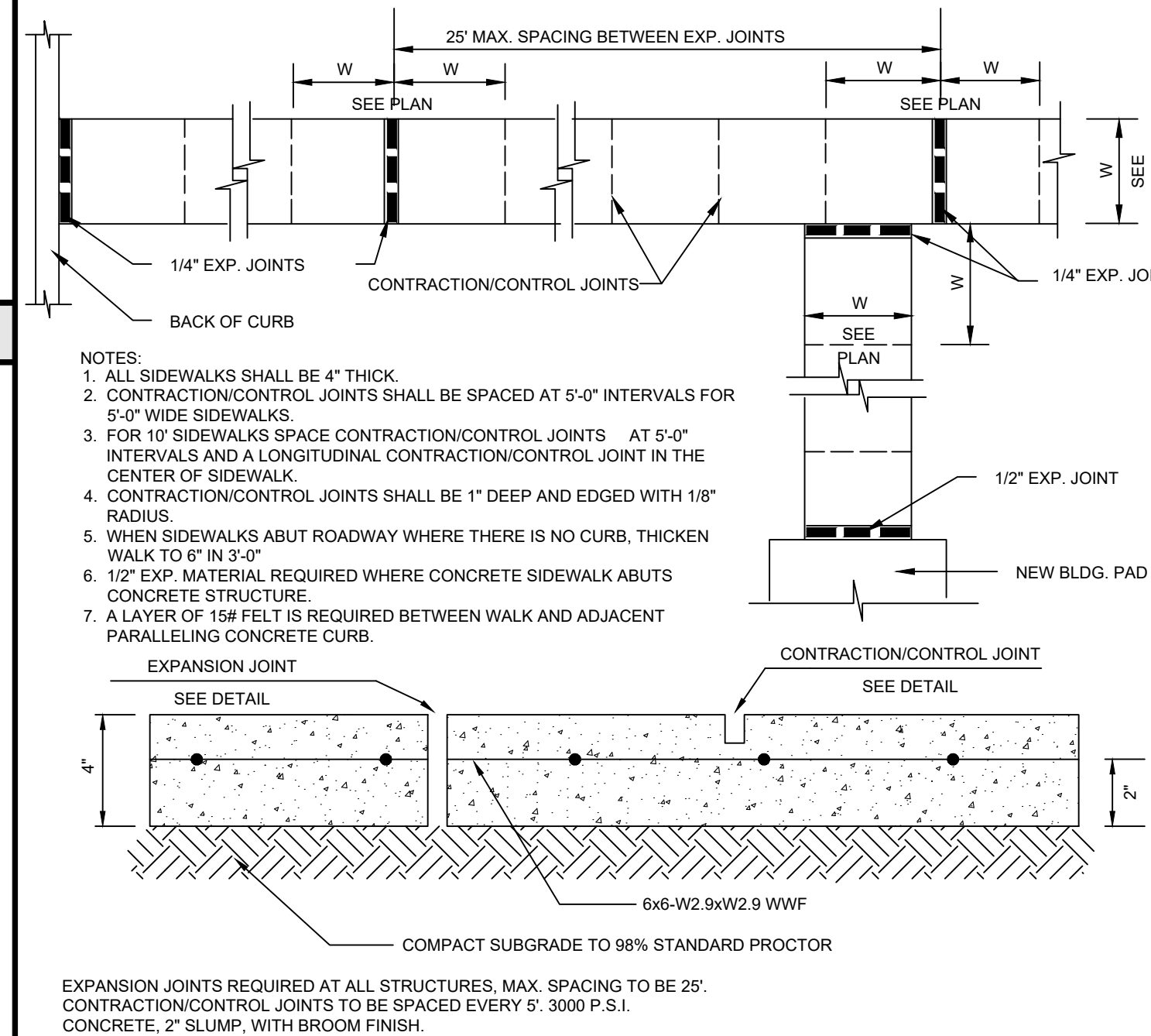
DOWNSPOUT CONNECTION DETAIL



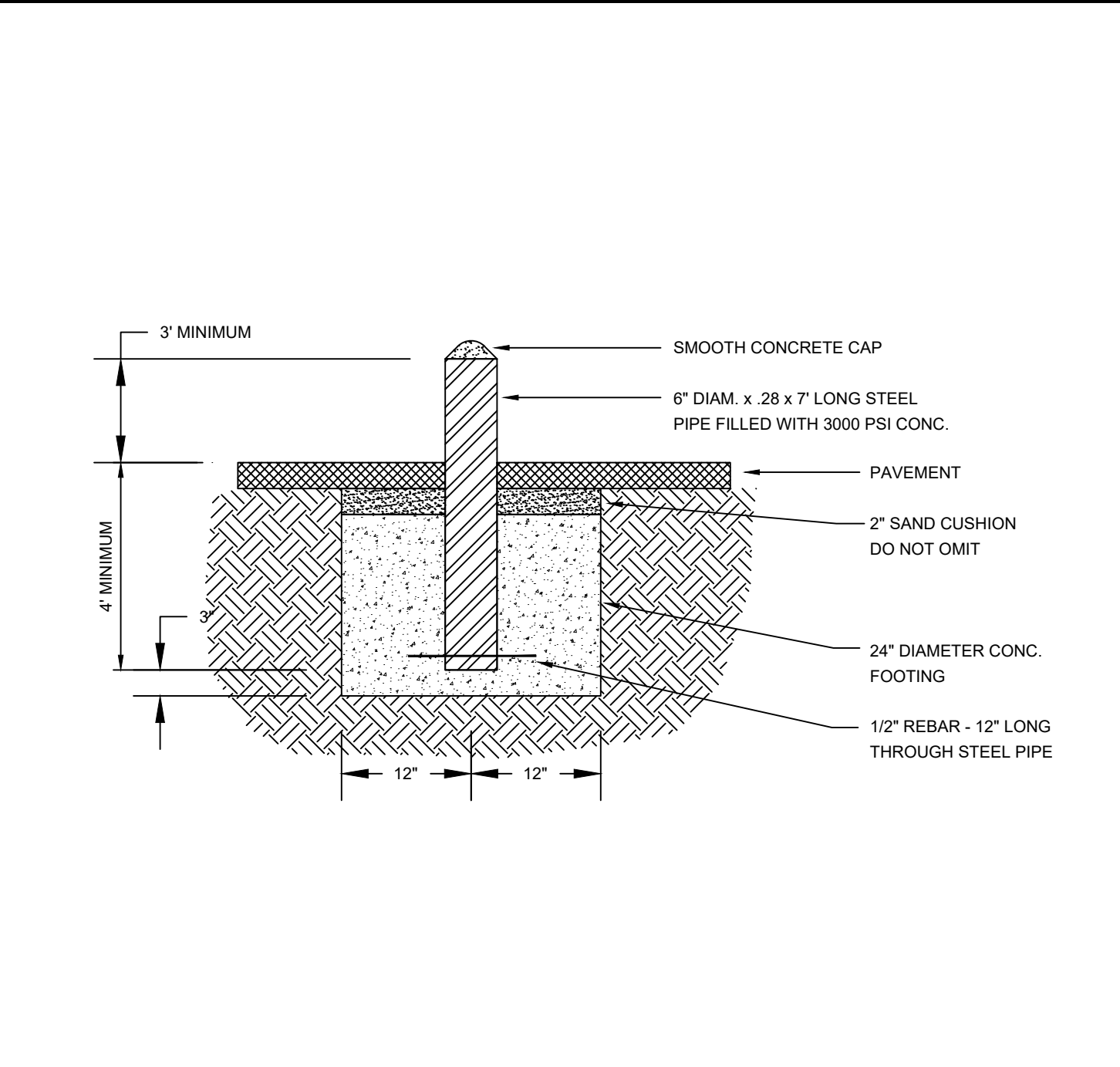
BIKE RACK DETAIL



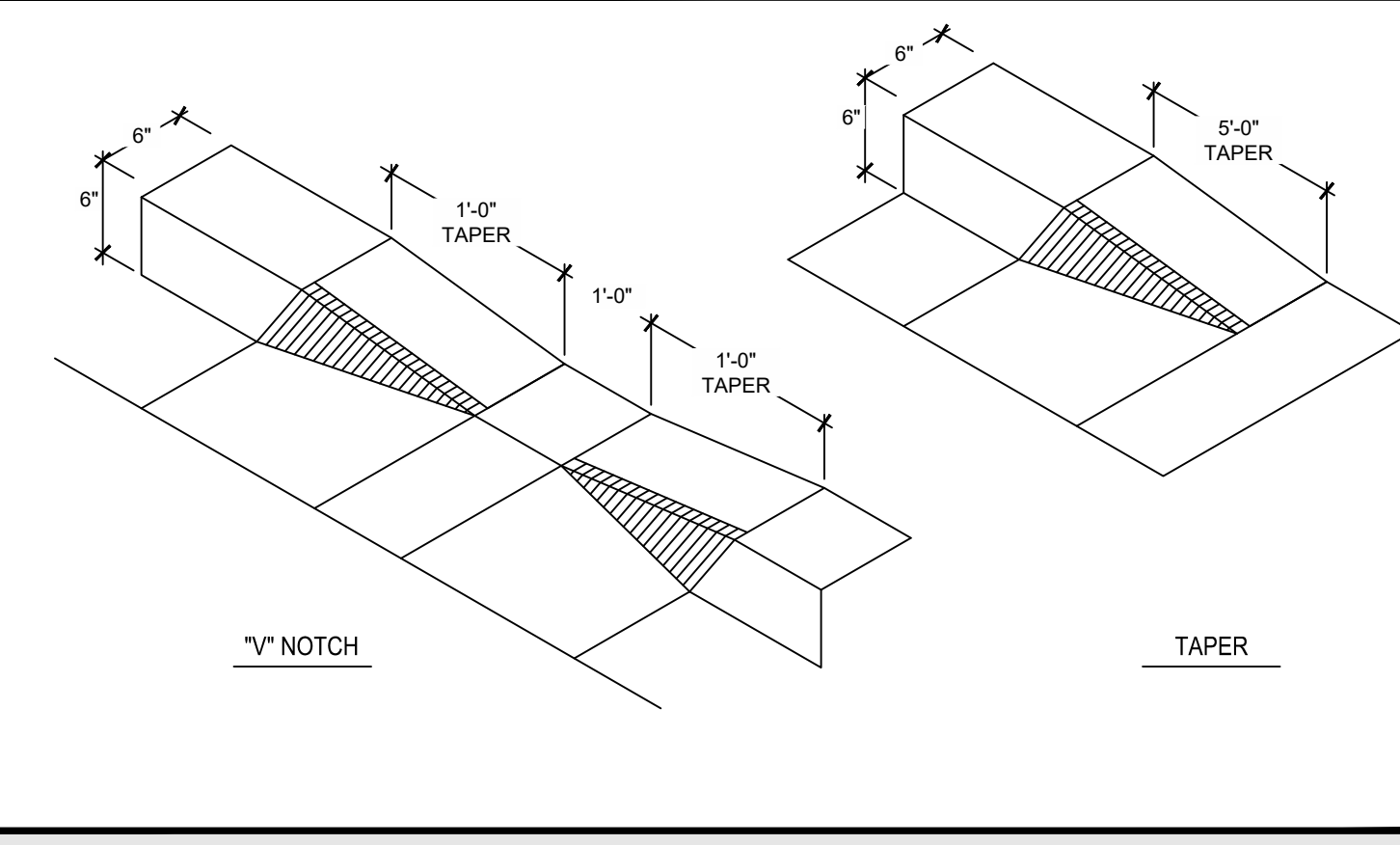
TRAFFIC SIGN MOUNTING DETAIL



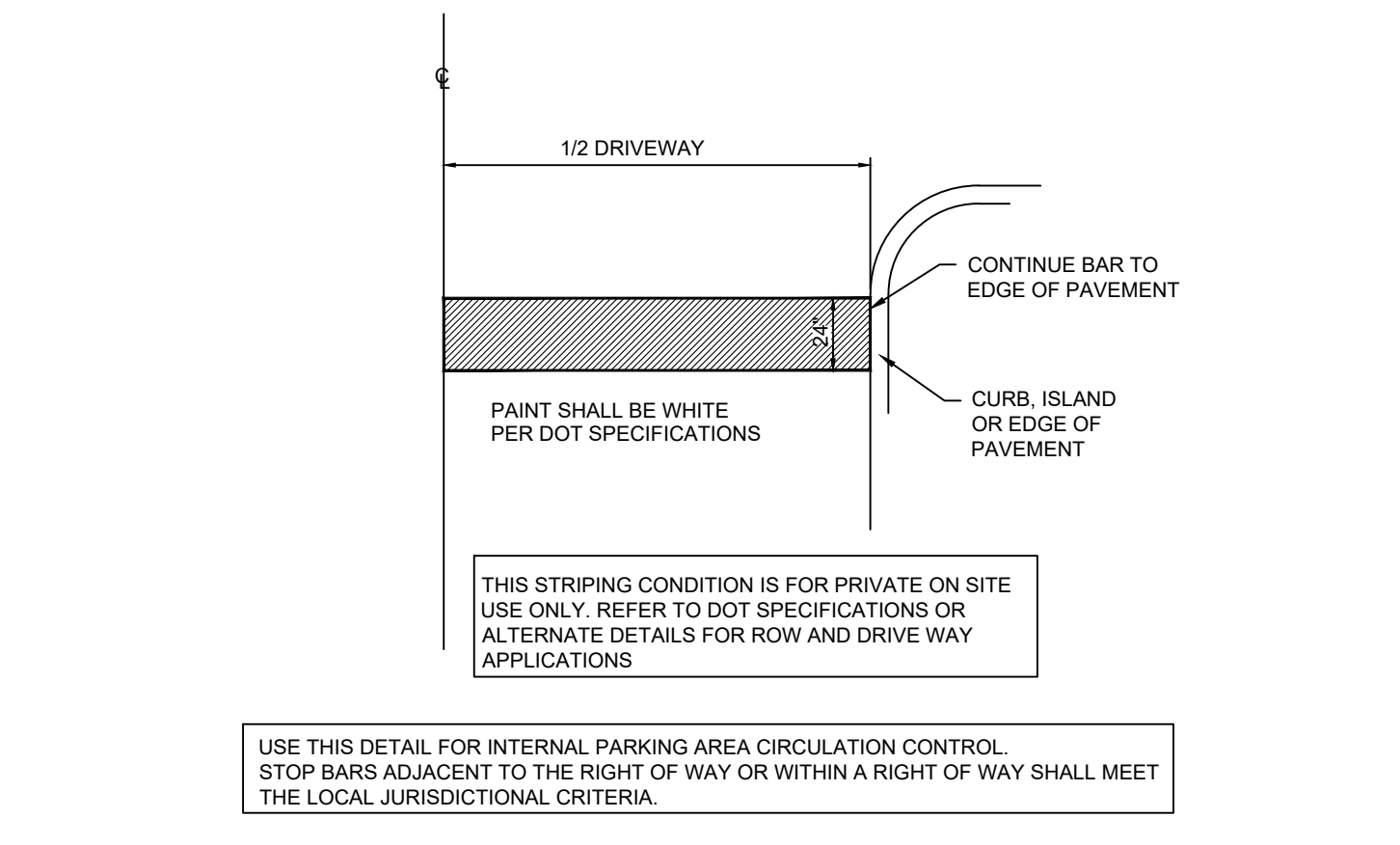
SIDEWALK DETAIL



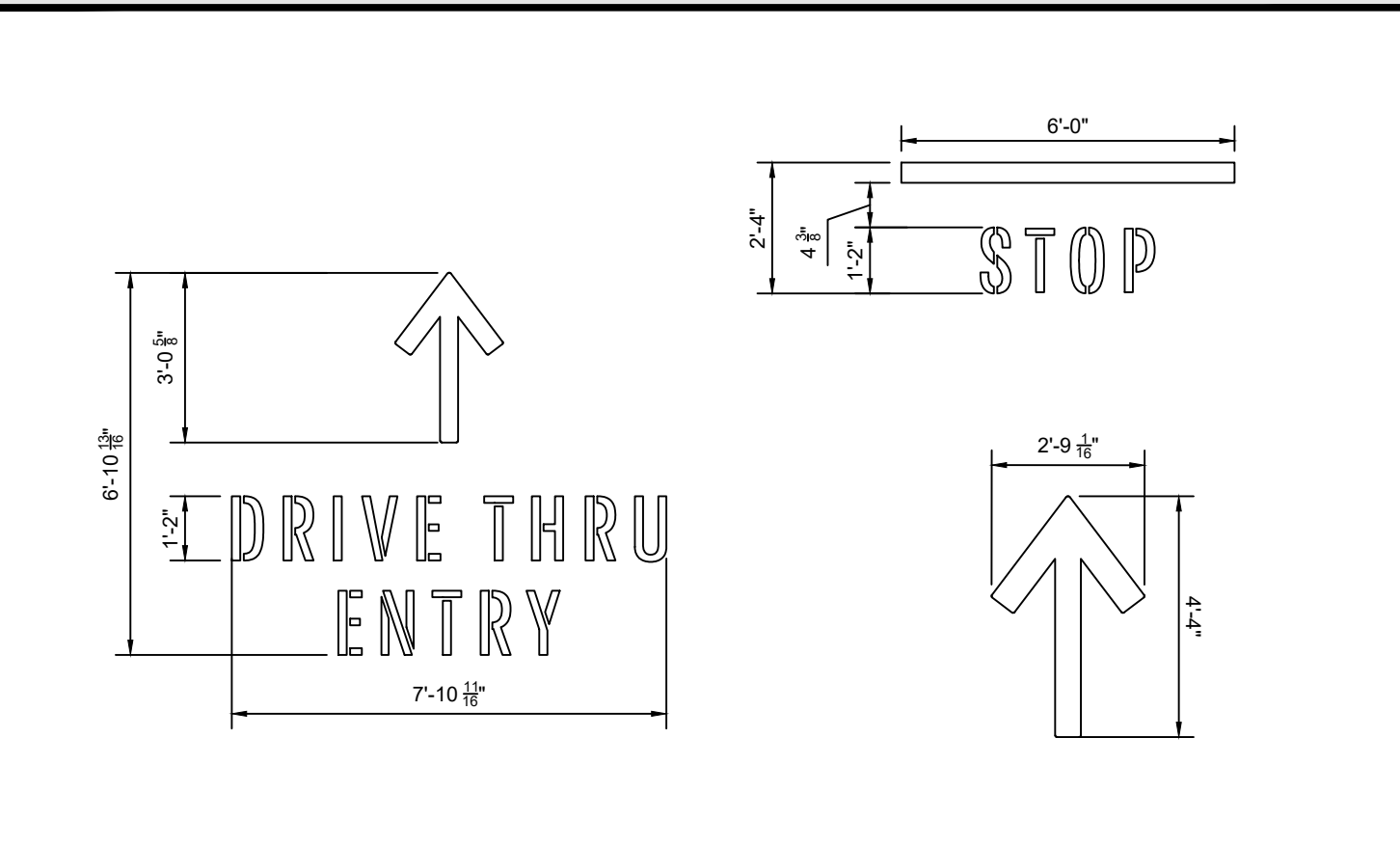
BOLLARD DETAIL



"V" NOTCH / TAPER CURB DETAIL



STOP BAR DETAIL



STARBUCKS MARKING DETAIL

Drawing name: C:\Users\mboobaker\Gaskins+LeCraw\Dropbox\Share\Folders\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GAICADD\CONSTR011148 - 10 - DETAILS.dwg CONSTRUCTION DETAILS - 1 Apr 23, 2024 1:28pm by mboobaker

REVISIONS:

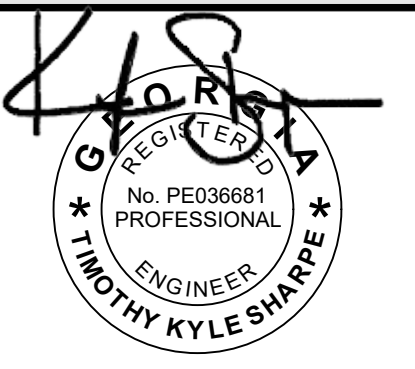
NO.	DATE	BY	CHKD.	COMMENTS
1	03/27/24	TKS		CITY, COUNTY AND CLIENT COMMENTS

CLIENT: GPD GROUP
 1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT: STARBUCKS - PERIMETER SQUARE
 140 PERIMETER CENTER WEST
 LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
 DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:



3/27/2024

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SCALE & NORTH ARROW:

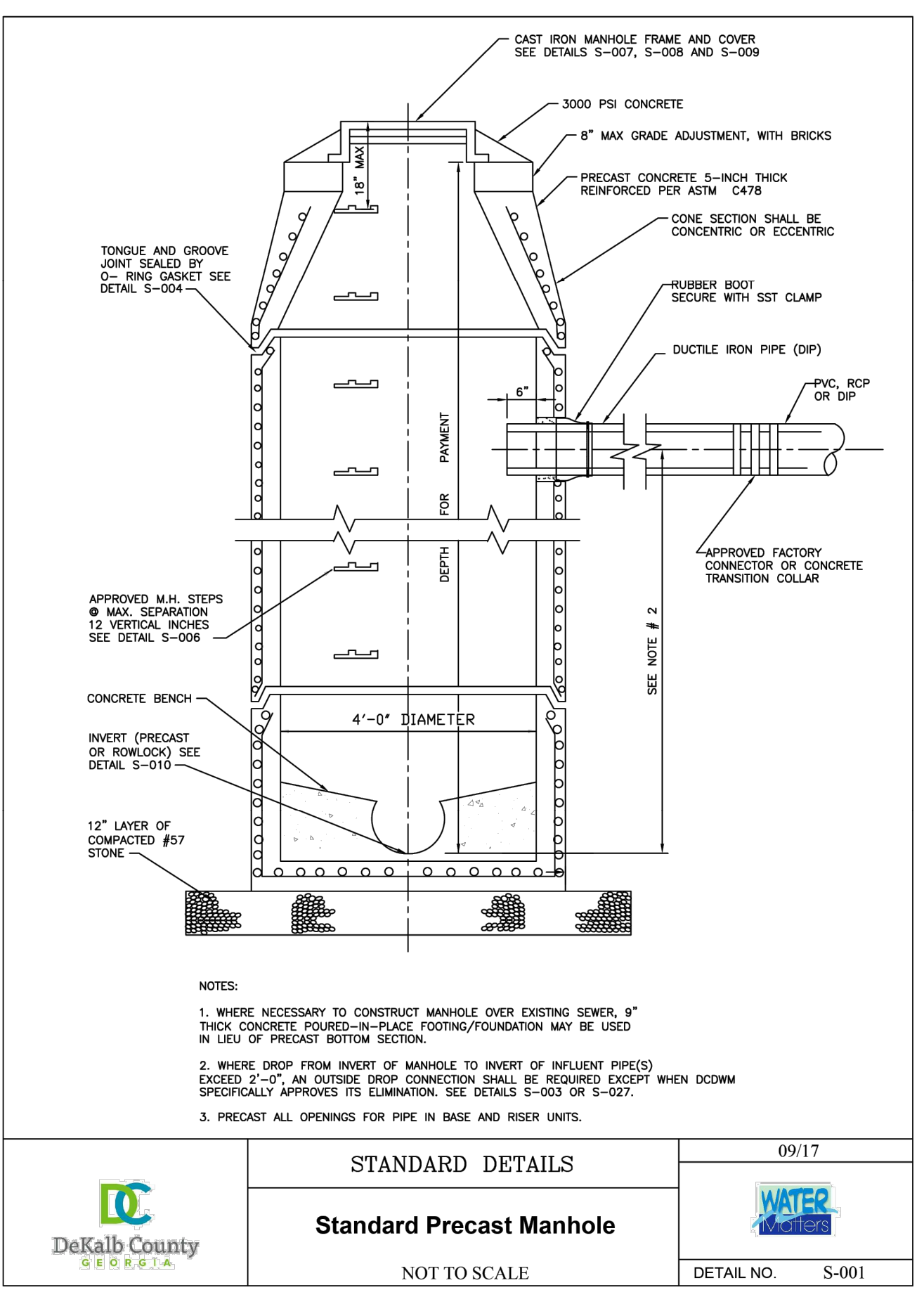
NORTH ARROW
 DETAILS ARE NOT DRAWN TO SCALE

DESIGN INFO:

DRAWN BY: MAT
 DESIGNED BY: MAT
 REVIEWED BY: TKS
 JOB #: 011148
 DATE: JANUARY 12, 2024

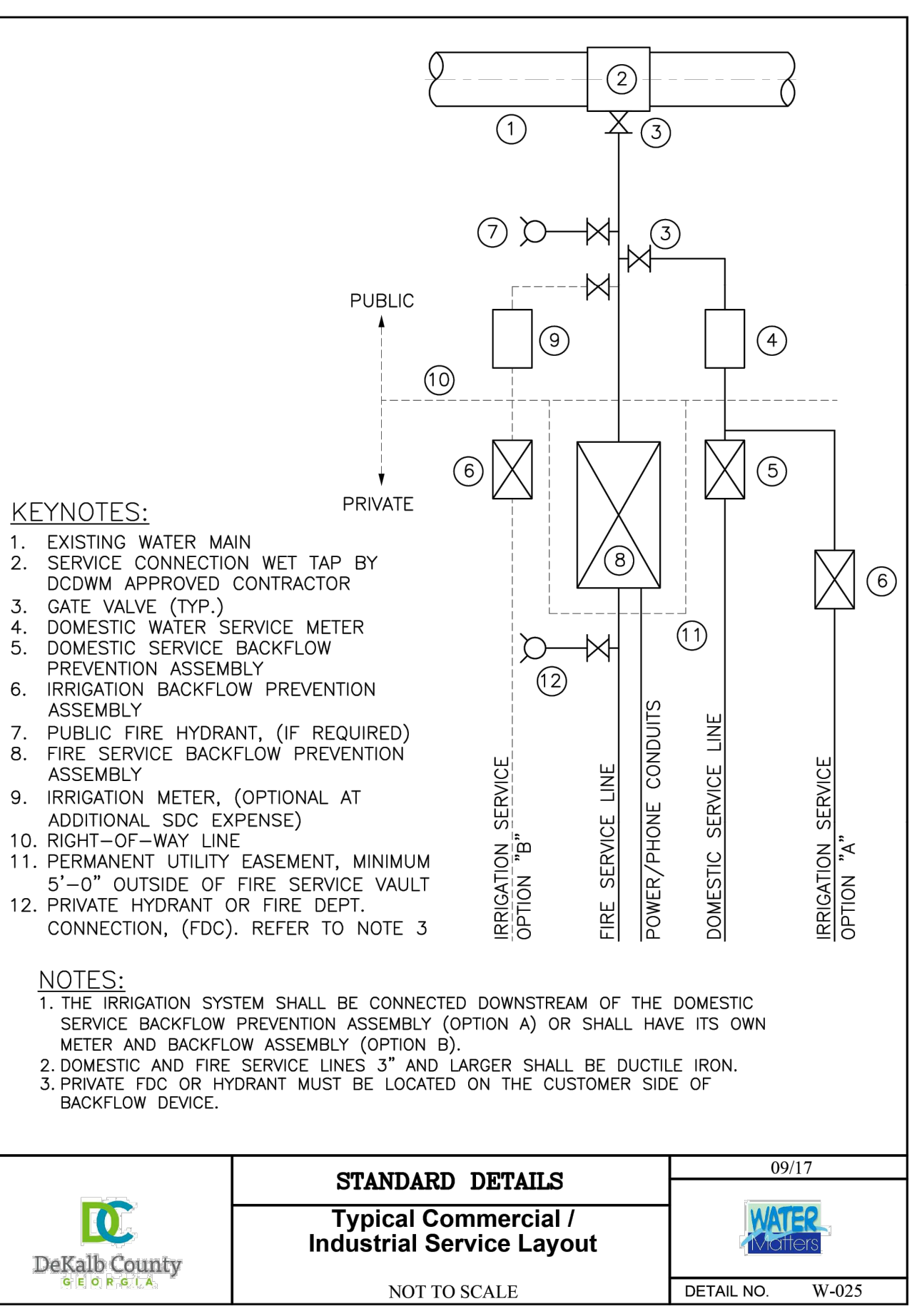
CONSTRUCTION DETAILS - 3

C-7.2



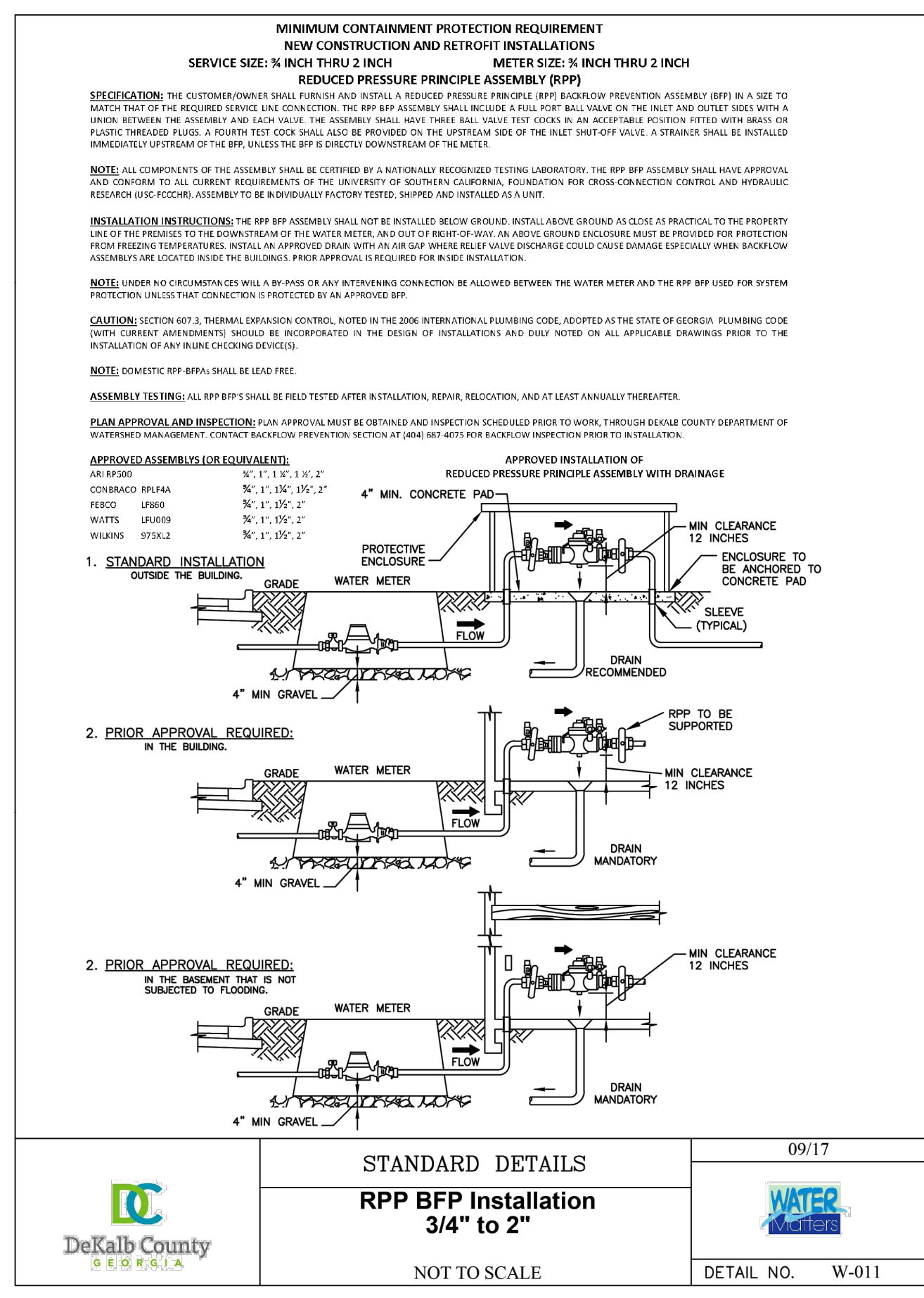
	STANDARD DETAILS	09/17
	Standard Precast Manhole	WATER
NOT TO SCALE		DETAIL NO. S-001

DETAIL



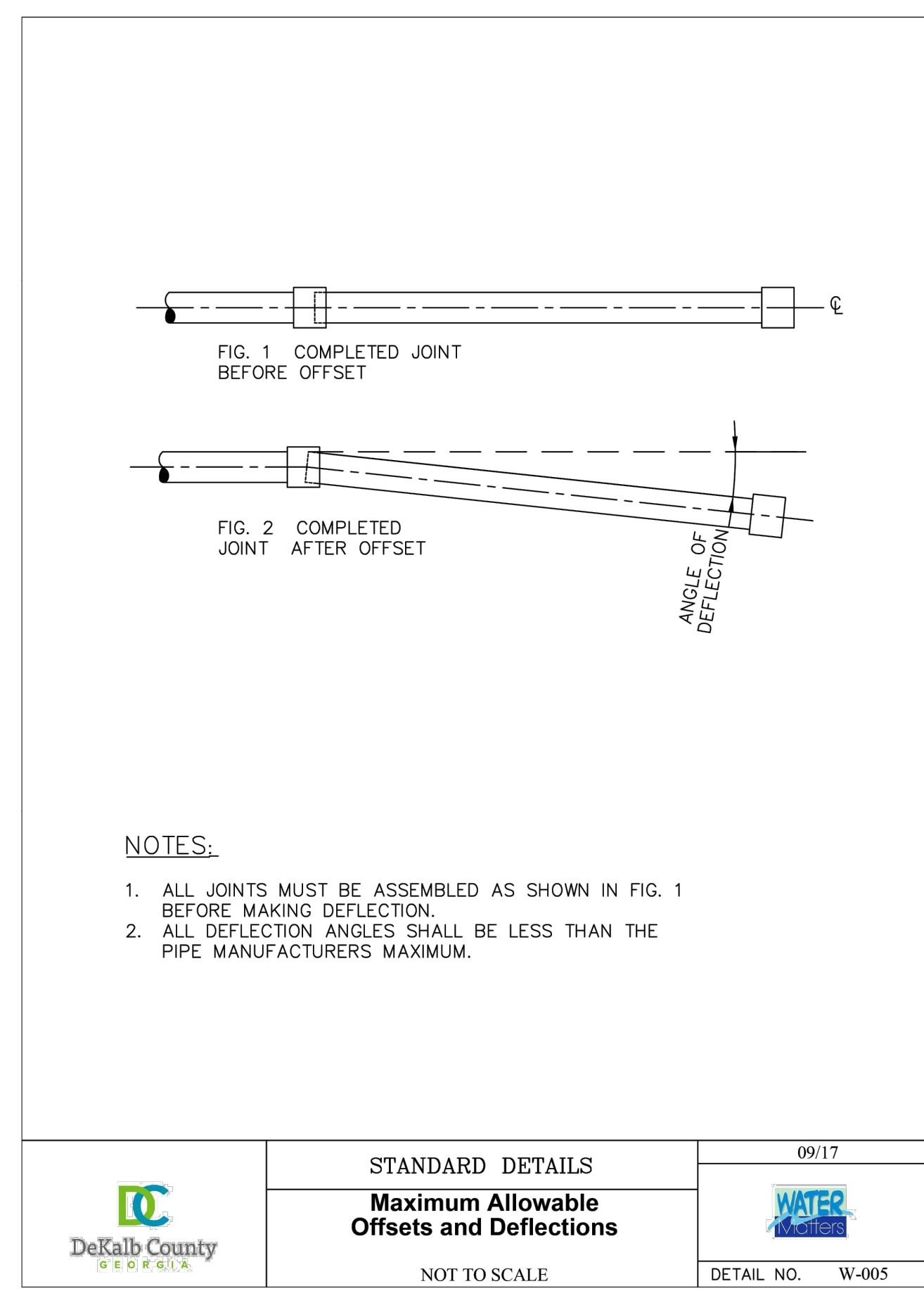
	STANDARD DETAILS	09/17
	Typical Commercial / Industrial Service Layout	WATER
NOT TO SCALE		DETAIL NO. W-025

DETAIL



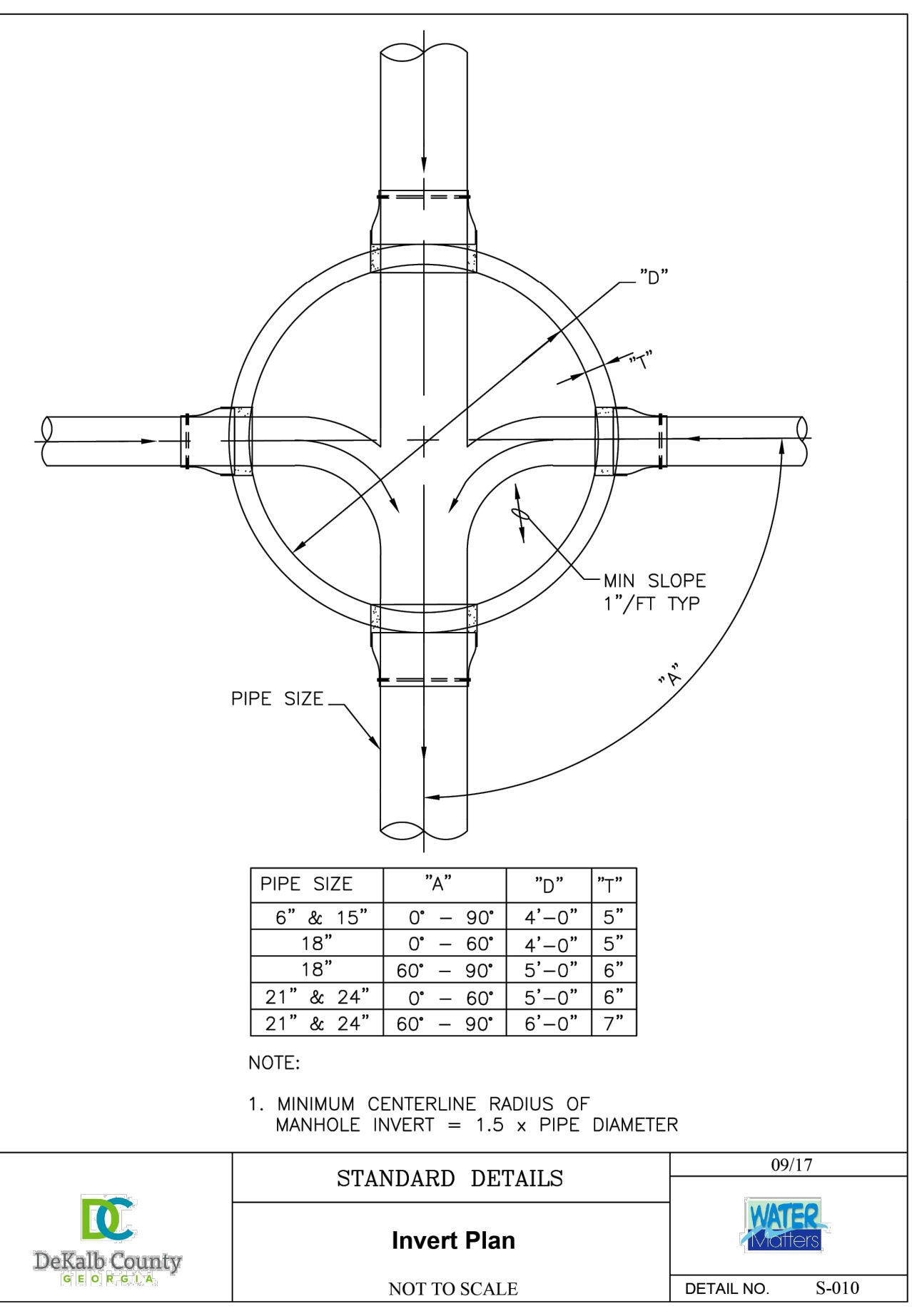
	STANDARD DETAILS	09/17
	RPP BFP Installation 3/4" to 2"	WATER
NOT TO SCALE		DETAIL NO. W-011

DETAIL



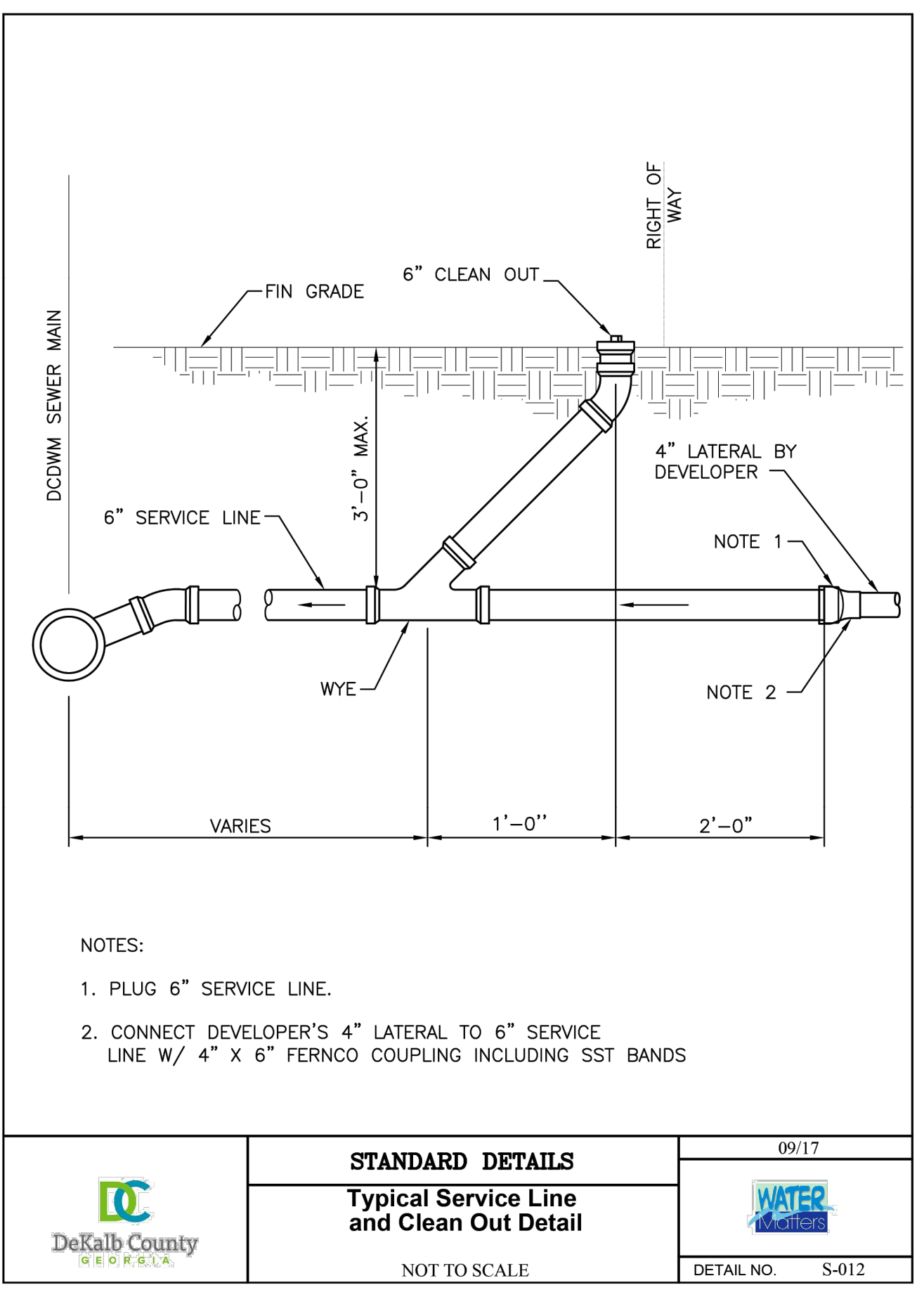
	STANDARD DETAILS	09/17
	Maximum Allowable Offsets and Deflections	WATER
NOT TO SCALE		DETAIL NO. W-005

DETAIL



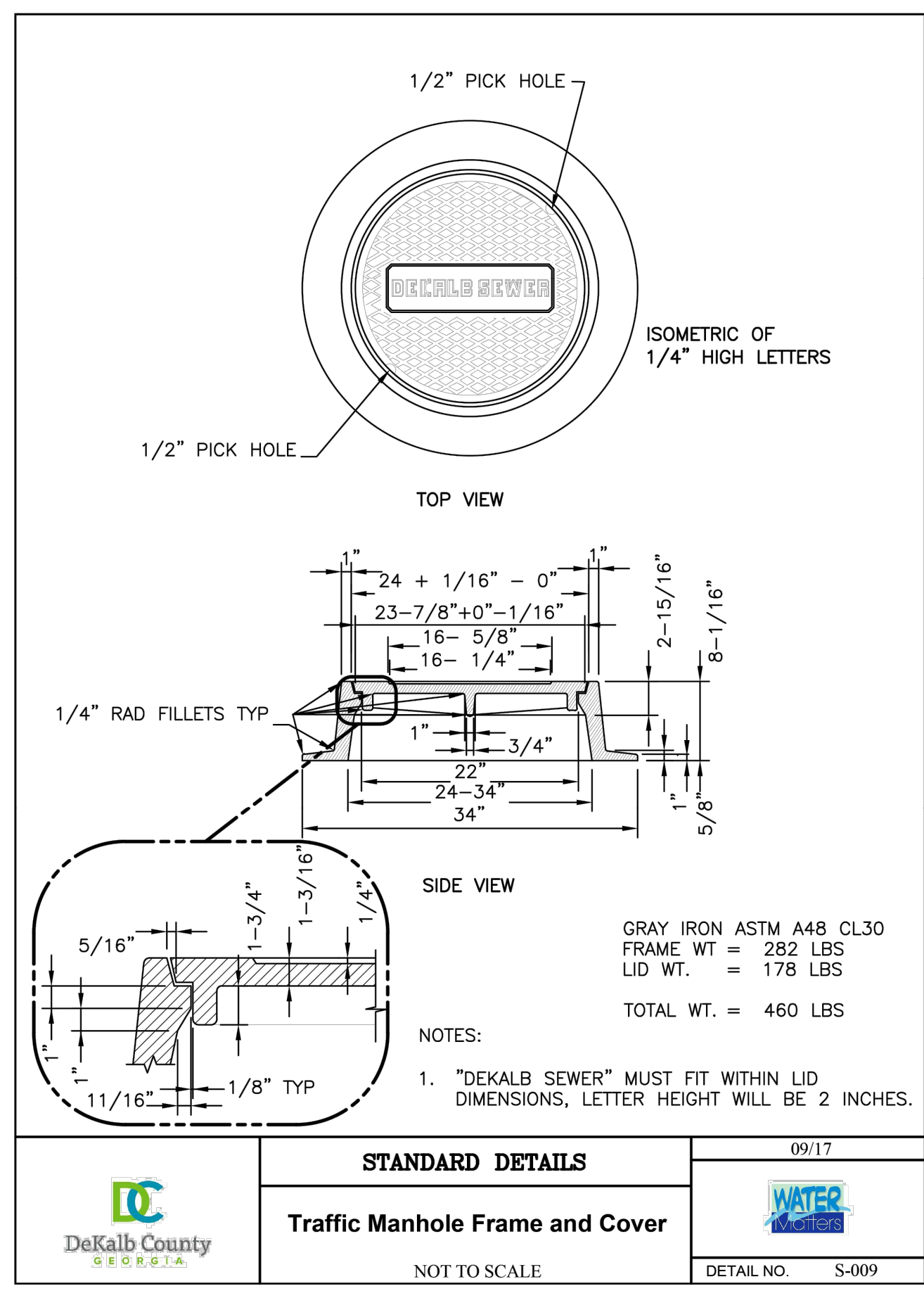
	STANDARD DETAILS	09/17
	Invert Plan	WATER
NOT TO SCALE		DETAIL NO. S-010

DETAIL



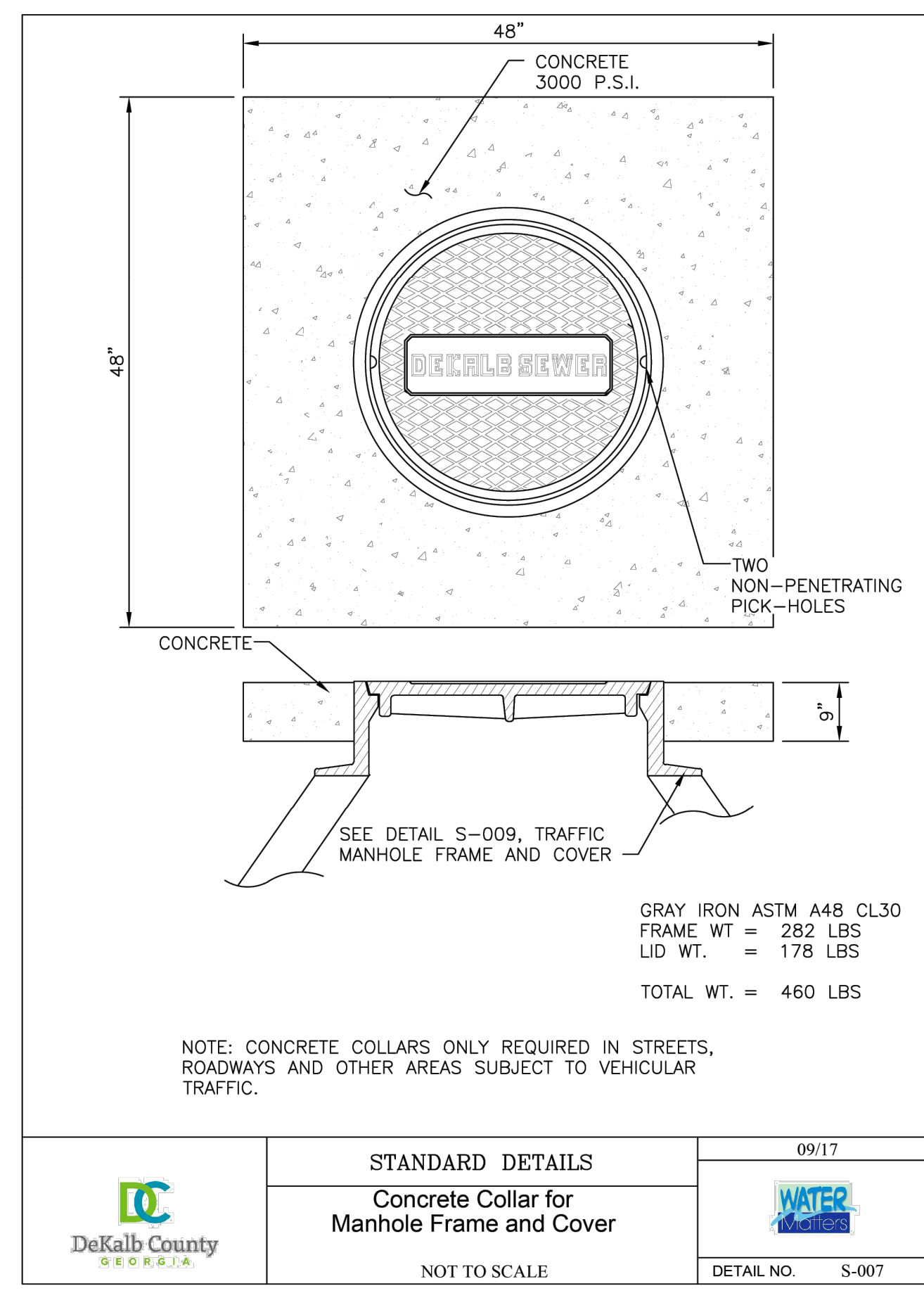
	STANDARD DETAILS	09/17
	Typical Service Line and Clean Out Detail	WATER
NOT TO SCALE		DETAIL NO. S-012

DETAIL



	STANDARD DETAILS	09/17
	Traffic Manhole Frame and Cover	WATER
NOT TO SCALE		DETAIL NO. S-009

DETAIL



	STANDARD DETAILS	09/17
	Concrete Collar for Manhole Frame and Cover	WATER
NOT TO SCALE		DETAIL NO. S-007

DETAIL

REVISIONS:

NO.	DATE	BY	CHKD.	DESCRIPTION
1				

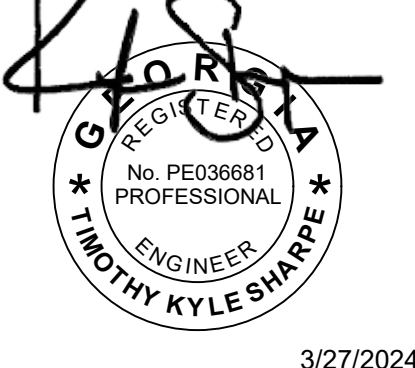
NO.	DATE	BY	CHKD.	DESCRIPTION
1				

CITY, COUNTY AND CLIENT COMMENTS

CLIENT: GPD GROUP
 PROJECT: STARBUCKS - PERIMETER SQUARE
 1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215
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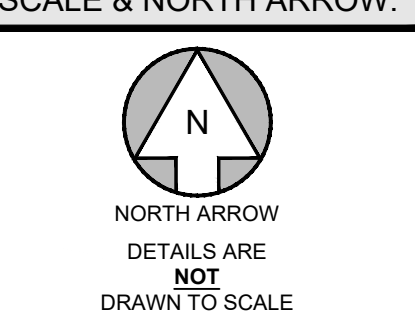


3/27/2024

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SCALE & NORTH ARROW:



DESIGN INFO:

DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

CONSTRUCTION DETAILS - 4

C-7.3

(2) #4 REINFORCED BARS COAT EXPOSED AREA OF BARS WITH ROSKOTE

FITTING Ø	B (IN)	H (FT)	C (FT)	VOL (YD ³)
6	0.9	0.8	0.45	0.010
8	1.2	1.1	0.60	0.022
11-1/4	1.5	1.3	0.75	0.061
12	1.8	1.6	0.90	0.071
16	2.3	2.2	1.15	0.149
22-1/2	3.0	2.7	1.40	0.222
24	3.3	3.0	1.65	0.275
30	4.2	3.8	2.10	0.413
36	5.1	4.6	2.55	0.565
42	6.0	5.4	3.00	0.728
48	6.9	6.2	3.45	0.899
54	7.8	7.0	3.90	1.078
60	8.7	7.8	4.35	1.264
66	9.6	8.6	4.80	1.457
72	10.5	9.4	5.25	1.657
78	11.4	10.2	5.70	1.864
84	12.3	11.0	6.15	2.078
90	13.2	11.8	6.60	2.299
96	14.1	12.6	7.05	2.526
102	15.0	13.4	7.50	2.759
108	15.9	14.2	7.95	2.998
114	16.8	15.0	8.40	3.243
120	17.7	15.8	8.85	3.494
126	18.6	16.6	9.30	3.751
132	19.5	17.4	9.75	4.014
138	20.4	18.2	10.20	4.283
144	21.3	19.0	10.65	4.558
150	22.2	19.8	11.10	4.839
156	23.1	20.6	11.55	5.126
162	24.0	21.4	12.00	5.419
168	24.9	22.2	12.45	5.718
174	25.8	23.0	12.90	6.023
180	26.7	23.8	13.35	6.334
186	27.6	24.6	13.80	6.651
192	28.5	25.4	14.25	6.974
198	29.4	26.2	14.70	7.303
204	30.3	27.0	15.15	7.638
210	31.2	27.8	15.60	7.979
216	32.1	28.6	16.05	8.326
222	33.0	29.4	16.50	8.679
228	33.9	30.2	16.95	9.038
234	34.8	31.0	17.40	9.403
240	35.7	31.8	17.85	9.774
246	36.6	32.6	18.30	10.151
252	37.5	33.4	18.75	10.534
258	38.4	34.2	19.20	10.923
264	39.3	35.0	19.65	11.318
270	40.2	35.8	20.10	11.719
276	41.1	36.6	20.55	12.126
282	42.0	37.4	21.00	12.539
288	42.9	38.2	21.45	12.958
294	43.8	39.0	21.90	13.383
300	44.7	39.8	22.35	13.814
306	45.6	40.6	22.80	14.251
312	46.5	41.4	23.25	14.694
318	47.4	42.2	23.70	15.143
324	48.3	43.0	24.15	15.598
330	49.2	43.8	24.60	16.059
336	50.1	44.6	25.05	16.526
342	51.0	45.4	25.50	17.000
348	51.9	46.2	25.95	17.480
354	52.8	47.0	26.40	17.966
360	53.7	47.8	26.85	18.459
366	54.6	48.6	27.30	18.958
372	55.5	49.4	27.75	19.464
378	56.4	50.2	28.20	19.976
384	57.3	51.0	28.65	20.494
390	58.2	51.8	29.10	21.018
396	59.1	52.6	29.55	21.548
402	60.0	53.4	30.00	22.084
408	60.9	54.2	30.45	22.626
414	61.8	55.0	30.90	23.174
420	62.7	55.8	31.35	23.728
426	63.6	56.6	31.80	24.288
432	64.5	57.4	32.25	24.854
438	65.4	58.2	32.70	25.426
444	66.3	59.0	33.15	26.004
450	67.2	59.8	33.60	26.588
456	68.1	60.6	34.05	27.178
462	69.0	61.4	34.50	27.774
468	69.9	62.2	34.95	28.376
474	70.8	63.0	35.40	28.984
480	71.7	63.8	35.85	29.598
486	72.6	64.6	36.30	30.218
492	73.5	65.4	36.75	30.844
498	74.4	66.2	37.20	31.476
504	75.3	67.0	37.65	32.114
510	76.2	67.8	38.10	32.758
516	77.1	68.6	38.55	33.408
522	78.0	69.4	39.00	34.064
528	78.9	70.2	39.45	34.726
534	79.8	71.0	39.90	35.394
540	80.7	71.8	40.35	36.068
546	81.6	72.6	40.80	36.748
552	82.5	73.4	41.25	37.434
558	83.4	74.2	41.70	38.126
564	84.3	75.0	42.15	38.824
570	85.2	75.8	42.60	39.528
576	86.1	76.6	43.05	40.238
582	87.0	77.4	43.50	40.954
588	87.9	78.2	43.95	41.676
594	88.8	79.0	44.40	42.404
600	89.7	79.8	44.85	43.138
606	90.6	80.6	45.30	43.878
612	91.5	81.4	45.75	44.624
618	92.4	82.2	46.20	45.376
624	93.3	83.0	46.65	46.134
630	94.2	83.8	47.10	46.898
636	95.1	84.6	47.55	47.668
642	96.0	85.4	48.00	48.444
648	96.9	86.2	48.45	49.226
654	97.8	87.0	48.90	50.014
660	98.7	87.8	49.35	50.808
666	99.6	88.6	49.80	51.608
672	100.5	89.4	50.25	52.414
678	101.4	90.2	50.70	53.226
684	102.3	91.0	51.15	54.044
690	103.2	91.8	51.60	54.868
696	104.1	92.6	52.05	55.698
702	105.0	93.4	52.50	56.534
708	105.9	94.2	52.95	57.376
714	106.8	95.0	53.40	58.224
720	107.7	95.8	53.85	59.078
726	108.6	96.6	54.30	59.938
732	109.5	97.4	54.75	60.804
738	110.4	98.2	55.20	61.676
744	111.3	99.0	55.65	62.554
750	112.2	99.8	56.10	63.438
756	113.1	100.6	56.55	64.328
762	114.0	101.4	57.00	65.224
768	114.9	102.2	57.45	66.126
774	115.8	103.0	57.90	67.034
780	116.7	103.8	58.35	67.948
786	117.6	104.6	58.80	68.868
792	118.5	105.4	59.25	69.794
798	119.4	106.2	59.70	70.726
804	120.3	107.0	60.15	71.664
810	121.2	107.8	60.60	72.608
816	122.1	108.6	61.05	73.558
822	123.0	109.4	61.50	74.514
828	123.9	110.2	61.95	75.476
834	124.8	111.0	62.40	76.444
840	125.7	111.8	62.85	77.418
846	126.6	112.6	63.30	78.398
852	127.5	113.4	63.75	79.384
858	128.4	114.2	64.20	80.376
864	129.3	115.0	64.65	81.374
870	130.2	115.8	65.10	82.378
876	131.1	116.6	65.55	83.388
882	132.0	117.4	66.00	84.404
888	132.9	118.2	66.45	85.426
894	133.8	119.0	66.90	86.454
900	134.7	119.8	67.35	87.488
906	135.6	120.6	67.80	88.528
912	136.5	121.4	68.25	89.574
918	137.4	122.2	68.70	90.626
924	138.3	123.0	69.15	91.684
930	139.2	123.8	69.60	92.748
936	140.1	124.6	70.05	93.818
942	141.0	125.4	70.50	94.894
948	141.9	126.2	70.95	95.976
954	142.8	127.0	71.40	97.064
960	143.7	127.8	71.85	98.158
966	144.6	128.6	72.30	99.258
972	145.5	129.4	72.75	100.364
978	146.4	130.2	73.20	101.476
984	147.3	131.0	73.65	102.594
990	148.2	131.8	74.10	103.718
996	149.1	132.6	74.55	104.848
1002	150.0	133.4	75.00	105.984

SECTION A-A

NOTES:
 1. DIMENSIONS OF THRUST BLOCKS WERE CALCULATED ASSUMING A STATIC PRESSURE OF 250 PSF AND A SOIL BEARING PRESSURE OF 2,000 PSF.
 2. DIMENSIONS SHOWN CAN BE VARIED AS FIELD CONDITIONS DICTATE, BUT IT IS IMPORTANT THAT THE CORRECT VOLUME AS SHOWN IN TABLE BE USED AND THAT ALLOWABLE SOIL BEARING PRESSURE NOT BE EXCEEDED.
 3. IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO VERIFY THAT THE THRUST BLOCKS IN THE CHART MEET THE REQUIRED FORCES THAT ARE ASSOCIATED WITH THE PROPOSED WATER LINE OR FORCE MAIN.

FITTING Ø	B (IN)	H (FT)	C (FT)	VOL (YD ³)
6	0.9	0.8	0.45	0.010
8	1.2	1.1	0.60	0.022
11-1/4	1.5	1.3	0.75	0.061
12	1.8	1.6	0.90	0.071
16	2.3	2.2	1.15	0.149
22-1/2	3.0	2.7	1.40	0.222
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36	5.1	4.6	2.55	0.565
42	6.0	5.4	3.00	0.728
48	6.9	6.2	3.45	0.899
54	7.8	7.0	3.90	1.078
60	8.7	7.8	4.35	1.264
66	9.6	8.6	4.80	1.457
72	10.5	9.4	5.25	1.657
78	11.4	10.2	5.70	1.864
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144	21.3	19.0	10.65	4.558
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162	24.0	21.4	12.00	5.419
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174	25.8	23.0	12.90	6.023
180	26.7	23.8	13.35	6.334
186	27.6			

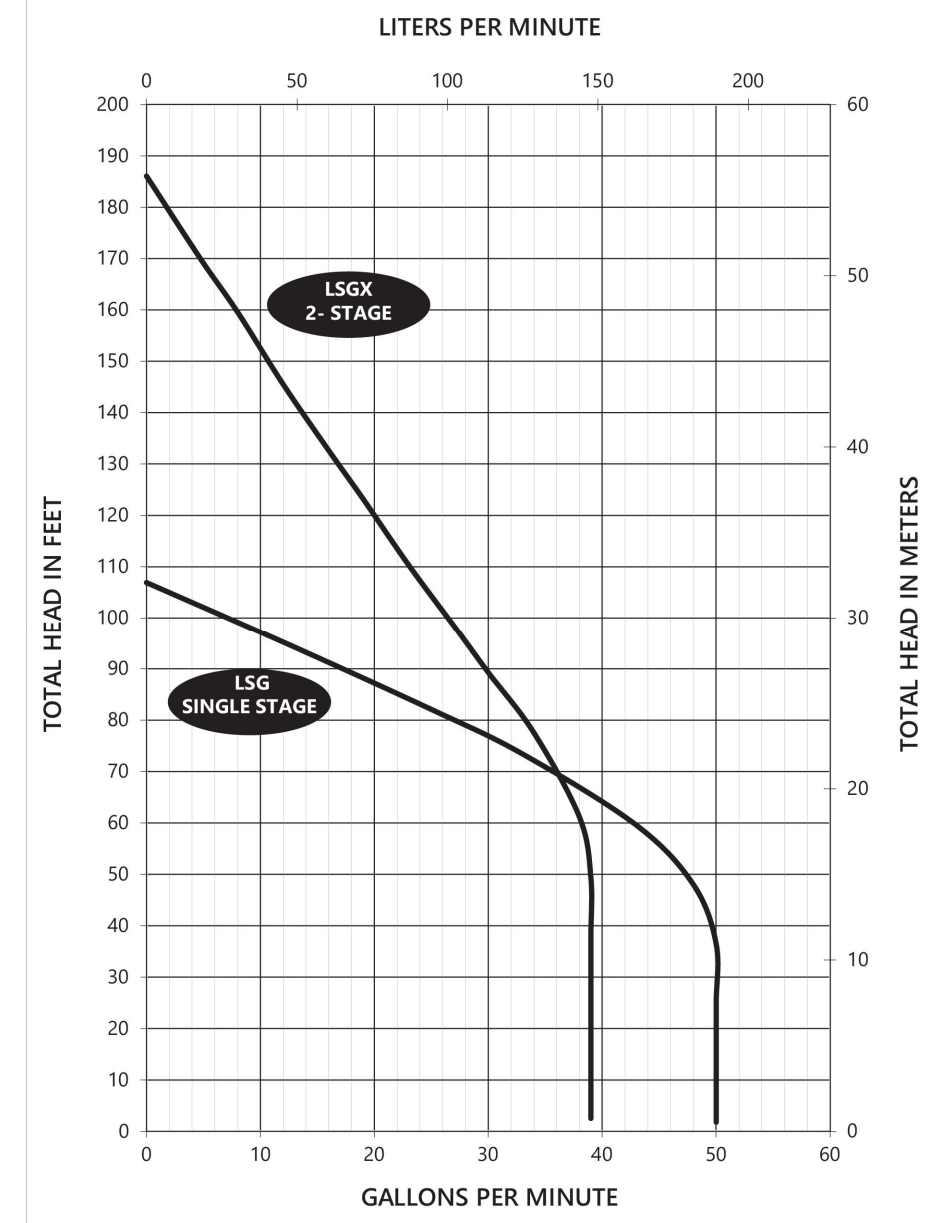
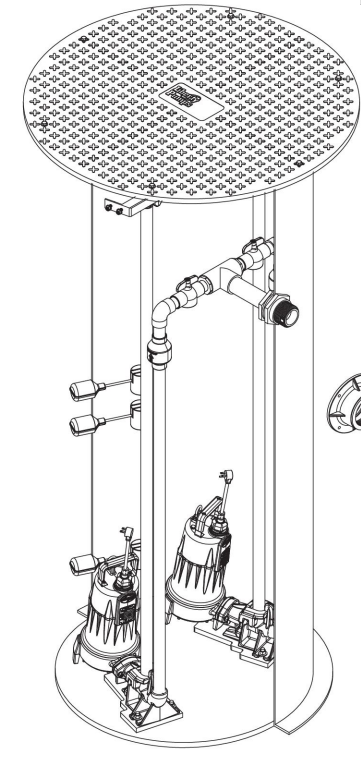


A Family and Employee Owned Company

Pump Specification

D36120LSG/LSGX-Series

Omnivore® 2 HP Duplex Grinder Packages

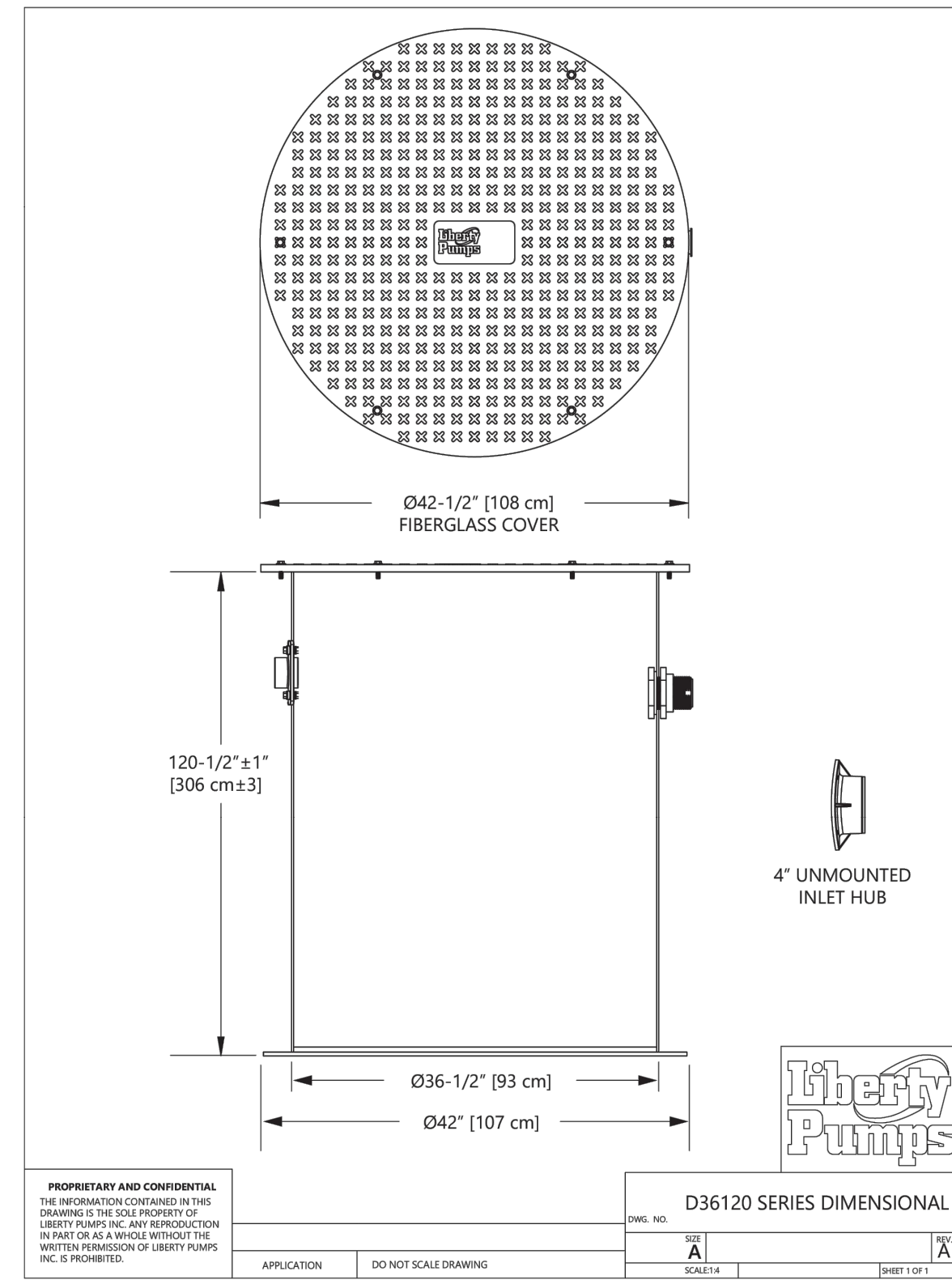


ATTENTION
For pressure sewer applications, verify a Redundant Check Valve Assembly (curb stop and check valve) is installed between the pump discharge and the street main, as close to the public right-of-way as possible, on all installations to protect from system pressures.

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7000 Apple Tree Avenue Bergen NY 14416 Phone 1-800-543-2550 Fax 1-585-494-1839 Email Liberty@LibertyPumps.com Web www.LibertyPumps.com

DETAIL

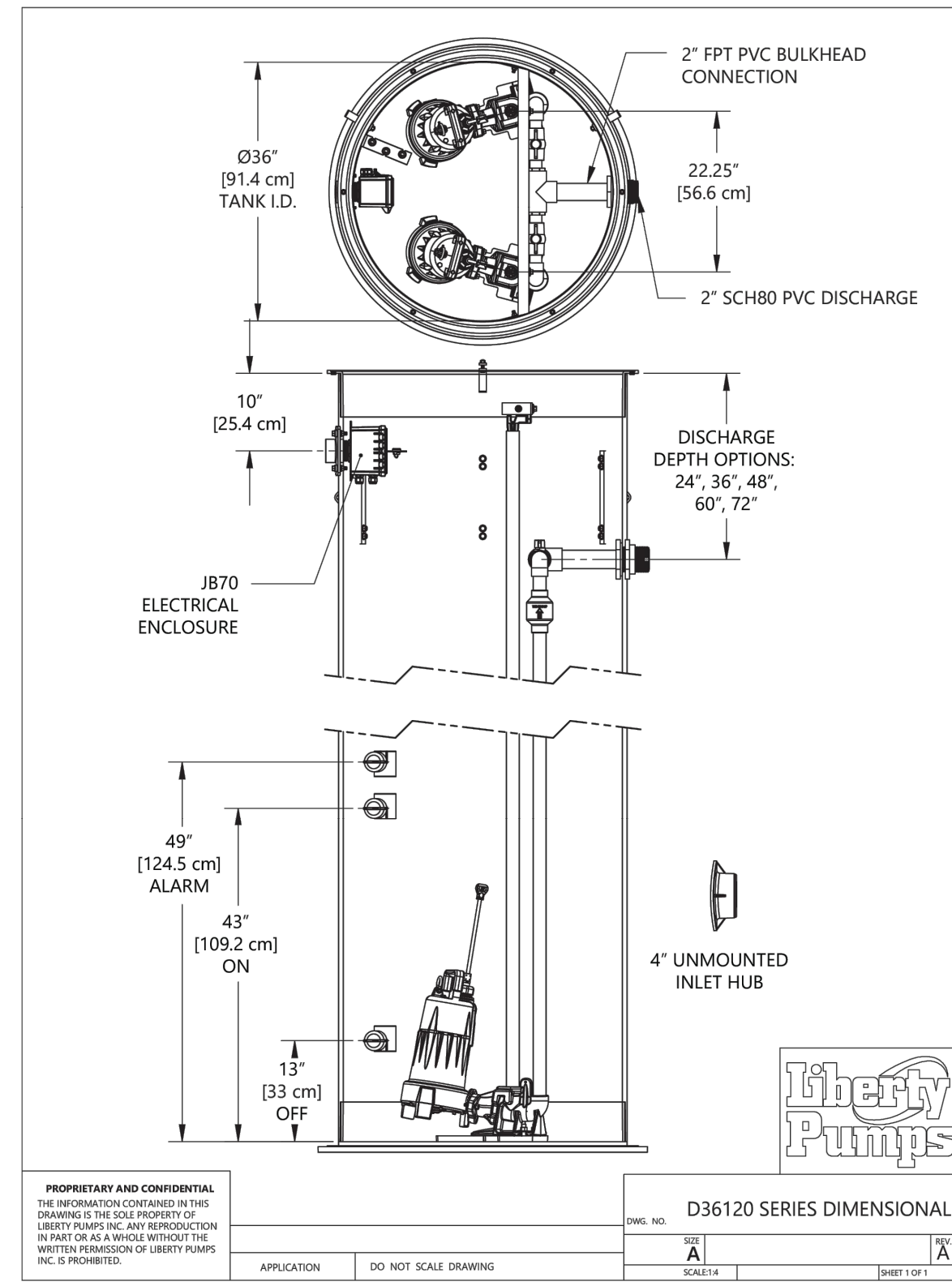
D36120LSG/LSGX-Series Dimensional Data



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7000 Apple Tree Avenue Bergen NY 14416 Phone 1-800-543-2550 Fax 1-585-494-1839 Email Liberty@LibertyPumps.com Web www.LibertyPumps.com

DETAIL

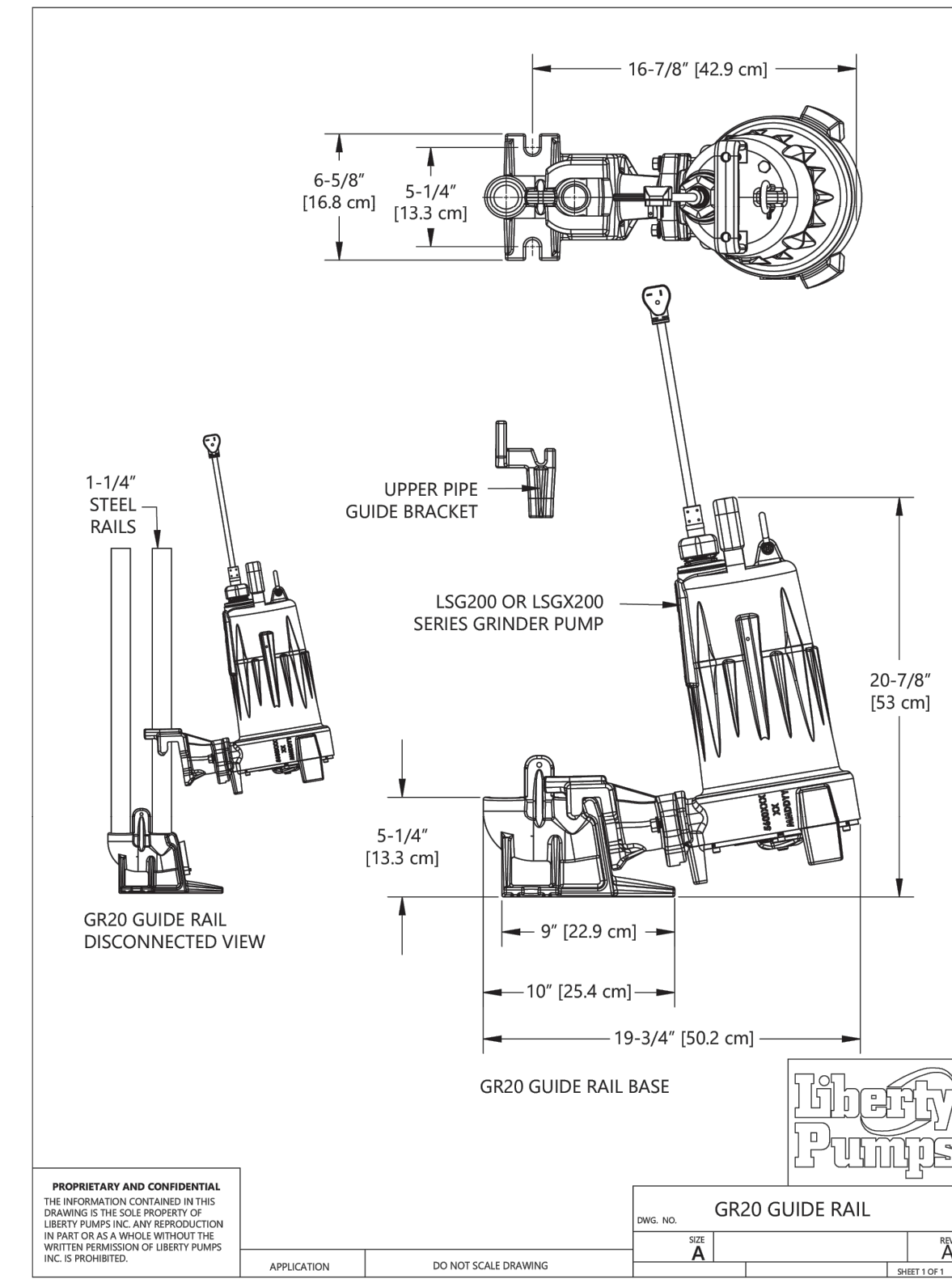
D36120LSG/LSGX-Series Dimensional Data



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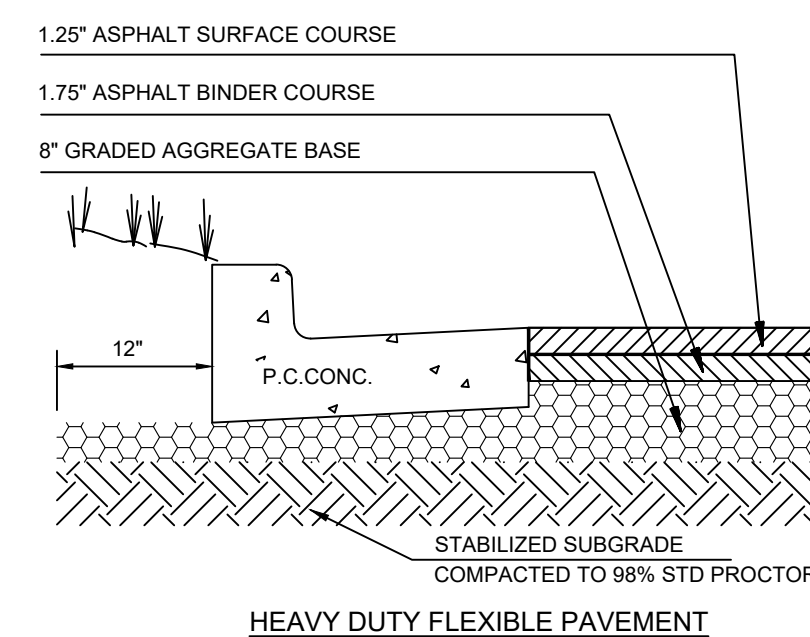
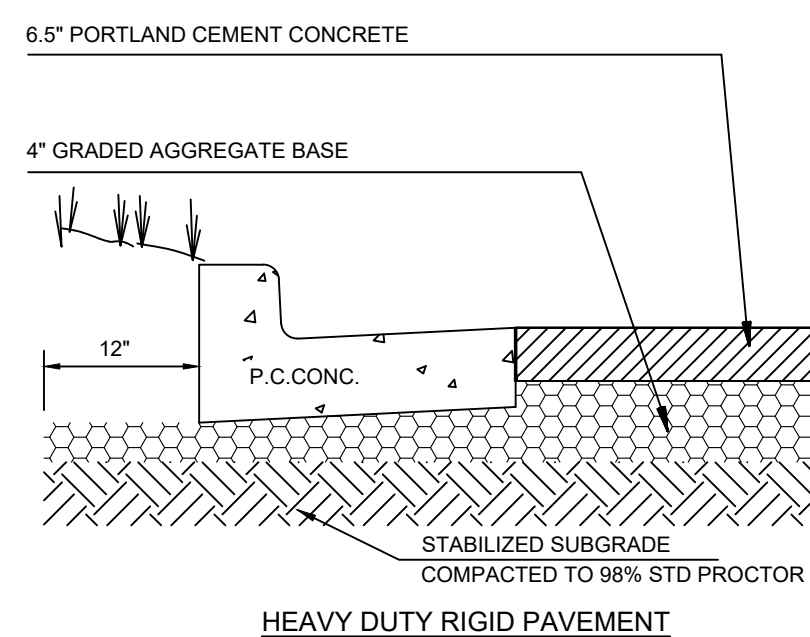
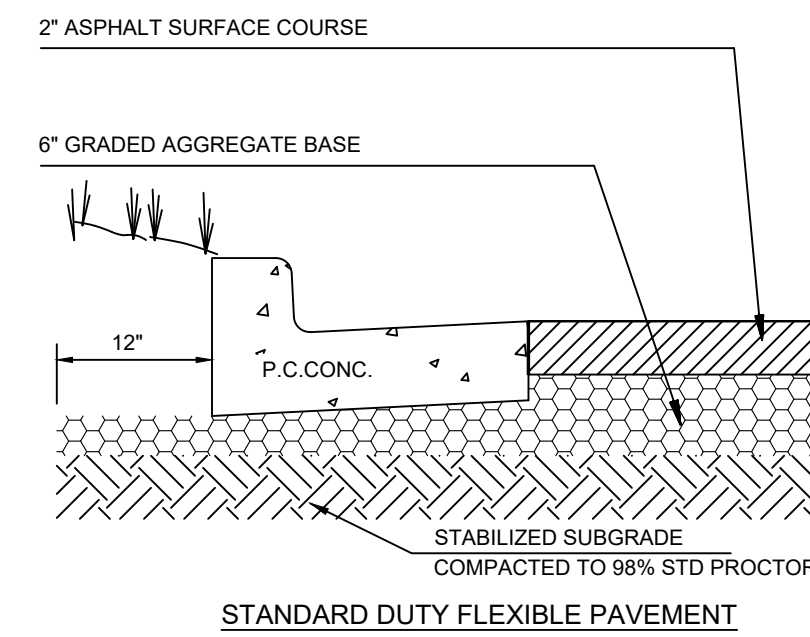
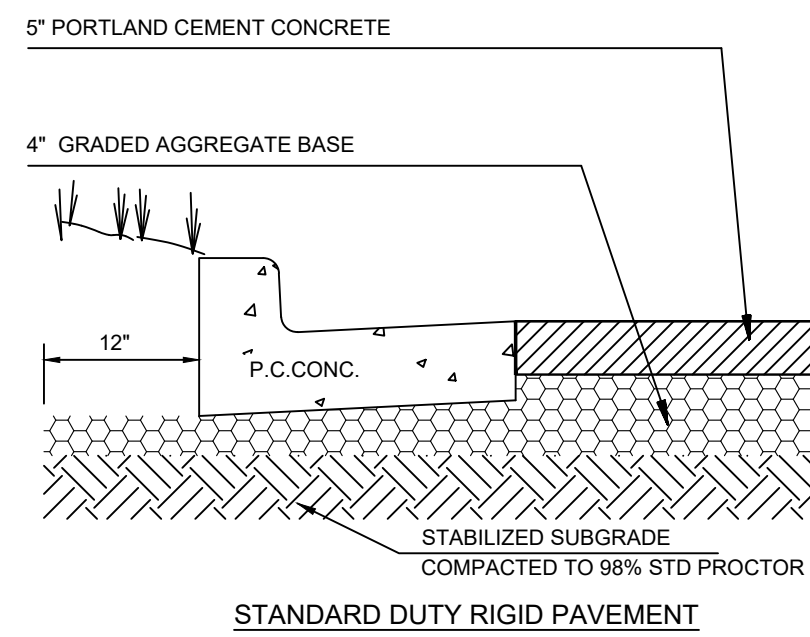
DETAIL

D36120LSG/LSGX-Series Dimensional Data



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DETAIL



NOTE: PAVEMENT SECTION IS BASED ON GEOTECHNICAL RECOMMENDATIONS BY TERRACON, DATED MARCH 13, 2024

PAVEMENT DETAILS

Drawing name: C:\Users\mbobmaker\Gaskins+LeCraw\Dropbox\Share\Folders\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GA\CADD\CONSTR\011148 - 10 - DETAILS.dwg CONSTRUCTION DETAILS - 5 Mar 27, 2024 3:03pm by mbobmaker

DETAIL

DETAIL

PREPARED IN THE OFFICE OF:

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 FAX - 770.441.0298
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 PEF008127

REVISIONS:			
REV. #	DATE	DRAWN BY	CHECKED BY
1 <td> <td> <td></td> </td></td>	<td> <td></td> </td>	<td></td>	

CLIENT: GPD GROUP
 1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT: STARBUCKS - PERIMETER SQUARE
 140 PERIMETER CENTER WEST
 LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
 DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

3/27/2024

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Know what's below.
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SCALE & NORTH ARROW:

NORTH ARROW
 DETAILS ARE NOT
 DRAWN TO SCALE

DESIGN INFO:

DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

CONSTRUCTION DETAILS - 5

C-7.4

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REVISIONS:

REV. #	DATE	CITY, COUNTY AND CLIENT COMMENTS	CHECKED BY
4	07/30/24	CITY SLIP COMMENTS	TKS
3	04/23/24	CITY CLIENT COMMENTS	MAT
2	04/09/24	COUNTY COMMENTS	TKS
1	03/27/24	CITY, COUNTY AND CLIENT COMMENTS	TKS

CLIENT: **GPD GROUP**
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SEAL:

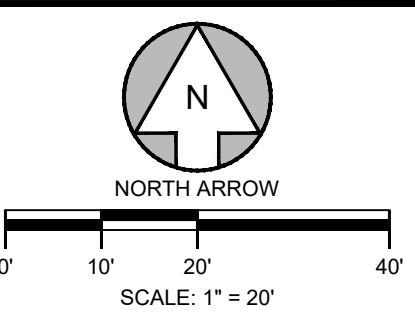


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DESIGN INFO:

DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

TREE PROTECTION PLAN

L-1.0

Packet page:...

MARTA EASEMENT NOTE

CONTRACTOR TO TAKE NOTE OF EXISTING MARTA UNDERGROUND TUNNEL EASEMENT. LIMITS OF SAID EASEMENT SHALL BE MARKED AT ALL TIMES IN THE FIELD DURING CONSTRUCTION AND ANY WORK DONE WITHIN THE LIMITS OF SAID EASEMENT SHALL BE DONE WITH CAUTION AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

ORDINANCE REQUIREMENTS

SITE DENSITY REQUIREMENT: 0.87 ACRES

SITE DENSITY FACTOR (SDF) = 20 UNITS/ACRE	17.4 UNITS
RECOMPENSE REQUIRED =	4.2 UNITS
TOTAL UNITS REQUIRED =	21.6 UNITS
PROPOSED UNITS =	21.6 UNITS

INTERIOR PARKING LOT REQUIREMENT:

1 TREE / SINGLE ROW LA ISLAND =	3 TREES
2 TREE / DOUBLE ROW LA ISLAND =	10 TREES
4 SHRUBS / 1 TREE =	52 SHRUBS

LA IS AN ABBREVIATION FOR LANDSCAPE

SITE SUMMARY

SITE LEASE AREA

SITE LEASE AREA:	0.93 ACRES (40,483 S.F.)
IMPERVIOUS AREA:	30,890 S.F. (76.3%)
PERVIOUS AREA:	9,593 S.F. (23.7%)

ZONING CLASSIFICATION

JURISDICTION: CITY OF DUNWOODY
 ZONING: C-1C (PERIMETER CENTER OVERLAY)
 ADJACENT ZONING: C-1C (PERIMETER CENTER OVERLAY)

BUILDING SETBACKS

FRONT:	50' (BASE ZONING) 0'/20' MAX. (BUILD TO ZONE)
SIDE:	20'
REAR:	30'

BUILDING SUMMARY

BUILDING AREA:	3,000 S.F. (59 SEATS)
BUILDING COVERAGE:	7.8%

PARKING SUMMARY

PARKING REQ.:	10 SPACES / 1,000 S.F.
	30 SPACES
PARKING PROV.:	40 SPACES
MIN. STALL DIMENSIONS:	8.5' x 18'
MIN. DRIVE WIDTH:	22'

NOTE

MEASUREMENTS FOR UNDERSTORY TREES WERE AT DBH OF EACH TREE. FOR MULTI-STEM TREES: EACH STEM WAS MEASURED, ADDED TOGETHER, THEN DIVIDED BY PI TO GIVE AN ACCURATE DBH VALUE.

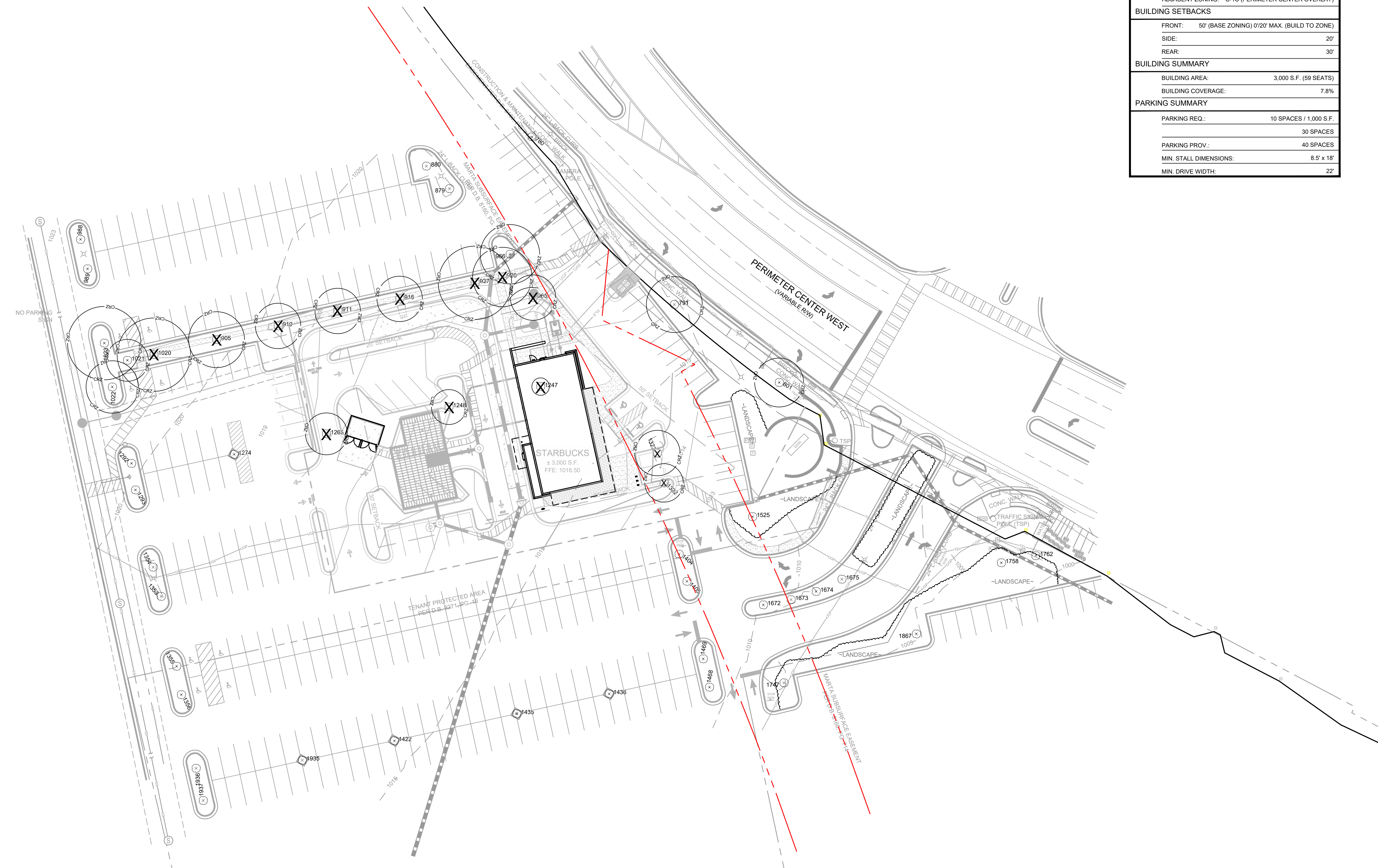
TOTAL UNITS NEEDED FOR RECOMPENSE / PROPOSED TO REMAIN ARE MULTIPLIED BY 1.5 SEC. 16-110.2b

TREES TO BE REMOVED

TREE ID#	DBH	TYPE	UNIT VALUE	SPECIMEN Y/N	STATUS
905	11.8"	CRAPE MY RTLE	0.8	YES	REMOVED
910	8"	CRAPE MY RTLE	0.5	YES	REMOVED
911	5.4"	CRAPE MY RTLE	x	NO	REMOVED
916	6.2"	CRAPE MY RTLE	0.3	YES	REMOVED
927	10.2"	HOLLY	0.6	YES	REMOVED
928	5.6"	HOLLY	x	NO	REMOVED
965	5.1"	HOLLY	x	NO	REMOVED
1020	5.8"	HOLLY	x	NO	REMOVED
1247	3"	HOLLY	x	NO	REMOVED
1248	3.5"	HOLLY	x	NO	REMOVED
1265	5.3"	HOLLY	x	NO	REMOVED
1322	2.9"	CRAPE MY RTLE	x	NO	REMOVED
1323	9.5"	CRAPE MY RTLE	0.6	YES	REMOVED
SPECIMEN TREE UNITS TO BE REMOVED =					2.8
TOTAL SPCEMEN UNITS TO BE REMOVED (x1.5) =					4.2

TREES TO REMAIN

TREE ID#	DBH	TYPE	STATUS
791	19"	OAK	TO REMAIN, NOT LOCATED WITHIN PROPERTY LINE
801	14"	OAK	TO REMAIN, NOT LOCATED WITHIN PROPERTY LINE
966	6"	HOLLY	TO REMAIN, NOT LOCATED WITHIN PROPERTY LINE
1021	12.3"	HOLLY	TO REMAIN, NOT LOCATED WITHIN PROPERTY LINE
1022	12"	HOLLY	TO REMAIN, NOT LOCATED WITHIN PROPERTY LINE
1023	12"	HOLLY	TO REMAIN, NOT LOCATED WITHIN PROPERTY LINE



Drawing name: C:\Users\mfootaker\Gaskins+LeCraw\Dropbox\Share\Folders\Engineering\011148 - Starbuck - Atlanta (Perimeter Square)_GAICADD\CONSTR011148 - 11 - LANDSCAPE.dwg TREE PROTECTION PLAN Jul 30, 2024 10:37am by: mfootaker

PLANT LIST									
TREES:									
	BOTANICAL NAME	COMMON NAME	QUANTITY	MIN. SIZE	MIN. SPACING	TREE TYPE	UNIT/TREE	GENUS %	UNITS
(AO)	Acer rubrum 'October Glory'	October Glory Red Maple	8	4" CAL.	20' O.C.	DECIDUOUS - MEDIUM	0.7	22.86%	5.6
(CA)	Carpinus betulus 'Fastigiata'	Columnar Hornbeam	4	4" CAL.	20' O.C.	DECIDUOUS - MEDIUM	0.7	22.86%	5.6
(CD)	Cedrus atlantica	Columnar Blue Atlas Cedar	4	10'-12' HT.	30' O.C.	DECIDUOUS - MEDIUM	0.6	11.43%	2.4
(LN)	Lagerstroemia x 'Natchez'	White Crape Myrtle	7	6'-8' HT.	15' O.C.	DECIDUOUS - SMALL	0.4	20.00%	2.8
(MG)	Magnolia grandiflora	Southern Magnolia	3	10'-12' HT.	12' O.C.	EVERGREEN - LARGE	0.6	8.57%	1.8
(OA)	Oxydendrum arboreum	Sourwood	3	4" CAL.	20' O.C.	DECIDUOUS - MEDIUM	0.7	8.57%	2.1
(QP)	Quercus phellos	Willow Oak	2	4" CAL.	N/A	DECIDUOUS - LARGE	0.7	5.71%	1.4
TOTAL NUMBER OF TREES:			35			TOTAL UNITS PROVIDED:		21.7	
SHRUBS/HERBACEOUS ORNAMENTALS:									
(AG)	Abelia 'Edward Goucher'	Edward Goucher Abelia	34	3 GAL.	3' O.C.				
(CP)	Chamaecyparis pisifera	Golden Mop	73	3 GAL.	3' O.C.				
(LP)	Loropetalum chinensis rubrum 'Ruby'	Ruby Loropetalum	96	3 GAL.	4' O.C.				
(MC)	Muhlenbergia capillaris	Flnk Muhly Grass	85	1 GAL.	24" O.C.				
(RR)	Rosa 'Radrazz'	Knock Out Rose	8	5 GAL.	5' O.C.				
TOTAL NUMBER OF SHRUBS:			296						
GROUNDCOVERS/VINES/PERENNIALS:									
(SCD)	Cynodon dactylon	Bermuda Grass	2,200 S.F.						
(MLL)	Mulch B	Hardwood Mulch	6,000 S.F.						

HATCH LEGEND	
	SOD / GRASS
	MULCH

NOTE
 ALL QUANTITIES ARE FOR A GENERAL GUIDE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PRIOR TO BIDDING AND INSTALLATION. GASKINS + LECRAW, INC. SHALL TAKE NO RESPONSIBILITY FOR THE ACCURACY OF THE QUANTITIES PROVIDED.

MARTA EASEMENT NOTE
 CONTRACTOR TO TAKE NOTE OF EXISTING MARTA UNDERGROUND TUNNEL EASEMENT. LIMITS OF SAID EASEMENT SHALL BE MARKED AT ALL TIMES IN THE FIELD DURING CONSTRUCTION AND ANY WORK DONE WITHIN THE LIMITS OF SAID EASEMENT SHALL BE DONE WITH CAUTION AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

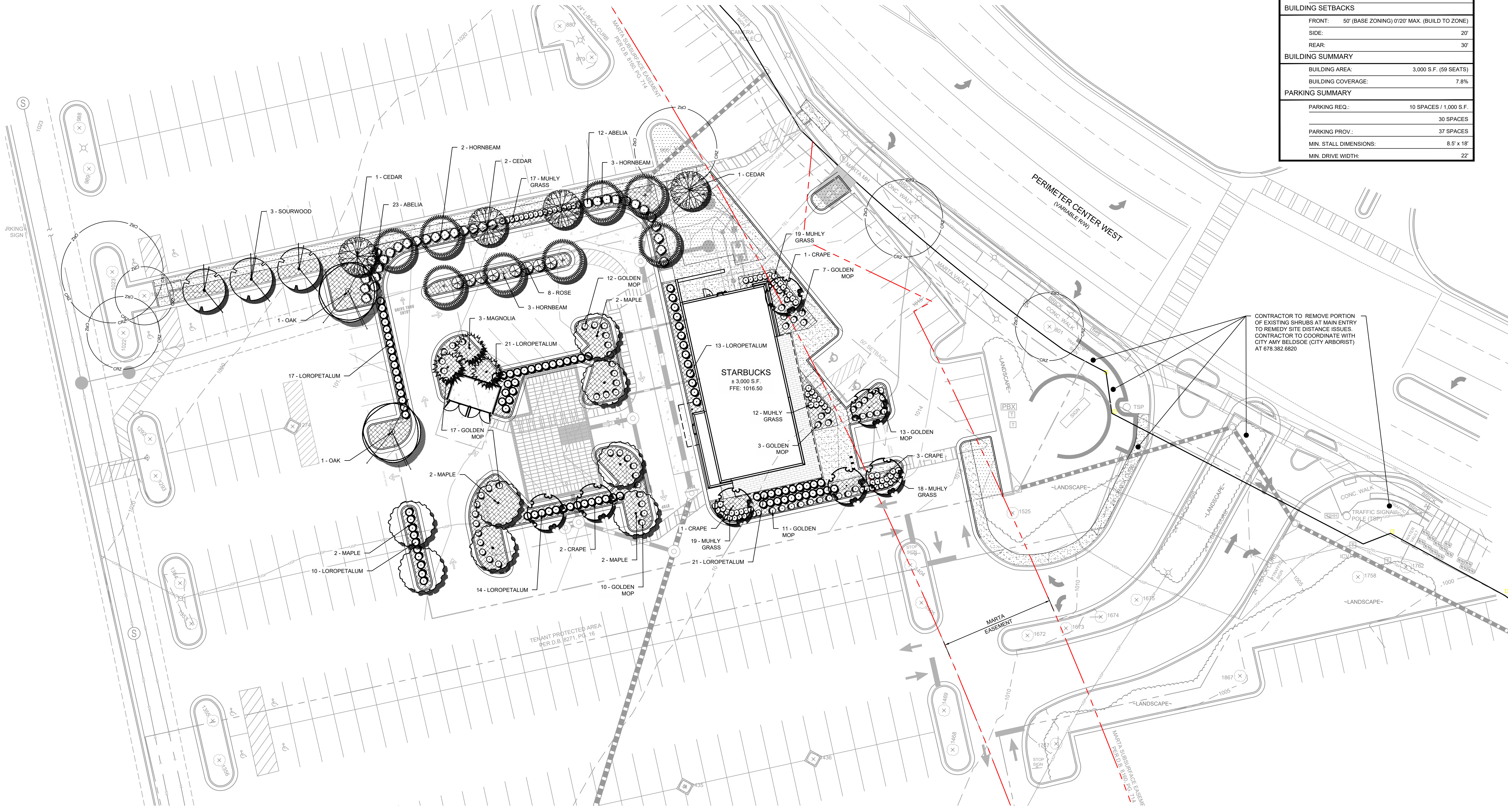
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MIN. STALL DIMENSIONS:	8.5' x 18'
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 SUITE A
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 PHONE - 678.546.8100
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REVISIONS:		
NO.	DATE	DESCRIPTION
5	01/09/24	CITY SLIP COMMENTS
4	07/30/24	CITY SLIP COMMENTS
3	04/23/24	CITY CLIENT COMMENTS
2	04/09/24	COUNTY COMMENTS
1	03/27/24	CITY, COUNTY AND CLIENT COMMENTS



CLIENT: GPD GROUP
 1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

PROJECT: STARBUCKS - PERIMETER SQUARE
 140 PERIMETER CENTER WEST
 LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
 DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:

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SCALE & NORTH ARROW:

SCALE: 1" = 20'

DESIGN INFO:	
DRAWN BY:	MAT
DESIGNED BY:	MAT
REVIEWED BY:	TKS
JOB #:	011148
DATE:	JANUARY 12, 2024

PREPARED IN THE OFFICE OF:



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 DULUTH, GA 30096
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REVISIONS:

NO.	DATE	BY	CHKD BY	DESCRIPTION
1				

CITY, COUNTY AND CLIENT COMMENTS

1

REV #

CLIENT

PROJECT

STARBUCKS - PERIMETER SQUARE

140 PERIMETER CENTER WEST

LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001

DUNWOODY, DEKALB COUNTY, GEORGIA

1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

DEKALB COUNTY AP#: 3150095

SEAL:

3/21/24

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SCALE & NORTH ARROW:

NORTH ARROW

DETAILS ARE NOT DRAWN TO SCALE

DESIGN INFO:

DRAWN BY: MAT

DESIGNED BY: MAT

REVIEWED BY: TKS

JOB #: 011148

DATE: JANUARY 12, 2024

LANDSCAPE DETAILS

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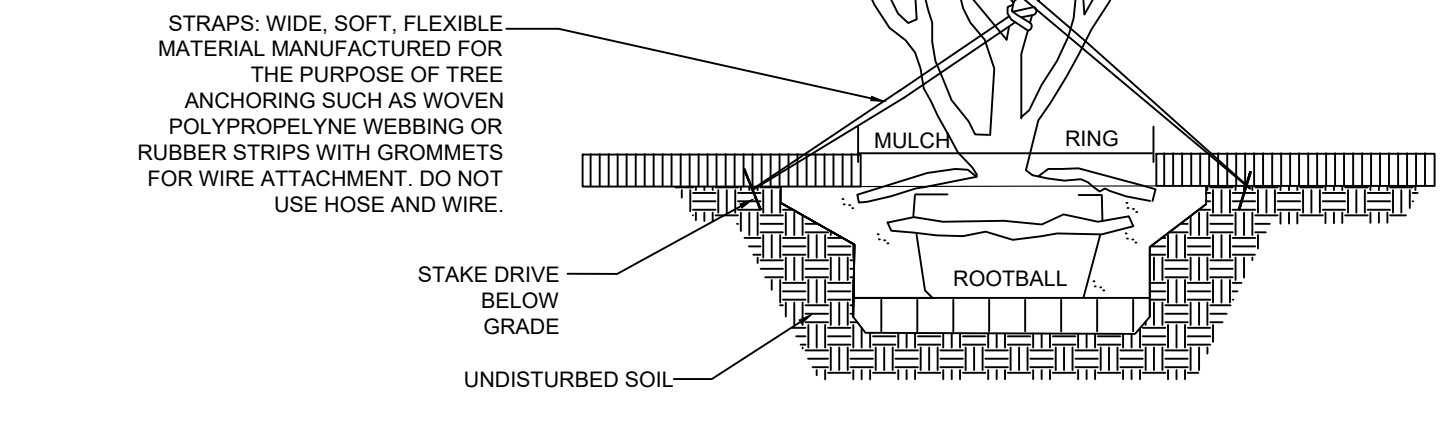
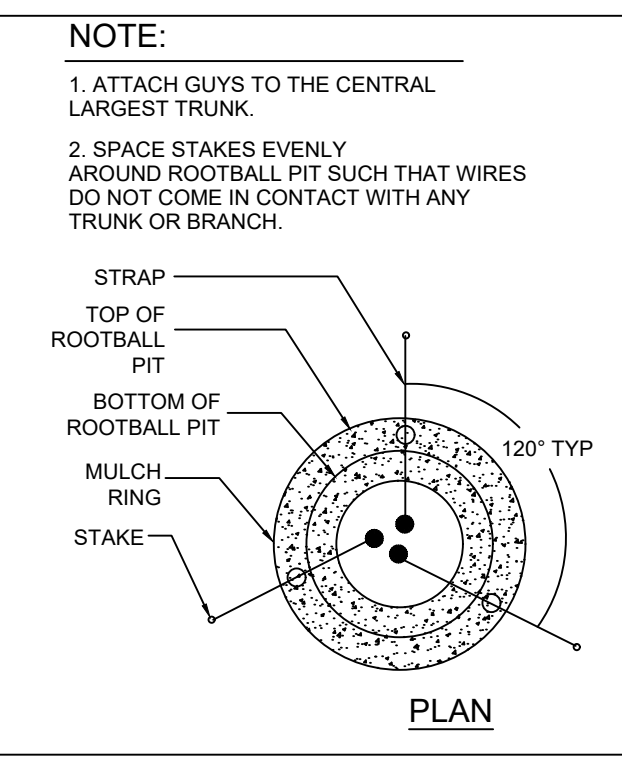
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GENERAL IRRIGATION NOTES

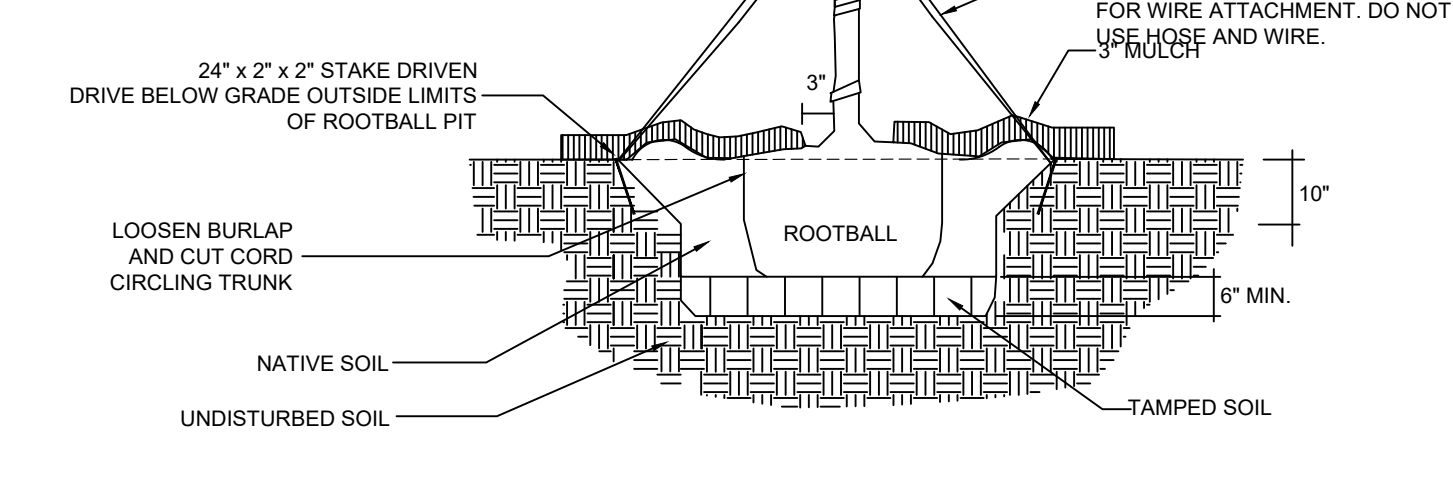
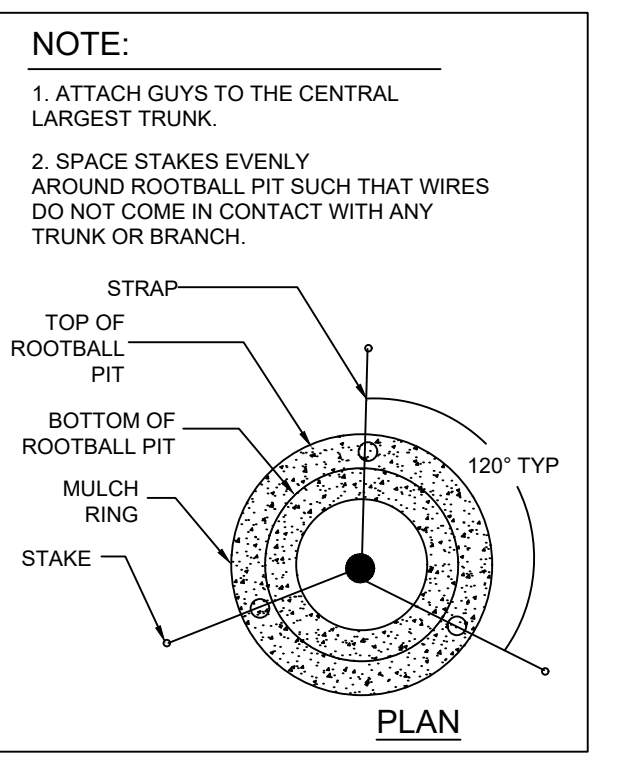
- CONTRACTOR SHALL LOCATE UTILITIES AND SERVICES IN AND AROUND THE SITE PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL MAKE ALL EFFORTS TO AVOID DAMAGE TO EXISTING STRUCTURES, PAVING, AND UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIR OF DAMAGE TO ON-SITE UTILITIES, STRUCTURES, OR PAVING RESULTING FROM IRRIGATION CONSTRUCTION. REPAIRS SHALL BE COMPLETED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO ALL CODES AND ORDINANCES RELEVANT TO THE WORK UNDER THIS CONTRACT.
- ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR TO FULLY EXECUTE AND GUARANTEE, AS REQUIRED, ALL WORK IN ACCORDANCE WITH SPECIFICATIONS, AND ALSO AS PER INSTRUCTIONS OF THE LANDSCAPE ARCHITECT AND THE OWNER.
- CONTRACTOR SHALL USE ONLY NEW, COMMERCIAL GRADE MATERIAL.
- AUTOMATIC CONTROL CLOCK WILL BE LOCATED ON-SITE BY THE LANDSCAPE ARCHITECT OR OWNER.
- IRRIGATION DESIGNER SHALL LAYOUT SYSTEM TO MINIMIZE CONFLICTS WITH THE LOCATION OF PROPOSED PLANT MATERIALS (AS SHOWN ON THE PLANTING PLAN) AND OTHER SITE AMENITIES.
- ALL MAIN LINES SHALL BE INSTALLED A MAXIMUM OF 2' FROM THE BACK OF CURBS WHERE POSSIBLE. LATERALS LINES SHALL BE INSTALLED LIKEWISE WHERE POSSIBLE.
- THE CONTRACTOR SHALL ADJUST THE RADIUS AND ARC OF EACH HEAD TO MINIMIZE "OVERTHROW" AND TO ELIMINATE "DRY SPOTS." OVERTHROW ONTO PAVED AREAS SHALL NOT BE ALLOWED.
- ELECTRIC SUPPLY WILL BE STUBBED-OUT AT CONTROL CLOCK LOCATION BY OTHERS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL CONNECTIONS FROM CONTROL VALVES TO THE CONTROL CLOCK.
- THE ENTIRE SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED BY THE IRRIGATION CONTRACTOR AGAINST ALL DEFECTIVE WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF TOTAL ACCEPTANCE.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE AT TIME OF COMPLETION FOR PROVIDING "AS-BUILT" DRAWINGS, TO INCLUDE LOCATIONS OF ALL VALVES (MANUAL AND AUTOMATIC) WITH TRIANGULATED MEASUREMENTS TO EACH LOCATION AS WELL AS ANY DEVIATIONS IN LOCATION OF PIPING AND HEADS AS REPRESENTED BY THE CONTRACT DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO HAVE ALL PLANTING AREAS MARKED BY THE LANDSCAPE ARCHITECT OR CONTRACTOR PRIOR TO INSTALLATION.
- ALL MAINLINES AND LATERAL LINES SHALL BE CLASS 200 PVC.
- ALL SLEEVES SHALL BE SCHEDULE 40 PVC.
- CONTRACTOR SHALL SUPPLY TWO QVC KEYS AND MATCHING HOSE SWIVELS; TWO OF EACH TYPE OF IRRIGATION HEAD, AS-BUILT IRRIGATION PLAN; AND LAMINATED DIAGRAM OF IRRIGATION ZONES.
- LAWN, SHRUBS/TREES, AND FLOWERS SHALL EACH BE ZONED SEPARATELY.
- CONTRACTOR SHALL VERIFY WATER SUPPLY G.P.M. AND P.S.I. PRIOR TO SYSTEM DESIGN AND CONSTRUCTION.

GENERAL LANDSCAPE NOTES

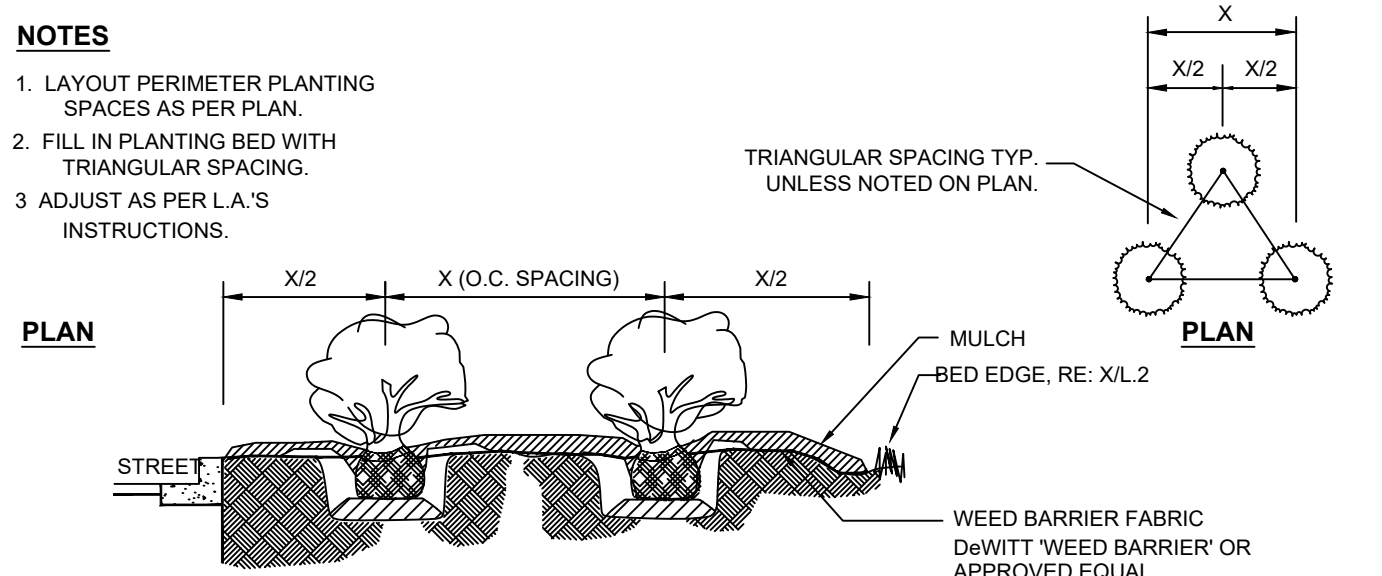
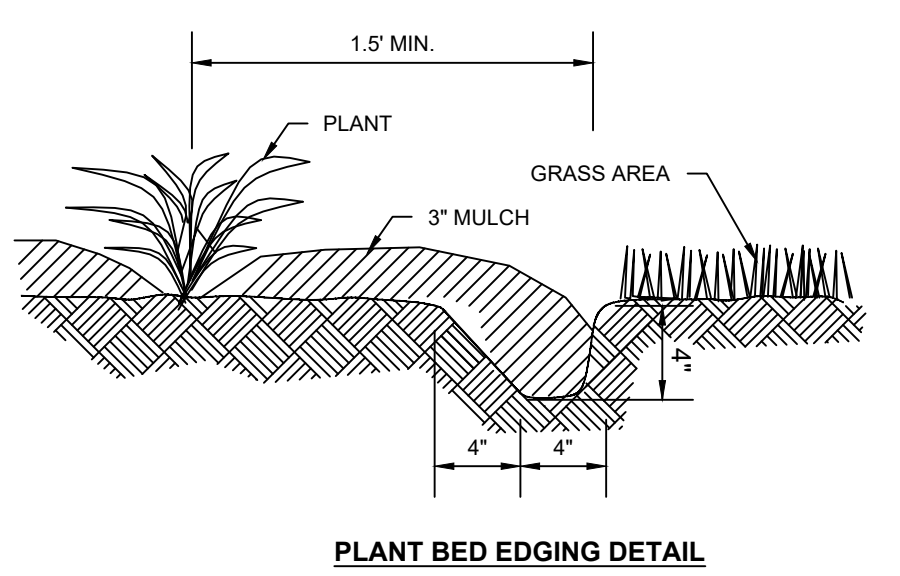
- ALL PLANT MATERIAL MUST BE HEALTHY, VIGOROUS, & FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED & BURLAPPED.
- ALL TREES MUST HAVE A FULL HEAD, STRAIGHT TRUNK, SINGLE DOMINANT LEADER, & MEET ALL REQUIREMENTS SPECIFIED IN PLANT LIST.
- ALL PLANTS ARE SUBJECT TO REJECTION BY THE OWNER BEFORE, DURING, & AFTER INSTALLATION.
- STAKE TREES, IF ENVIRONMENTAL CONDITIONS WARRANT, (I.E. WIND OR STEEP SLOPES)
- ALL PLANTS & PLANT BEDS MUST BE COMPLETELY MULCHED WITH 3" OF CLEAN, ORGANIC MULCH (PINESTRAW, WOOD CHIPS).
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES & SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY & ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION, AT NO ADDITIONAL COST TO OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS, BEFORE PRICING WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING (INCLUDING, BUT NOT LIMITED TO, WATERING, SPRAYING, MULCHING, MOWING, FERTILIZING, ETC.) ALL PLANTED AREAS AND LAWNS UNTIL THE JOB IS ACCEPTED IN FULL, BY THE OWNER.
- THE OWNER WILL CONTRACT FOR A PROGRAM OF LANDSCAPE MAINTENANCE SERVICES THROUGHOUT THE ONE (1) YEAR GUARANTEE PERIOD UNLESS OTHERWISE DETERMINED.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF FINAL ACCEPTANCE AND SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE LANDSCAPE ARCHITECT).
- THE LANDSCAPE ARCHITECT WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- WATER TREES AFTER PLANTING.
- MAINTAIN ORIGINAL GRADE OR SLIGHTLY ABOVE GRADE AT THE TREE BASE.
- DO NOT BREAK ROOT BALL.
- SET TRUNKS PLUMB
- ALL DUG TREES IN LEAF SHALL BE ACCLIMATED FOR TWO WEEKS UNDER A MIST SYSTEM, AT THE NURSERY SOURCE, PRIOR TO INSTALLATION.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, DEFOLIATES OR FAILS TO GERMINATE PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE & REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS AT NO COST TO THE OWNER.
- STANDARDS SET FORTH IN THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- IF SUFFICIENT ADDITIONAL TOPSOIL IS AVAILABLE, THE CONTRACTOR SHALL BACKFILL THE PARKING LOT ISLANDS WITH 100% TOPSOIL. PLANTERS SHALL BE FREE OF DELETERIOUS MATERIAL AND SOIL SHALL BE SUITABLE FOR PLANTING. ALL ROCKS AND DEBRIS SHALL BE REMOVED FROM PLANTING BEDS, INCLUDING SODDED AREAS, PRIOR TO INSTALLATION.
- THE CONTRACTOR HAS THE COMPLETE RESPONSIBILITY FOR THE HANDLING OF ALL SURPLUS EXCAVATED MATERIALS INCLUDING THE REMOVAL OF ANY EXCESS MATERIALS FROM THE PROJECT SITE. THE CONTRACTOR SPECIFICALLY UNDERSTANDS AND AGREES THAT DUE TO THE SEQUENCE OF THE WORK, HE MAY NEED TO RETAIN SELECT EXCESS MATERIALS ON SITE TO MEET LATER NEEDS OF THE PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AS TO ANY DECISIONS MADE TO HAUL OFF EXCESS MATERIAL OR TO RETAIN MATERIAL ON SITE FOR LATER USE. THE CONTRACTOR SHALL HAVE THE COMPLETE RESPONSIBILITY FOR HAVING ADEQUATE, SUITABLE MATERIAL ON-SITE TO REPLACE UNSUITABLE MATERIAL OR TO OTHERWISE CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL REMOVE & DISPOSE OF ALL PLANT MATERIAL EXISTING ON SITE THAT DOES NOT CONFORM WITH THE LANDSCAPE PLAN. ALL LANDSCAPED AREAS SHALL BE TREATED AS SPECIFIED ON THE LANDSCAPE PLAN OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. THIS SHALL INCLUDE ALL GRASS AREAS USED FOR EROSION CONTROL PURPOSES.
- GRASS AL DISTURBED AREAS (INCLUDING RIGHT-OF-WAY), UNLESS OTHERWISE INDICATED, AREAS TO BE SODDED SHALL BE CLEANED OF ALL STONES AND DEBRIS, RAKED SMOOTH AND COMPACTED TO PROPOSED GRADES. IF SODDED, SOD SHALL BE ROLLED TO PROVIDE A CONSISTENTLY EVEN SURFACE.
- CONTRACTOR SHALL DESIGN AND INSTALL AUTOMATIC IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE IN ACCORDANCE WITH SPRINKLER HEAD MANUFACTURER'S SPECIFICATIONS.



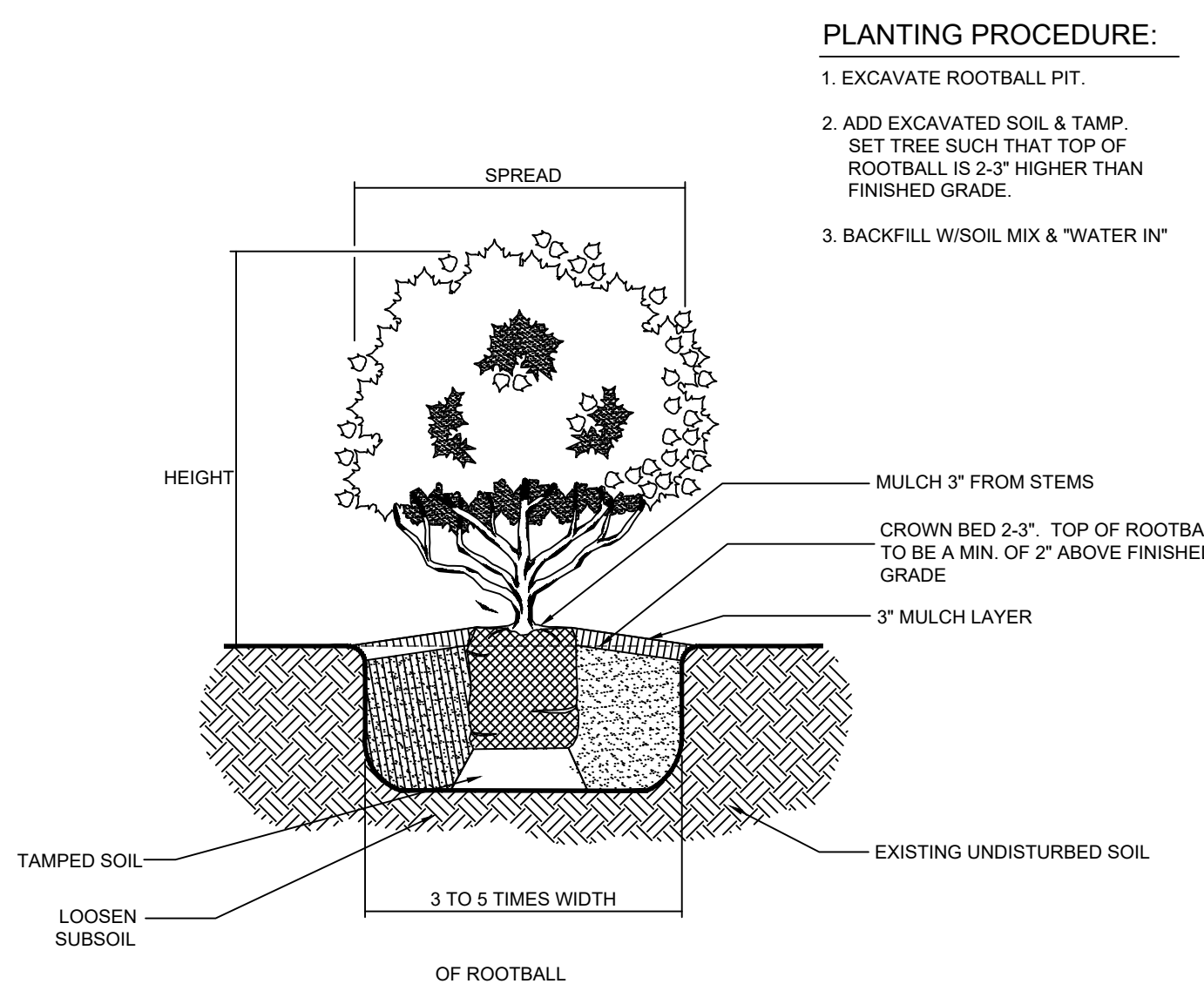
MULTI-TRUNK TREE PLANTING DETAIL



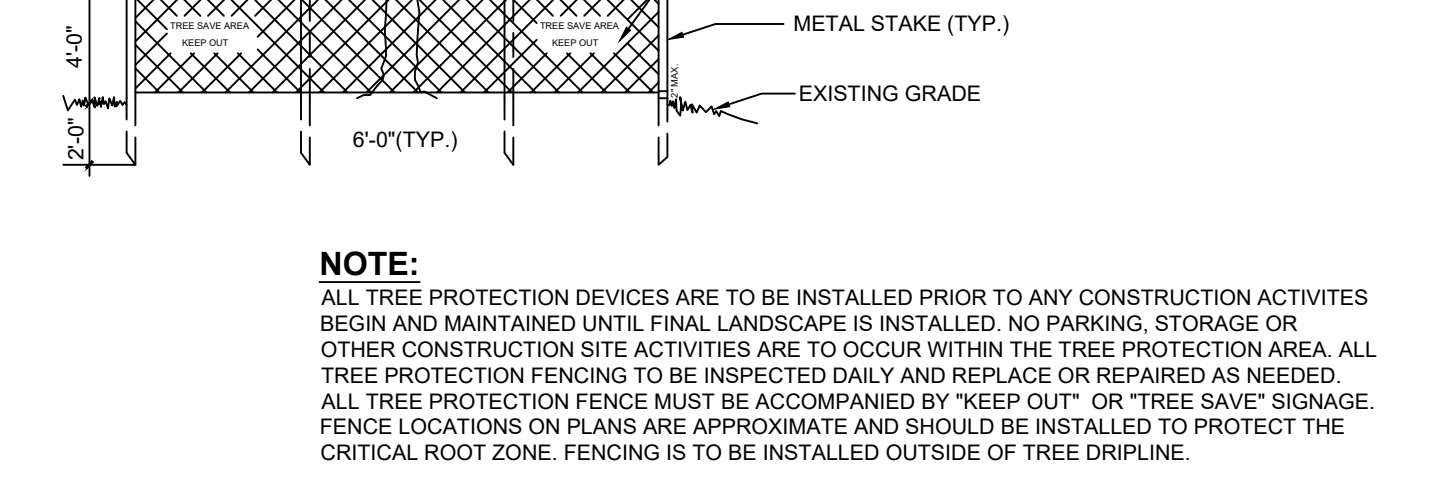
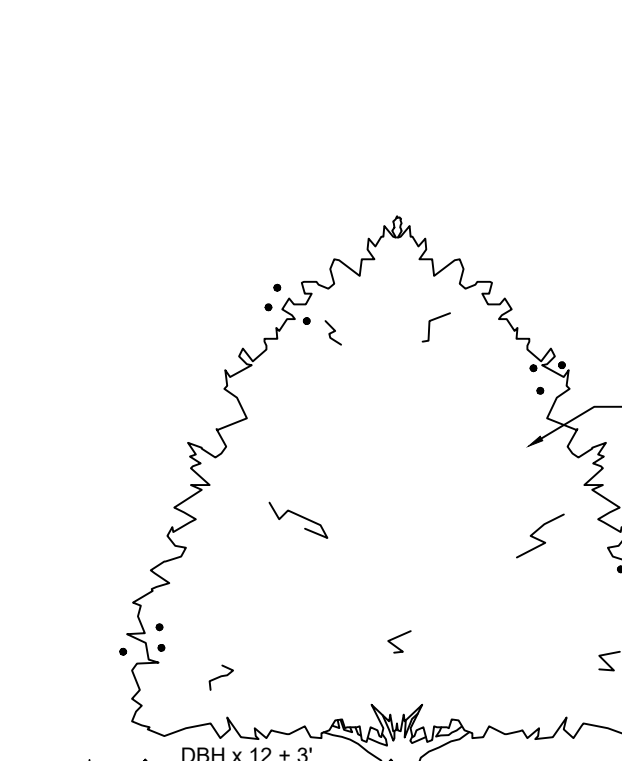
TYPICAL TREE PLANTING DETAIL



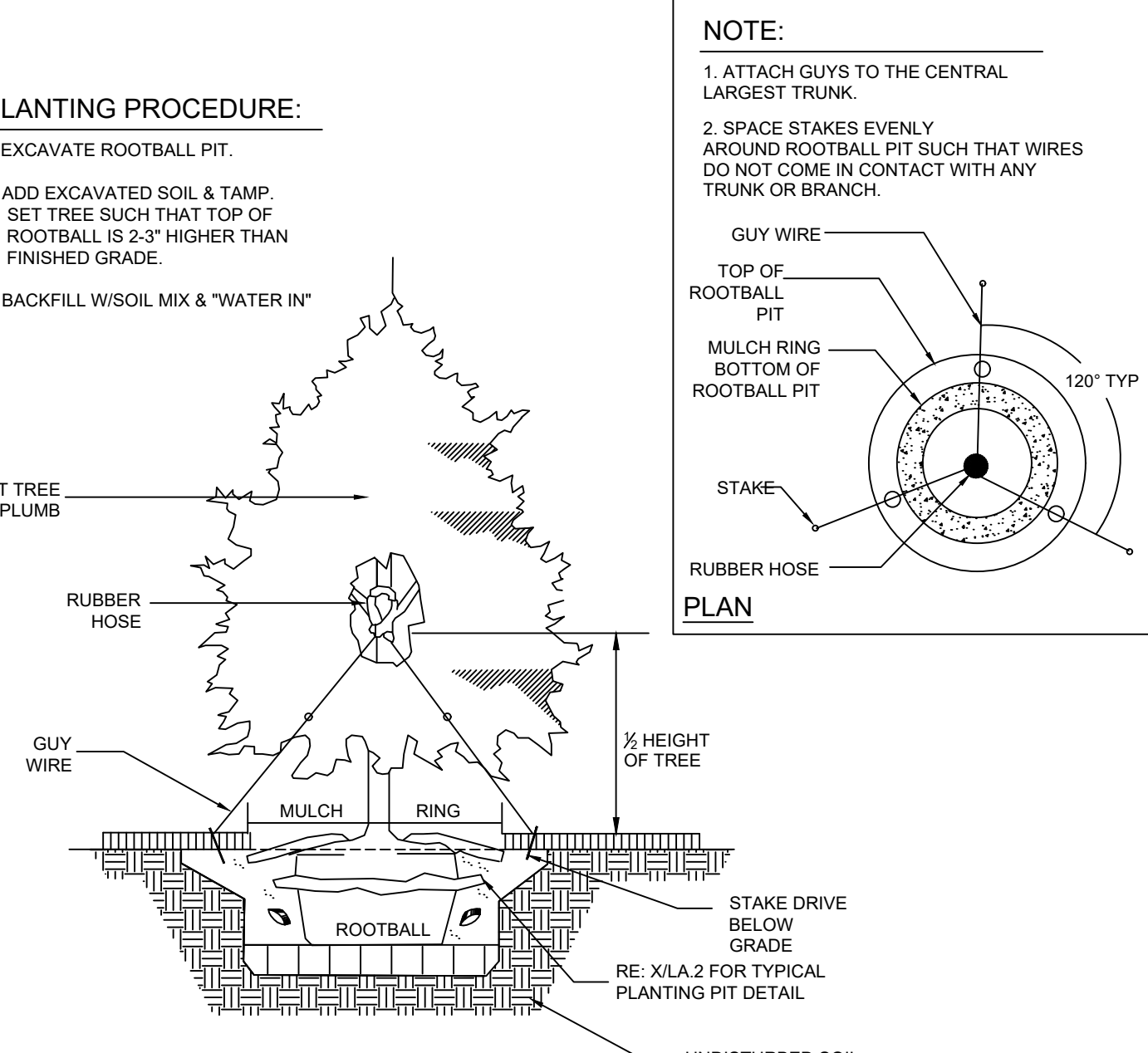
SHRUB & GROUNDCOVER BED DETAIL



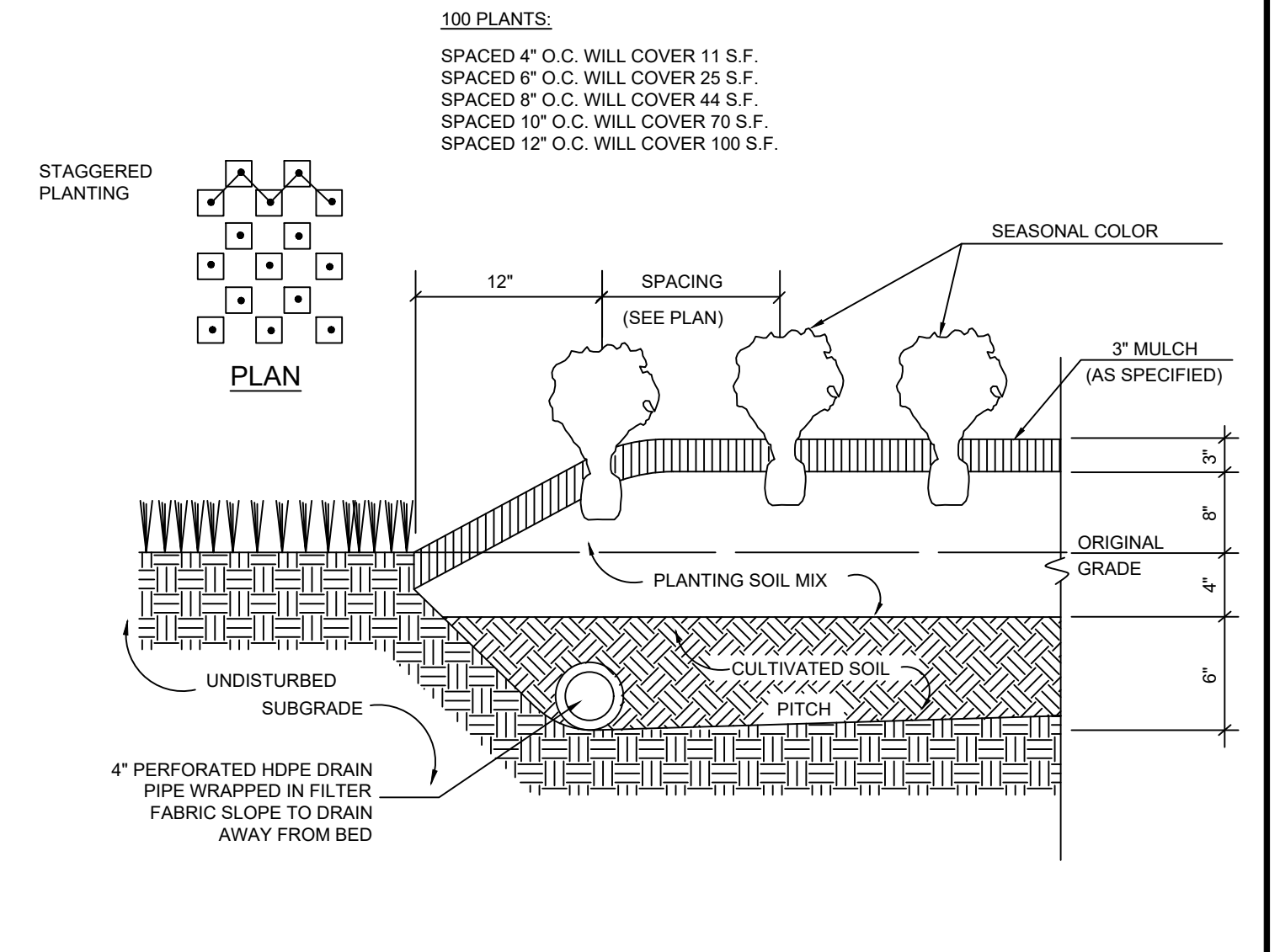
SHRUB & GROUNDCOVER PLANTING DETAIL



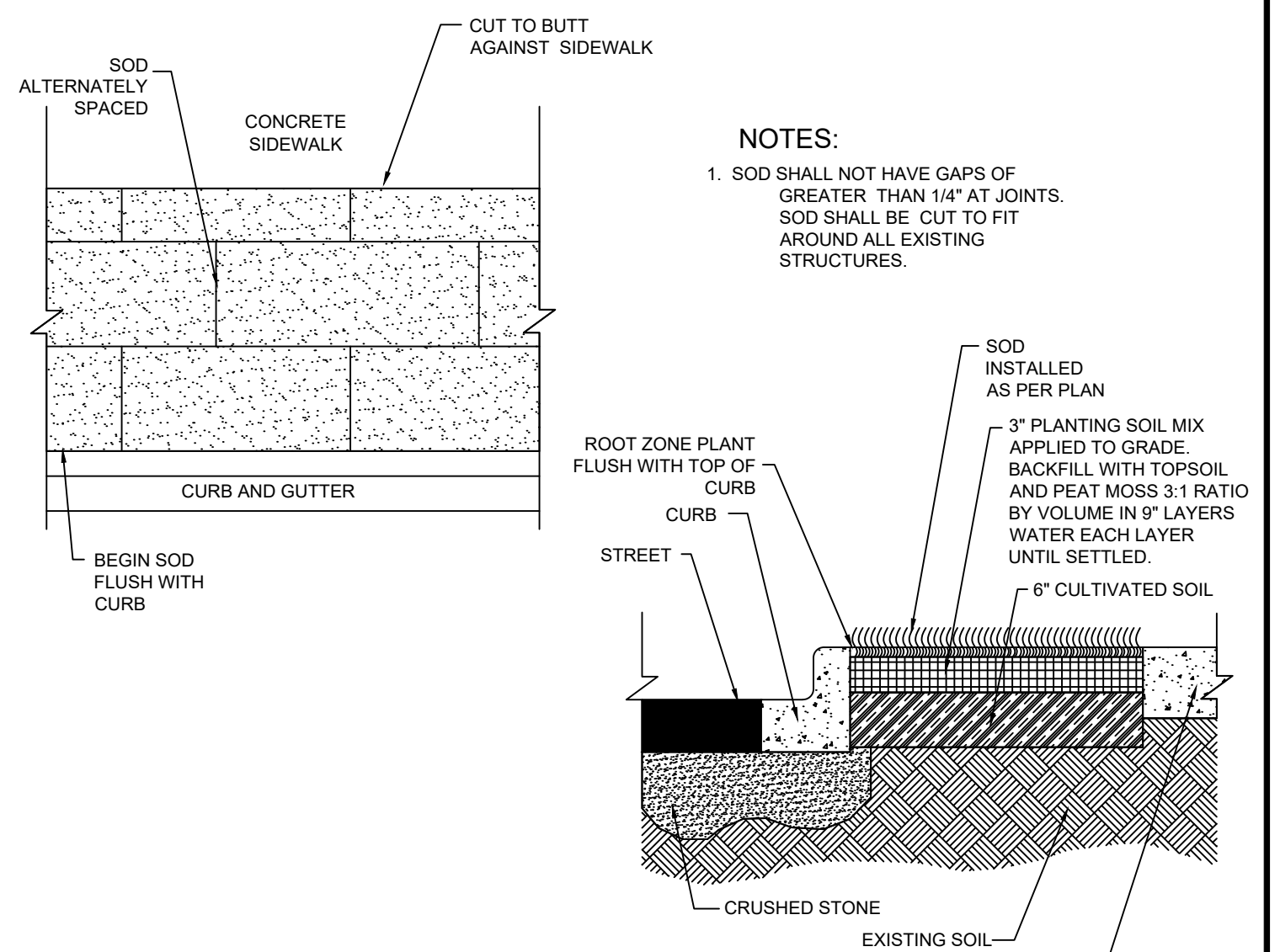
TREE PROTECTION DETAIL



EVERGREEN TREE PLANTING DETAIL



SEASONAL COLOR PLANTING DETAIL



SOD PLACEMENT DETAIL

HAVERTYS
FURNITURE











YS

35

KEEP CLEAR



STOP







HAVERTYS
FURNITURE

max

WILLYS

Jeep



MARTA EASEMENT NOTE

CONTRACTOR TO TAKE NOTE OF EXISTING MARTA MARTA UNDERGROUND TUNNEL EASEMENT. LIMITS OF SAID EASEMENT SHALL BE MARKED AT ALL TIMES IN THE FIELD DURING CONSTRUCTION AND ANY WORK DONE WITHIN THE LIMITS OF SAID EASEMENT SHALL BE DONE WITH CAUTION AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

OVERALL PARKING SUMMARY

EXISTING CONDITIONS	
BUILDING AREA:	184,110 S.F.
EXISTING PARKING COUNT:	868 SPACES
EXISTING PARKING RATIO:	1 SPACE / 212 S.F.
PROPOSED CONDITIONS	
BUILDING AREA:	186,610 S.F.
PROPOSED PARKING COUNT:	788 SPACES
PROPOSED PARKING RATIO:	1 SPACE / 236 S.F.

NOTES: EXISTING PARKING COUNTS WERE OBTAINED FROM AERIAL IMAGERY AND STREET VIEW IMAGERY BY GOOGLE MAPS, AND THE EXISTING BUILDING INFORMATION WAS TAKEN FROM THE DEKALB COUNTY TAX COMMISSIONER REPORT.

SITE SUMMARY

SITE LEASE AREA	
SITE LEASE AREA:	0.93 ACRES (40,483 S.F.)
IMPERVIOUS AREA:	30,890 S.F. (76.3%)
PERVIOUS AREA:	9,593 S.F. (23.7%)
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF DUNWOODY
ZONING:	C-1C (PERIMETER CENTER OVERLAY)
ADJACENT ZONING:	C-1C (PERIMETER CENTER OVERLAY)
BUILDING SETBACKS	
FRONT:	50' (BASE ZONING) 0/20' MAX. (BUILD TO ZONE)
SIDE:	20'
REAR:	30'
BUILDING SUMMARY	
BUILDING AREA:	3,000 S.F. (69 SEATS)
BUILDING COVERAGE:	7.8%
PARKING SUMMARY	
PARKING REQ.:	10 SPACES / 1,000 S.F.
	30 SPACES
PARKING PROV.:	37 SPACES
MIN. STALL DIMENSIONS:	8.5' x 18'
MIN. DRIVE WIDTH:	22'

- GENERAL SITE NOTES**
- 1) ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 2) ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
 - 3) BOUNDARY & TOPOGRAPHIC SURVEY BY GASKINS + LECRAW, DATED OCTOBER 19, 2022. BENCHMARK IS NOTED ON SURVEY.
 - 4) FLOOD PLAIN IS NOT PRESENT ON THIS SITE AS SHOWN ON THE FEMA FIRM MAP NUMBER 13089C0011K, DATED AUGUST 15, 2019.
 - 5) 1 HANDICAP SPACE IS REQUIRED TO BE VAN ACCESSIBLE WITH A MINIMUM 96" WIDE ACCESS AREA.
 - 6) ACCESSIBLE PARKING AREAS, INCLUDING AISLES, SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION.
 - 7) THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING, STORM DRAINAGE, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
 - 8) REFERENCE ARCH PLANS FOR DIRECTIONAL SIGNAGE, SITE SIGNAGE, BUILDING DIMENSIONS, ETC.
 - 9) ALL NEW PAVEMENT SHALL MEET OR EXCEED GEOTECHNICAL SPECIFICATION. SEE REPORT PREPARED BY TERRACON, DATED MARCH 13, 2024.

IMPERVIOUS CALCULATIONS

	PERVIOUS (SF)	IMPERVIOUS (SF)
EXISTING CONDITION:	4,441 (11.0%)	36,042 (89.0%)
PROPOSED CONDITION:	9,593 (23.7%)	30,890 (76.3%)

CALCULATIONS BASED ON AREA OF PROPOSED LEASE LINE OF STARBUCKS PROJECT (40,483 S.F.)

KEY NOTES

- 1) 24" CURB & GUTTER, SEE SHEET C-7.0 FOR DETAIL
- 2) 24" WHITE STOP BAR, SEE SHEET C-7.0 FOR DETAIL
- 3) HEAVY DUTY PAVEMENT, REFER TO GEOTECH REPORT FOR PAVEMENT SPECIFICATIONS
- 4) STANDARD DUTY PAVEMENT, REFER TO GEOTECH REPORT FOR PAVEMENT SPECIFICATIONS
- 5) CONCRETE SIDEWALK, SEE SHEET C-7.0 FOR DETAIL
- 6) GOOT STANDARD ADA RAMP WITH DETECTABLE WARNING, SEE SHEET C-7.1 FOR DETAIL
- 7) CONTRACTOR TO TIE INTO AND MATCH EXISTING CURB & GUTTER
- 8) LANDSCAPE AREA, SEE SHEET L-1.1 FOR LANDSCAPE PLANTING DESIGN
- 9) ADA PARKING AREA, SEE SHEET C-7.0 FOR DETAIL(S)
- 10) ADA PARKING SIGN, SEE SHEET C-7.0 FOR DETAIL
- 11) DUMPSTER ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS
- 12) STOP SIGN (R1-1), SEE SHEET C-7.0 FOR MOUNTING DETAIL
- 13) DO NOT ENTER SIGN (R5-1), SEE SHEET C-7.0 FOR MOUNTING DETAIL
- 14) CONCRETE WHEEL STOP PLACED 2' FROM FACE OF CURB OR SIDEWALK, SEE SHEET C-7.0 FOR DETAIL
- 15) CONCRETE PAVEMENT, REFER TO GEOTECH REPORT FOR PAVEMENT SPECIFICATIONS
- 16) CONCRETE PAVERS UNDER BUILDING CANOPY, SEE ARCH PLANS FOR DETAILS
- 17) CONCRETE TRANSFORMER PAD PER UTILITY OWNER'S REQUIREMENTS
- 18) TYPICAL PAVEMENT MARKINGS, SEE SHEET C-7.0 FOR DETAILS
- 19) STARBUCKS PAVEMENT MARKINGS, SEE SHEET C-7.0 FOR DETAILS
- 20) 4" WIDE SINGLE SOLID WHITE LINE (SSWL)
- 21) 5' WIDE, STAMPED CONCRETE AND WHITE STRIPED PEDESTRIAN PATH/CROSSWALK
- 22) CONCRETE BOLLARD, SEE SHEET C-7.0 FOR DETAIL(S)
- 23) BIKE RACKS, SEE SHEET C-7.0 FOR DETAIL(S)

PREPARED IN THE OFFICE OF:



GASKINS + LECRAW

© 2024 GASKINS + LECRAW, INC.
3475 CORPORATE WAY
SUITE A
DULUTH, GA 30096
PHONE - 678.346.8100
FAX - 770.441.0295
www.gaskinslecrow.com
PEF008127

REVISIONS:

REV #	DATE	CHECKED BY	DRAWN BY
5			
4			
3			
2			
1			

CLIENT: **GPD GROUP**

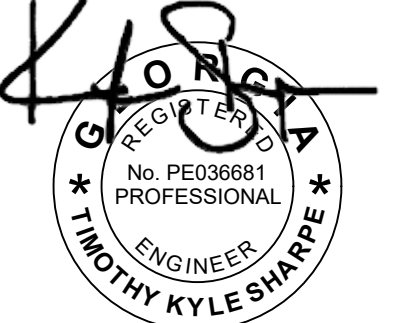
PROJECT: **STARBUCKS - PERIMETER SQUARE**

1801 WATERMARK DRIVE - SUITE 210 - COLUMBUS, OH 43215

140 PERIMETER CENTER WEST
LAND LOT 349, DISTRICT 18, PARCEL 18 349 04 001
DUNWOODY, DEKALB COUNTY, GEORGIA

DEKALB COUNTY AP#: 3150095

SEAL:



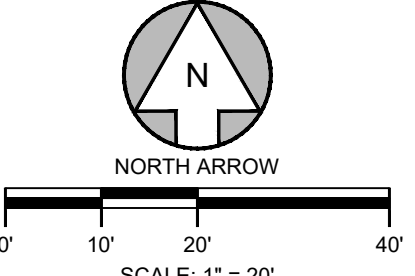
10/8/2024

CALL BEFORE YOU DIG



Know what's below.
Call before you dig.

SCALE & NORTH ARROW:



DESIGN INFO:

DRAWN BY: MAT

DESIGNED BY: TKS

REVIEWED BY: TKS

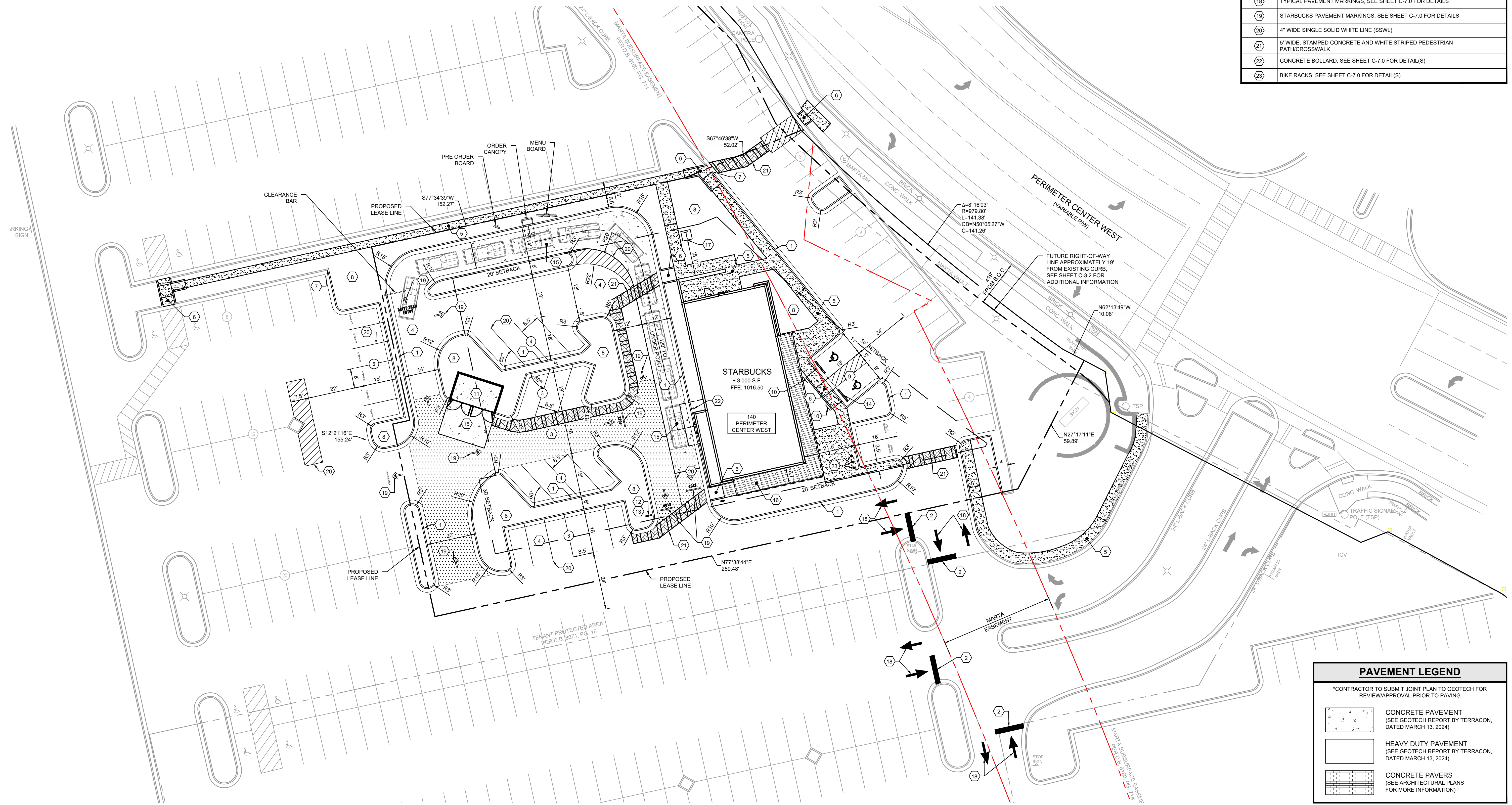
JOB #: 011148

DATE: JANUARY 12, 2024

SITE PLAN

C-3.1

Packet page:...



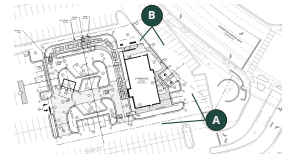
Drawing name: C:\Users\mboothaker\Gaskins+LeCraw\Dropbox\Share\Engineering\011148 - Starbucks - Atlanta (Perimeter Square)_GAICADD\CONSTR011148 - 06 - SITE.dwg SITE PLAN Oct.08.2024 3:01pm by:mboothaker



A



B

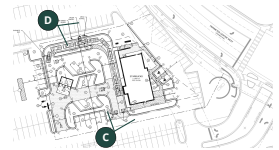




C



D





THIN BRICK CLADDING
INTERSTATE BRICK COLOR OBSIDIAN

NEW TECH WOOD CLADDING
EUROPEAN BOARD SIDING,
PERUVIAN TEAK

NEW TECH WOOD CANOPY CEILING
CLADDING, PERUVIAN TEAK



THIN BRICK CLADDING
INTERSTATE BRICK COLOR OBSIDIAN

NEW TECH WOOD CLADDING
EUROPEAN BOARD SIDING,
PERUVIAN TEAK

WALL SCONCE
ARMOR VERTICAL SCONCE, BLACK



THIN BRICK CLADDING
INTERSTATE BRICK COLOR OBSIDIAN

NEW TECH WOOD CLADDING
EUROPEAN BOARD SIDING,
PERUVIAN TEAK

NEW TECH WOOD CANOPY CEILING
CLADDING, PERUVIAN TEAK



THIN BRICK CLADDING
INTERSTATE BRICK COLOR OBSIDIAN

NEW TECH WOOD CLADDING
EUROPEAN BOARD SIDING,
PERUVIAN TEAK

PRIVACY SCREEN
LONGBOARD ALLOY VERTICAL BEAM

PRIVACY SCREEN HIDDEN TO ILLUSTRATE UPDATE ONLY



METAL CANOPY
OVER BOH DOOR + GLAZING

STORE FRONT GLAZING ADDED
ADJACENT TO BOH DOOR



PRIVACY SCREEN
LONGBOARD ALLOY VERTICAL BEAM

— —

AN ORDINANCE TO ALLOW A DRIVE THROUGH FACILITY AT LOT PARCEL NUMBER 18 349 04 001, IN CONSIDERATION OF SPECIAL LAND USE PERMIT CASE SLUP 24-01 (140 PERIMETER CENTER W, DUNWOODY, GA 30346);

WHEREAS, the applicant, Starbucks Coffee Company c/o Gaskins + LeCraw, requests a Special Land Use Permit to allow a drive-through facility at 140 Perimeter Center W; and

WHEREAS, the Mayor and City Council find that the proposed use aligns with the Dunwoody Comprehensive Plan; and

WHEREAS, notice to the public regarding said modification to conditions of zoning has been published in *The Dunwoody Crier*, the Official News Organ of the City of Dunwoody; and

WHEREAS, a public hearing was held by the Mayor and City Council of the City of Dunwoody as required by the Zoning Procedures Act.

NOW THEREFORE, THE MAYOR AND CITY COUNCIL OF THE CITY OF DUNWOODY, GEORGIA HEREBY **ORDAIN AND APPROVE** the Special Land Use Permit 24-01 subject to the following conditions:

Exhibit A: Proposed Site Plan, prepared by Gaskins + LeCraw, dated January 12, 2024 and last revised October 9, 2024

Exhibit B: Elevations, prepared by Starbucks Coffee Company Co., dated May 30, 2024 and last revised October 9, 2024

SLUP 24-01 Application

1. The owner shall develop the site in general conformity with "Exhibit A" and Exhibit "B", with the stipulation that the maximum height of any structure must not exceed 35 feet. Minor changes as defined by Section 27-337(b) or necessary changes to meet conditions of zoning or land development requirements shall be reviewed by the Community Development Director if made necessary by actual field conditions at the time of development.
2. The proposed pedestrian improvements must be submitted as part of the land disturbance permit application and need to be installed prior to issuance of a Certificate of Occupancy.
3. Prior to issuance of the land disturbance permit, the right-of-way dedication and any applicable right-of-way improvements shall be shown on the land disturbance permit site plan and are subject to review by the Public Works Director.

The north façade of the proposed building shall have a minimum of one window.

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2024-XXXX

SO ORDAINED AND EFFECTIVE, this the ____ day of _____, 2024.

Approved by:

Approved as to Form and Content

Lynn P. Deutsch, Mayor

City Attorney

Attest:

Sharon Lowery, City Clerk

SEAL